



Truro Conservation Commission

Monday October 7, 2024

Hybrid Meeting start at 5:00 PM
Truro Town Hall, 24 Town Hall Rd

****AMENDED****

PUBLIC MEETING AGENDA

This will be a hybrid meeting. Citizens can view the meeting on Channel 8 in Truro and on the Town's website on the "Truro TV Channel 8" button under "Helpful Links" on the homepage. Once the meeting has started, click on the green "Watch" button in the upper right of the page. **To provide comment during the meeting, you can call in or email. To call-in toll-free dial 1-646-558-8656 and enter the following Meeting ID when prompted: 833 9225 6598**

You can join this Zoom meeting from your computer, tablet or smartphone at <https://us02web.zoom.us/j/83392256598>. Please note that there may be a slight delay (15-30 seconds) between the meeting and the live stream (and television broadcast). If you are watching the meeting and calling in, please lower the volume on your computer or television during public comment so that you may be heard clearly. We ask that you identify yourself when calling in; citizens may also provide public comment for this meeting by emailing the Conservation Agent at ebecbe@truro-ma.gov with your comments.

I. PUBLIC HEARINGS: The Truro Conservation Commission holds these public hearings in accordance with the provisions of MGL Ch. 131, s. 40, MA Wetlands Protection Act and the Truro Conservation Bylaw, Chapter 8:

1. **Notice of Intent: 10 Thornley Meadow Road, Roland & Lucia Letendre:** after-the-fact filing for beach stair replacement and beach grass trimming; Coastal Bank & Coastal Dune. (Map 53, Parcel 87) *(continued from 9/9/2024)*
2. **Notice of Intent: 17 Avocet Road, Jennifer & Michael Freitag:** replacement of sand drift fence, coir logs, and beach stairs; Coastal Beach; Land Subject to Coastal Storm Flowage, and Coastal Bank. (Map 39, Parcel 217)
3. **Notice of Intent: 20 Toms Hill Road, Joseph Fiorello:** demolish and replace dwelling (this was a previously approved project with an expired OOC); Riverfront Area & Buffer Zone to a Coastal Bank. (Map 46, Parcel 342)
4. **Request for Determination of Applicability: 655 & 657 Shore Road, Diane Gilmore & Claudia Dent:** installation of gas tanks and a raised generator; Land Subject to Coastal Storm Flowage, Barrier Beach, Coastal Dune. (Map 2, Parcel 1)
5. **Administrative Review Applications:** 1.) 8 Falcon Ln: dead tree removal; 2.) 386 Shore Rd: sand nourishment; 3.) 490 Shore Rd: replace middle whalers on bulkhead; 4.) 510 Shore Rd, U:A: rinse station; 5.) 472 Shore Rd: sand nourishment; 6.) 25 Bay View Rd: sand nourishment; 7.) 1 Merryfield Path: sand nourishment; 8.) 0 Bay View Rd: sand nourishment; 9.) 17 Bay View Rd: sand nourishment; 10.) 29 Bay View Rd: sand nourishment; 11.) 19 Bay View Rd: sand nourishment; 12.) 55 Pond Rd: sand nourishment; 13.) 4 Bay View Path: sand nourishment; 14.) 23 Bay View Rd: sand nourishment; 15.) 2 Bay View Path: sand nourishment; 16.) 1 Circuit Way: vegetation plantings
6. **Request for Certificate of Compliance:** 1.) 73 Depot Rd, SE# 75-1127
7. **Minutes**

Site visits: Commissioners will meet at Town Hall on Monday, October 7, 2024, at 9:00 AM and proceed to: 10 Thornley Meadow Rd, 20 Toms Hill Rd, 17 Avocet Rd, 655/657 Shore Rd



September 27, 2024

Emily Beebe – Conservation Agent
Town of Truro Conservation Department
24 Town Hall Road
Truro, MA 02667

e: EBeebe@truro-MA.gov

cc: ADavis@truro-MA.gov (Arozana Davis – Assistant Conservation Agent)

**Re: Supplemental Information – Conservation Filing NOI #075-1198
10 Thornley Meadow, Truro, MA
Map 53, Parcel 87**

Dear Ms. Beebe and Commission Members:

On behalf of our clients, Roland & Lucia Letendre, Tighe & Bond is pleased to provide the following supplemental information related to the after-the-face filing for beach stair replacement and beach grass trimmings. We have reviewed the prior submitted information and the comments maybe by Commissioners in the previous meetings. It is our understanding that concerns over the replacement of the dug-in timber beach stairs and trimming of vegetation at a foot path were raised and are the subject of this filing.

In response to these concerns, we have reviewed the existing footpath from the residential structure, through the coastal bank, and coastal dune, and would like to present the following proposed solutions to maintain access and to comply to the Wetlands Protection Act and other appropriate governing regulations.

Please refer to the site plan by Ryder & Wilcox for additional context to the information provided below.

Proposed Scope of Work

1. Upper Footpath

- a. From approximately elevation 46.0' feet at the bottom of the upper existing dug-in timber stairs, the existing footpath will be defined by a 3.0' wide seasonal rollaway beach mat (e.g. "Mob-Mat"). This will be continuous from this location along the existing path to approximately elevation 38.0'.
- b. Invasive species (including poison ivy) will be removed from the immediate edges of the upper footpath. This will be completed on a seasonal basis as required to maintain the 3.0' wide path.
- c. Bayberry (or other appropriate and approved plantings) will be added at 4.0' on-center each side. Seasonal trimming of the plantings will be completed to maintain the 3.0' wide footpath.
- d. A 4.0' by 6.0' wood platform raised by 6x6 P.T. post will be added in a previously disturbed area for the storage of beach equipment.
 - i. The bottom of the platform will be raised 2.0' from the grade.
 - ii. Bayberry (or other appropriate and approved plantings) will be planted beneath and surrounding the platform (on three sides).

2. Coastal Bank

- a. Over the coastal bank, a new helical supported wood stair structure will be constructed to replace the existing dug-in stairs:
 - i. The bottom of the stair will be at least 2.0' feet above the subgrade throughout.
 - ii. The stair will be constructed of pressure treated wood or naturally durable hardwoods.
 - iii. The stair will be located outside of the High Hazard FEMA Velocity Zone. The lower platform of the stair will also be higher than the Base Flood Elevation (BFE). The top elevation of the lower platform will likely be approximately 22.5', well above the 16.0' BFE shown.
 - iv. A seasonably removable section will be provided off of the bottom of the stair section off of the lower landing.
- b. The existing dug-in timbers will be removed and the area beneath the stair will be planted with beach grass (or other appropriate and approved grass).
- c. Refer to the attached sketches (SK-01, SK-02, and SK-03) for additional information regarding the stair structure.

3. Coastal Dune/Beach

- a. A portion of the proposed stair landing will be placed on an already disturbed area of the coastal dune.
- b. The existing footpath through the coastal dune system will remain. Maintenance will only occur seasonally to maintain a 2.0' wide sand path through the dune.
- c. Seasonal rollaway beach mats (e.g. "Mobi-Mat") to the edge of the dune system may be used to better define the path and prevent errant foot traffic.
- d. No work is proposed on the coastal beach.

The intent of this proposed work is to maintain safe access that respects the surrounding environment and the regulations. We appreciate for your time and consideration.

Very truly yours,

TIGHE & BOND, INC.



Marshall H Puffer, PE
Project Manager
t: 508.237.3467
e: mpuffer@tighebond.com



Enclosed: Relevant Site Photos Dated 8/9/2024
SK-01: General Notes
SK-02: Stair Section
SK-03: Stair Details

Relevant Site Photos Dated 8/9/2024



Photo 1: Upper path leading to the top of coastal bank



Photo 2: Potential area for raised platform



Photo 3: Current dug-in stairs on the costal bank



Photo 4: Path through the existing dune system to coastal beach

GENERAL NOTES:

1. THE INTENT OF THESE DRAWINGS IS TO CONFORM TO THE GENERAL REQUIREMENTS OF THE 9TH EDITION OF THE MASSACHUSETTS STATE BUILDING CODE, RESIDENTIAL VOLUME (CMR 780-51.00), AMENDMENTS TO THE 2015 INTERNATIONAL RESIDENTIAL CODE FOR ONE-AND-TWO-FAMILY DWELLINGS. IT IS NOT THE INTENT OF THESE DRAWINGS TO CONFORM TO THE SECTIONS OF THE CODE NOTED FOR BUILDING EGRESS.
2. THE PROPERTY IS LOCATED IN THE TOWN OF TRURO, MA ALONG CAPE COD BAY AND IS REFERENCED BY:

ACCESSORS MAP 53, PARCEL 87-0
PLAN BOOK 321, PAGE 27
DEED BOOK 30529, PAGE 134
3. FLOOD ZONE: THE PROPERTY AND PROPOSED WORK IS LOCATED IN FLOOD ZONES AS INDICATED ON THE DRAWINGS. ALL FLOOD ELEVATIONS ARE REFERENCED TO NAVD 1988 (NAVD88) FLOOD ZONE VE (EL. 15) AND ZONE X SHOWN ON THIS DRAWING ARE A DIRECT REPRESENTATION OF THE GRAPHIC FLOOD ZONE BOUNDARIES SHOWN ON THE FEMA FIRM PANEL:

FIRM PANEL: #25001C0139J, EFFECTIVE JULY 16, 2014
4. SUPPLY ALL MATERIAL, EQUIPMENT AND LABOR FOR CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS AS DESCRIBED AND SHOWN ON THE PLAN AND DETAILS.
5. PERFORMANCE OF THE WORK SHALL BE IN COMPLIANCE WITH THE PLAN, DETAILS, AND ORDER OF CONDITIONS ISSUED BY THE TRURO CONSERVATION COMMISSION FOR THE REFERENCED PROJECT AND AS DESCRIBED BELOW.
6. ANY FUTURE MAINTENANCE REQUIRED ON THE STAIRWAY SHALL NOT COMMENCE UNTIL THE TRURO CONSERVATION AGENT HAS FIRST BEEN NOTIFIED AS TO THE SCOPE OF THE REPAIRS.
7. ALL DIMENSIONS, GRADES, ETC. SHOWN ON THIS PLAN SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND ANY DISCREPANCIES BROUGHT TO THE ATTENTION OF THE ENGINEER TO BE RESOLVED PRIOR TO CONSTRUCTION.
8. ABUTTERS NAMES SHOWN HEREON REFERENCE THE TOWN OF TRURO ASSESSORS RECORDS AT THE TIME OF THE SURVEY.
9. SPECIAL PROVISIONS FOR COASTAL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS FOUND IN THE "COASTAL CONSTRUCTION MANUAL" AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA-55).

ROUGH CARPENTRY NOTES:

1. FRAMING LUMBER SHALL CONFORM TO THE LATEST EDITION OF THE AFPA "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", AND SUPPLEMENT "DESIGN VALUES FOR WOOD CONSTRUCTION", LATEST EDITION. MAXIMUM MOISTURE CONTENT SHALL BE 19%.
2. PRESSURE TREATED WOOD MEMBERS SHALL BE PRESSURE TREATED WITH ACQ PRESERVATIVE, OR APPROVED EQUAL, TO MINIMUM RETENTION OF 0.6 PCF IN ACCORDANCE WITH AWWA C3. LUMBER 3" WIDE OR GREATER SHALL BE 0.6 CCA.
3. ALL CONNECTORS, CONNECTIONS, FASTENERS, ETC. USED TO SECURE ACQ PRESSUE TREATED LUMBER SHALL BE STAINLESS STEEL.
4. LUMBER WHICH IS SPLIT, CRACKED, NOTCHED OR OTHERWISE ALTERED OR DAMAGED SHALL BE IMMEDIATELY REJECTED AND NOT ALLOWED FO USE, UNLESS OTHERWISE APPROVED IN WRITING BY THE STRUCTURAL ENGINEER.
5. THE FRAMING LUMBER SHALL BE DIMENSIONAL LUMBER #1 SOUTHERN YELLOW PINE (FB = 1050 PSI & E = 1.6E6 PSI). ALL LUMBER SHALL BE GRADE STAMPED BY A RECOGNIZED GRADING AGENCY AND SHALL BE SURFACE DRY. IPE HARDWOOD CAN BE USED FOR ALL NON-STRUCTURAL MEMBERS AT THE DIRECTION OF THE GENERAL CONTRACTOR OR OWNER.
6. DETAILS OF WOOD FRAMING SUCH AS NAILING, BLOCKING, BRIDGING, FIRESTOPPING, ETC. SHALL CONFORM TO THE LATEST EDITION OF THE NATIONAL DESIGN SPECIFICATION (AFPA), THE TIMBER CONSTRUCTION MANUAL (AITC), AND ARCHITECTURAL GRAPHICS STANDARD BY RAMSEY & SLEEPER.
7. IN NO CASE SHALL JOISTS, BEAMS, STUDS OR ANY OTHER FRAMING MEMBER BE CUT, NOTCHED, DRILLED, OR OTHERWISE MODIFIED WITHOUT THE WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER.
8. CONTRACTOR SHALL SUBMIT PROPOSED WOOD SPECIES, GRADES, GRADING AGENCY, TYPE OF PRESSURE TREATMENT, MANUFACTURE DATA, AND CERTIFICATIONS TO THE ENGINEER FOR WRITTEN APPROVAL PRIOR TO ORDERING ANY MATERIALS.
9. USE FULLY NAILED METAL CONNECTORS (USP, SIMPSON, OR EQUAL), JOIST, OR BEAM HANGERS WHEN JOISTS OR BEAMS FRAME INTO OTHER JOISTS OR BEAMS. REFER TO FRAMING PLAN FOR CONNECTOR TYPES.
10. WOOD PRODUCTS SHALL BE STORED IN A DRY LOCATION.

HELICAL PILE NOTES:

1. HELICAL PILE SYSTEM AND COMPONENTS SHALL BE RECOGNIZED BY ICC. THE MANUFACTURER SHALL HOLD A CURRENT ICC-ES ESR REPORT SHOWING COMPLIANCE WITH AC358 AND CURRENT BUILDING CODE ADOPTED BY THE LOCAL JURISDICTION.
2. DIMENSIONS OF THE CENTRAL SHAFT AND THE NUMBER, SIZE, SPACING AND THICKNESS OF THE HELICAL BEARING PLATES SHALL BE DESIGNED AND FABRICATED TO SUPPORT THE SPECIFIED DESIGN LOADS.
3. PILE SHAFTS SHALL BE SELECTED TO SUSTAIN LOADS AS DESIGNATED ON PLANS AND NOTES, WITH DUE CONSIDERATION FOR BUCKLING IN THE UPPER SOIL STRATA FROM LIMITED RESTRAINT PROVIDED BY SUB-SOILS IN THE LIQUEFIED STATE DURING EXTREME STORM EVENTS.
4. HELICAL PILE LEAD SECTIONS SHALL CONSIST OF SQUARE SHAFTS, AND HELICAL POLE SHAFT EXTENSIONS SHALL BE ROUND SECTIONS. THE USE OF SQUARE SHAFT EXTENSIONS SHALL NOT BE PERMITTED. STEEL FOR HELICAL PILES SHALL BE NEW AND OF UNIFORM QUALITY.
5. HELICAL PILES, EXTENSIONS, CAPS, CONNECTIONS, AND APPURTENANCES SHALL BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A153.
6. THE HELICAL PILE INSTALLATION EQUIPMENT SHALL BE HANDHELD AND CAPABLE OF ACHIEVING THE TORQUE NECESSARY TO INSTALL THE PILES TO THE DESIGN CAPACITY.
7. THE MINIMUM EMBEDMENT OF EACH HELICAL PILE SHALL BE NO LESS THAN 10'-0". THE EMBEDMENT SHALL ACHIEVE A MINIMUM LOADING RESISTANCE OF 1.5 TONS (3 KIPS)
8. THE CONTRACTOR SHALL CONTINUOUSLY MEASURE THE TORQUE APPLIED TO THE HELICAL PILES DURING INSTALLATION USING A CALIBRATED DIRECT TORQUE MONITOR ATTACHED TO THE HYDRAULIC INSTALLATION HEAD, A HYDRAULIC PRESSURE GAUGE CALIBRATED TO THE INSTALLATION TORQUE, OR AN APPROVED EQUIVALENT. INSTALLATION SHALL CONTINUE UNTIL THE MINIMUM EMBEDMENT DEPTH AND THE SPECIFIED TORQUE CORRESPONDING TO THE ULTIMATE CAPACITY ARE ACHIEVED.
9. THE ALLOWABLE DESIGN FOR THE HELICAL PILES SHALL BE GREATER:

9.1. ALLOWABLE DESIGN LOAD BASED ON SETTLEMENT DURING LOADING - FIFTY (50) PERCENT OF THE APPLIED TEST LOAD WHICH CAUSES A GROSS SETTLEMENT AT PILE CUT-OFF GRADE EQUAL TO THE SUM OF: A) THE THEORETICAL ELASTIC COMPRESSION OF THE PILE IN INCHES, ASSUMING ALL THE LOAD ON THE BUTT IS TRANSMITTED TO THE TIP, PLUS B) 0.15 INCH, PLUS C) ONE (1) PERCENT OF THE PULE TIP DIAMETER OR PILE WIDTH IN INCHES. IF THE SETTLEMENTS ARE SO SMALL THAT THE LOAD-SETTLEMENT CURVE DOES NOT INTERSECT WITH THE FAILURE CRITERION, THE ALLOWABLE DESIGN LOAD SHALL BE FIFTY (50) PERCENT OF THE MAXIMUM TEST LOAD.

9.2. ALLOWABLE DESIGN LOAD BASED ON NET SETTLEMENT AFTER REBOUND - FIFTY (50) PERCENT OF THE APPLIED TEST LOAD WHICH RESULTS IN A NET SETTLEMENT AT THE TOP OF THE PILE OF 1/2-INCH, AFTER REBOUND FOR A MINIMUM OF ONE HOUR AT ZERO LOAD.
10. MINIMUM AND MAXIMUM INSTALLATION TORQUES SHALL BE SPECIFIED BY THE HELICAL PILE MANUFACTURER. THE MINIMUM INSTALLATION TORQUE SHALL BE HIGH ENOUGH TO ACHIEVE THE REQUIRED BEARING CAPACITY, INCLUDING A SAFETY FACTOR OF 2. THE MAXIMUM INSTALLATION TORQUE SHALL NOT EXCEED THE ALLOWABLE TORSIONAL CAPACITY OF THE PILE SHAFTS.
11. HELICAL PILES SHALL BE DESIGNED AND MANUFACTURED TO RESIST ALL STRESSES INDUCED BY INSTALLATION.
12. EXISTING CONDITIONS AND UNDERGROUND OBSTRUCTIONS SHALL BE CONFIRMED BY THE PILE INSTALLER. PROBING OR SCANNING MAY BE NECESSARY TO LOCATE UNDERGROUND OBSTRUCTIONS. REPORT ANY UNFORESEEN OBSTRUCTIONS TO THE STRUCTURAL ENGINEER.
13. LOCATIONS OF PILES SHALL NOT BE CHANGED WITHOUT WRITTEN APPROVAL FROM THE STRUCTURAL ENGINEER OF RECORD (EOR). ADDITIONAL HELICAL PILES AND REDESIGN OF PILE CAP MAY BE REQUIRED IF OBSTRUCTIONS ARE ENCOUNTERED REQUIRING DEVIATION OR OFFSET FROM DESIGNATED LOCATIONS.
14. SUBMIT AS BUILT DRAWINGS SHOWING FINAL LOCATION AND INSTALLATION OF HELICAL PILES ALONG WITH INSTALLATION TORQUE INDICATING COMPLIANCE WITH DESIGN LOAD CRITERIA SPECIFIED HEREIN.

FRAMING NOTES:

1. REFER TO C-101 AND C-301 FOR ELEVATIONS AND DIMENSIONS. COORDINATE ELEVATIONS WITH EXISTING CONDITIONS
2. PROVIDE HELICAL PILES AT EACH 6x6 P.T. POST (WITH THE EXCEPTIONS OF THE DIAMOND PIERS AT THE TOP LANDING). HELICALS TO BE DESIGNED FOR A 3 KIP ALLOWABLE LOAD AND ARE TO HAVE A MINIMUM EMBEMENT OF 10 FEET. A TOTAL OF 50 HELICALS TO BE PROVIDED.
3. PROVIDE BATTERED PILES AS SHOWN ON PLANS. BATTER AT A 45 DEG ANGLE WITH A MINIMUM EMBEDMENT OF 15 FEET. A TOTAL OF 6 BATTERED HELICALS TO BE PROVIDED.
4. PROVIDE DP-50/50 DIAMOND PIERS AS SHOWN ON PLANS. REFER TO THE MANUFACTURER'S REQUIREMENTS FOR INSTALLATION REQUIREMENTS.
5. PROVIDE TYPICAL POST BRACKETS AT THE TOP OF EACH HELICAL FOR 6x6 P.T. POST. PROVIDE SIMILAR ATTACHMENT AT BATTERED PILES.
6. HELICALS TO TERMINATE RIGHT ABOVE HIGHEST ADJACENT GRADE.
7. LUMBER TO BE PRESSURE TREATED SOUTHERN YELLOW PINE #1 OR EQUAL AS APPROVED BY THE ENGINEER.
8. ALL CONNECTORS AND HARDWARE TO BE STAINLESS STEEL, UNLESS NOTED OTHERWISE.
9. PROVIDE SIMPSONS H2.5A HURRICANE CLIPS AT EACH FRAMING MEMBER (PLATFORM AND STAIR STRINGERS) TO SUPPORTING BEAMS BELOW.
10. PROVIDE SIMPSON STAIR STRINGER HANGERS WHERE REQUIRED.
11. PROVIDE SIMPSON HUC HANGER FOR 6x12 BEAM TO 6x6 POSTS (TYP.).
12. PROVIDE CONTINUOUS STAIR STRINGER MEMBERS. STAGGER SPLICES OF 2x MEMBERS EVERY 8'-0" MINIMUM. SISTER MEMBERS TOGETHER WITH TWO ROWS OF 10d STAINLESS STEEL COMMON NAILS SPACED AT 6" O.C.
13. DECKING, STAIR TREADED, RAILING GUARDS, AND RAILS TO BE IPE HARDWOOD OR EQUAL AS APPROVED BY THE GENERAL CONTRACTOR.
14. WHERE THE GRADE TO BOTTOM OF STRINGER DIMENSION EXCEEDS 2'-0" PROVIDE 2x6 P.T. CROSS-BRACING AT EACH HELICAL PAIR WITH A CENTER SQUASH BLOCK.
15. BOTTOM OF STAIRWAY TO BE ALUMINUM AND SEASONALLY REMOVABLE AND CONNECTED TO THE WOOD STAIR LANDING WITH A CONNECTION HINGE OR EQUIVALENT (BY THE STAIR MANUFACTURER).



PROJECT

ADDRESS

BEACH ACCESS STAIR

10 THORNLEY MEADOW DRIVE
TRURO, MA

SHEET DESCRIPTION

GENERAL NOTES

PROJECT STATUS

PROJECT NUMBER

DATE

DRAWN BY

JWH

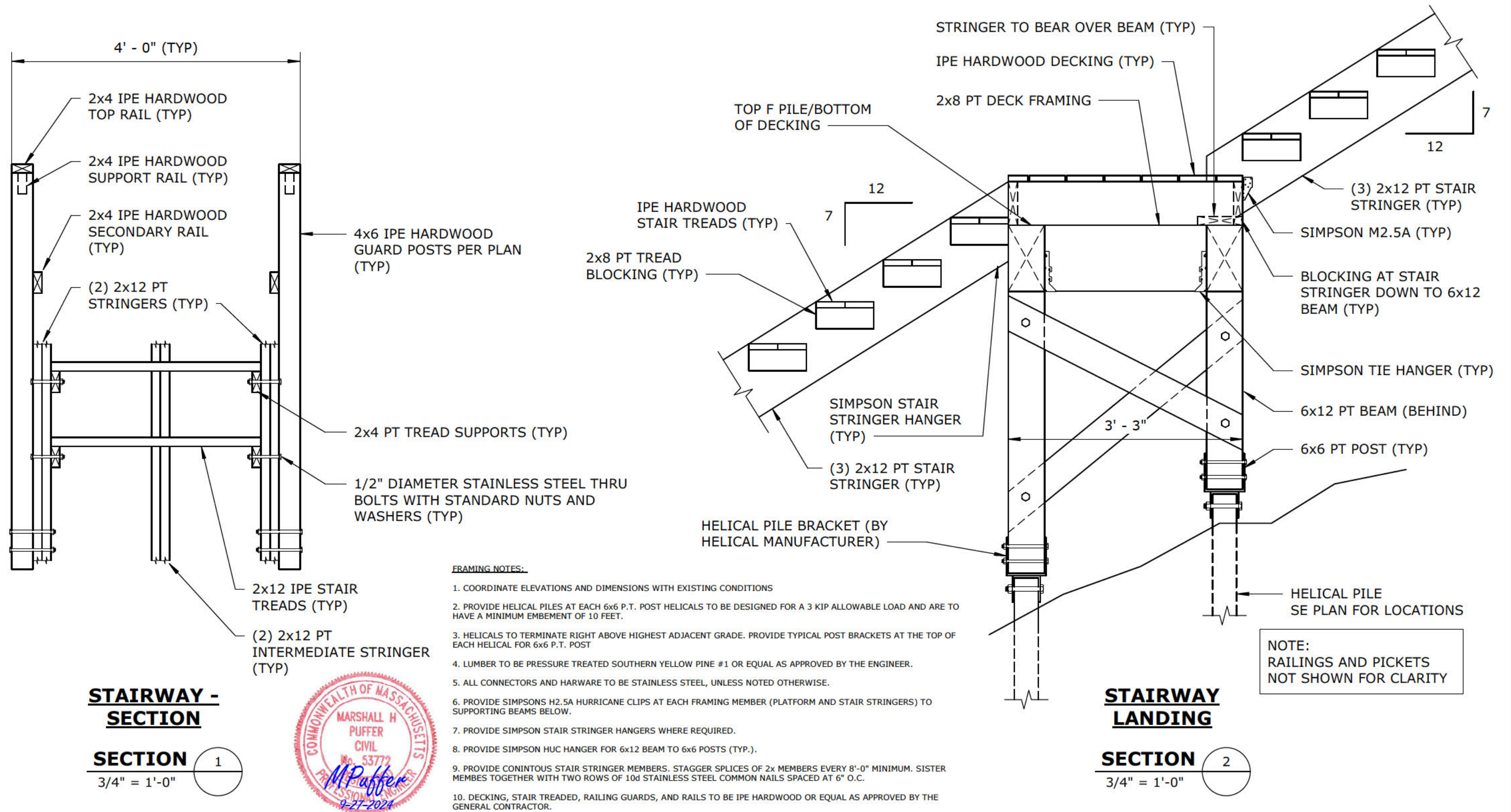
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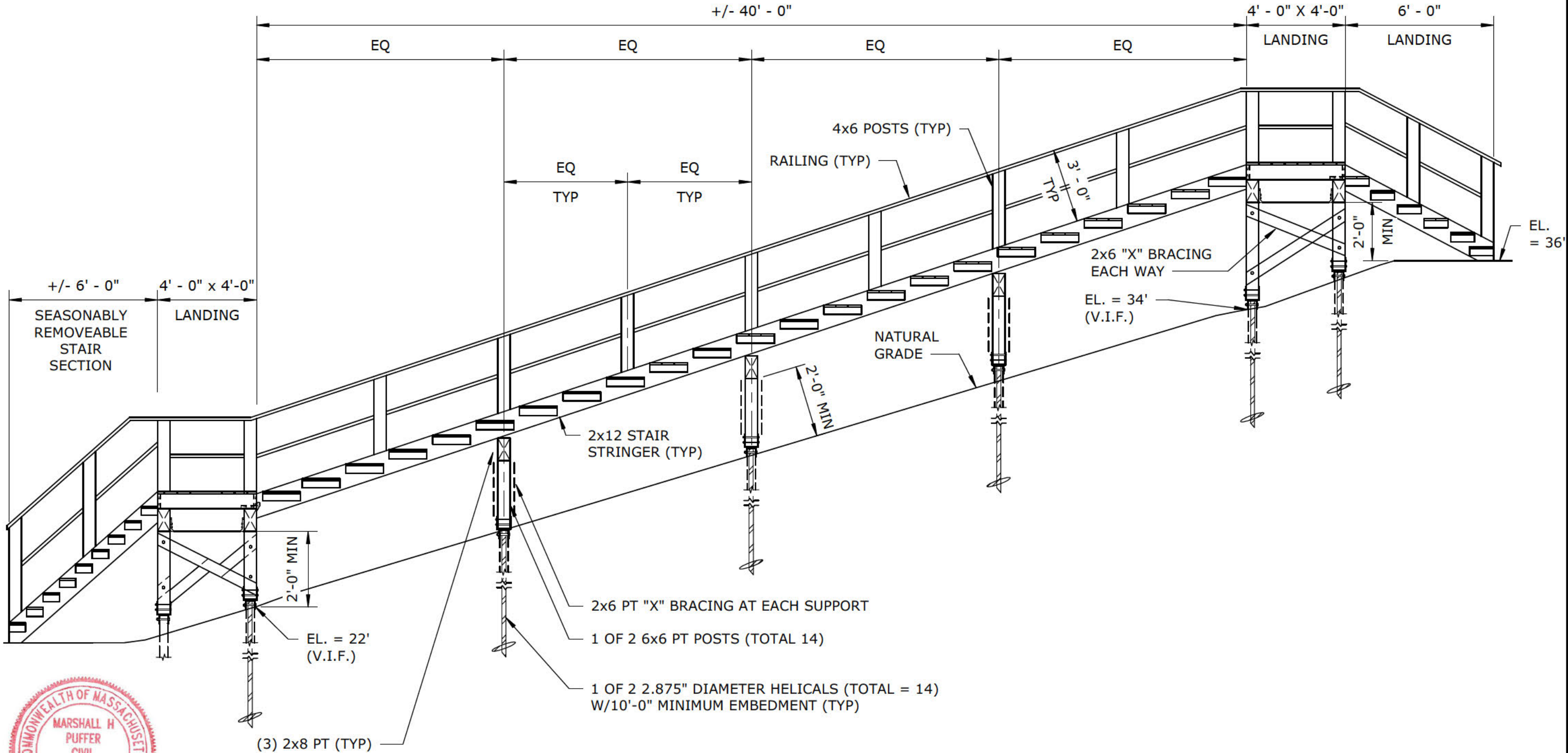
MHP

SHEET TITLE

SKS-01

SHEET NUMBER





STAIRWAY SECTION
SCALE: 1/4" = 1'-0"



PROJECT		STAIR SECTION	
ADDRESS		PROJECT STATUS	SHEET TITLE
10 THORNLEY MEADOW DRIVE TRURO, MA		PROJECT NUMBER 2750890137	SKS-03
		DATE 09/27/2024	
		DRAWN BY JWH	
		CHECKED BY MHP	SHEET NUMBER

Arozana Davis

From: yvette drury dubinsky [REDACTED]
Sent: Wednesday, October 2, 2024 5:30 PM
To: Arozana Davis
Cc: john dubinsky; Roland Letendre
Subject: For the Conservation Commission about stairs and steps

To whom it may concern: The Truro Conservation Commission.

Last night it came to our attention that the town of Truro, without our knowledge, has asked our neighbor, Roland Letendre to hire an engineer to design a stairway to the beach to replace existing railroad tie steps, which are imbedded in the sand.

The path to the beach, below the Y split between the Dubinsky's property and the Letendre property is on our property. We are not sure why we were not consulted. The Letendre's and the Thornley's have an easement on that path. We all use it but it is on our land. John Thornley built the steps in the sand in 1995 and they were low profile, the way they are now, when we bought our land in 1998. We like them that way.

We have quietly maintained the narrow path to the beach (the leg of the Y) that goes to the water and the arm of our part of the Y that goes to our house. It is a narrow path. We have pulled poison ivy off that narrow path and moved away tall grasses because they harbor ticks line from the path, while keeping it narrow and hidden. We have planted beach grass on the coastal dune which has spread and is continuing to hold the dune, keeping it from eroding. With Emily Beebe's advice, we used Wilkinson Ecological Design to do the planting and to follow through to see that it was working, doing its job. We also used Wilkinson to take out any plants that would invade. They have supervised what we have done. Emily Beebe saw the stairs and the land when she was here several years ago and had no complaints about the stairs.

Last year, without consulting us, Roland Letendre, who along with John and Nancy Thornley, has an easement on that leg of the Y to the beach, "improved" the railroad tie steps by replacing them with newer wood, making them more secure. He felt that the wood that was there was unsafe. We didn't pay for this improvement and thanked him for it. They are apparently more noticeable. I think Mr. Letendre may have overdone widening the path out of a concern for ticks. It is not supposed to be as wide as it is but we felt it would naturally grow back soon and be narrower. Now that he knows that the path should be narrower, I'm sure he will let it grow back, even plant more beach grass to narrow it. I think that the widest part is on the coastal dune which is in front of his house, and which I have not seen. When I refer to the narrow path of concern to us, I mean on the leg of the Y, going down to the beach from the split.

We learned last year that there was a problem with the steps but were not sure what it was. We thought that it was because Roland Letendre had used a different type of wood than had been there previously when improving the steps and thought that he was going to need to replace the wood. We thought that he would do that with the same kind of wood that had been there since the 90's. Since he was responsible for replacing the steps, we thought he would be responsible to replace the wood if that were the problem.

Last night I learned that there was a design for a stairway to the beach and that the town didn't want us to keep the steps. Why? We do not think this is necessary. It feels too big for what we have and changes what we have had since 1998. I would be happy to come to the meeting about this and talk further but I will be away on October 7 when I think the meeting will be held. I can come virtually. Would this be possible?

The in-sand steps (maybe 10-12) that are there are not deep and allow the sand to move easily over them. They are almost buried but allow us to walk down with a bit of terracing. They are still the quietest, most unobtrusive, way we can get to and from the beach.

Many thanks for your work on the conservation of Truro. We support what you do.

Best,

Yvette Drury Dubinsky, John Dubinsky

4 Button Hill

Truro 02666

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

March 2024 minutes

Notice of Intent: 402 Shore Road, Kevin Shea (SE#75-1193): install seasonal beach access stairs within a shared easement with Ms. Murtagh; Barrier Beach, Coastal Dune, Land Subject to Coastal Storm Flowage. (Map 10, Parcel 22) *continued from 2/5/2024*
The applicant has requested a continuance until April 1, 2024. **Motion:** Commissioner Diane Messinger moved to continue the hearing until April 1, 2024. **Second:** Commissioner Bob White; **Vote:** 4-0; the motion carried.

Notice of Intent: 16 Great Pond Road, Darryl Cutter & Cortney Oliver: remove cottage and rebuild further from pond; upgrade septic system; Buffer Zone to Great Pond. (Map 55, Parcel 24) Gordon Peabody from Safe Harbor and the homeowners, Darryl Cutter and Cortney Oliver were present in-person to represent the project. This project was previously permitted but not constructed. The new proposal is nearly identical to what was previously approved. The CCNS supported the project and NHESP approval has been submitted to the Conservation Department. Any disturbed areas will be revegetated to match existing site vegetation. Gordon Peabody described the resource protection protocols. The Commissioners all complimented the project including the well-staked site. Commissioner Linda Noons-Rose asked about the septic system. Gordon Peabody stated that the cesspool on site had been filled and abandoned. Moving the road was the only part of the original project that was completed and that the Order of Conditions has been closed. **Motion:** Commissioner Linda Noons-Rose moved to approve the Notice of Intent; **Second:** Chair Carol Girard-Irwin; **Vote:** 4-0; the motion carried.

Request for Determination of Applicability: 6 Great Hills Road, Carl & Patricia Hagberg: expansion of an elevated deck; Coastal Dune, Land Subject to Coastal Storm Flowage. (Map 53, Parcel 17) Gordon Peabody of Safe Harbor represented the project for a small expansion to an elevated deck using diamond pier footings. A large area will be interplanted with native species as mitigation. The Agent noted that this was planting in an area with three different habitats. The Agent commented that the dumpster currently on-site is not covered and should be as a condition of any approval. Commissioner Bob White asked if the beach grass would need irrigation. Gordon Peabody explained no, not at this time of year and that irrigation might encourage the growth of undesirable species. **Motion:** Chair Carol Girard-Irwin moved to approve a negative 3 determination with the condition; **Second:** Commissioner Diane Messinger; **Vote:** 4-0; the motion carried.

Notice of Intent: 10 Thornley Meadow Road, Roland & Lucia Letendre: after-the-fact filing for beach stair replacement and beach grass trimming; Coastal Bank & Coastal Dune. (Map 53, Parcel 87) Stephanie Sequin, PE from Ryder & Wilcox and homeowner Roland Letendre were virtually present at the meeting. Stephanie Sequin described the property and stated that there were existing steps in the location and the work merely replaced them. Stephanie Sequin had technical issues with her connection that prevented her from presenting. While those issues were being addressed, the Agent stated that she had received an email from the former property owner indicating that there were steps in the ground, prior to Mr. Letendre's purchase of the property. That person was Blair Thornley; she was on the call in support of the current homeowner. The Agent asked Blair Thornley to send any photos via email. Representative Stephanie Sequin returned to the call. The Chair stated that sufficient proof had not been submitted demonstrating what was pre-existing



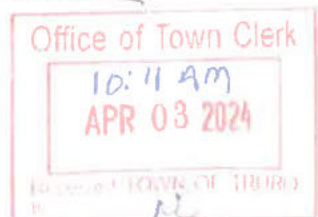
Over →

and opined that the Commission would not likely approve the stairs they viewed on the site visit, if they had been proposed as new construction. The Agent stated that it was important to clarify which areas were being discussed. The photos with the application seem to show pre-existing stairs higher up on the coastal bank while the Chair was talking about the lowest portion of steps coming up the toe of the bank. Stephanie Sequin clarified what documentation the Commission required. The Chair confirmed they need photos to show what existed and the width of the path.

Homeowner Roland Letendre explained that the existing pressure treated steps with rebar had deteriorated so he simply replaced them with wider pressure treated steps believing that the steps helped to prevent the bank from eroding; he also sought permission to trim the grass near the path because of the danger of ticks. The Chair noted that the path already seemed very wide and appears to have been made much wider than is shown in the photographs. Commissioner Bob White explained that with after-the-fact filings, the Commission considers whether the already built project was something they would have approved if the proper filing process had been followed. He stated that more delineation of the coastal dune and the southernmost part of the coastal bank should be added to the current as-built plan. Commissioner Diane Messinger noted that compared to the earlier photos, quite a bit of disturbance along the entire path was evident and may need to be restored. The Agent empathized with the applicant about ticks and suggested that low growing plants like bearberry would not transmit ticks and could be utilized to stabilize the slope. The Chair stated that the current stairs in the lower section were not helping and that elevated stairs would allow sand movement. Commissioner Bob White asked about the standards for "at grade" stairs. The Agent replied that the DEP prefers 12-18" raised stairs.

Homeowner Roland Letendre described the maintenance work that he had done and thought he was helping the area by using something more natural. He offered to meet on the site with the Commission. Representative Stephanie Sequin clarified what was needed in terms of the necessary documentation. She understands that they will need to document the before conditions along with the as-built condition but asked questions about the typical allowable width for footpaths, the amount of restoration, and what would be allowed. The Agent responded that the work does not appear to be a 1:1 replacement. She explained the WPA requirement for review prior to an activity taking place and noted that although this appears to be the same design concept, it is larger and not something that would normally be approved. A plan showing an elevated stair (lower) and restoration of the damage that has been done, with mitigation and the fully delineated resource areas was needed. The applicant requested a continuance until the May 6, 2024 meeting. **Motion: Chair Carol Girard-Irwin moved to continue the hearing until May 6, 2024; Second: Commissioner Diane Messinger; Vote: 4-0-0; the motion carried.**

Request for Determination of Applicability: 18 Pond Road, Sheila Coleman: footing for small addition & concrete pad for landing; Buffer Zone to Pilgrim Pond. (Map 36, Parcel 58) No representative was available, and the Commission moved on to the next agenda item.



Project Narrative & Timeline

PREPARED FOR

17 Avocet Road
Truro, MA

DATE

September 17th, 2024



CRAWFORD
LAND MANAGEMENT

88 Route 6A, Suite 2B
Sandwich MA

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PROJECT INTRODUCTION

This project is located at 17 Avocet Road in Truro abutting Cape Cod Bay to the west. Resource areas on the property include Coastal Beach, Coastal Bank, and Land Subject to Coastal Storm Flowage (Flood Zone VE at elevation 15). The site is not located within Estimated or Priority Habitat as designated by NHESP and is not located within an Area of Critical Environmental Concern. This project seeks to replace an existing fiber roll array, sturdy drift fencing, and elevated staircase, as well as place supplemental nourishment, install a rinse station, and add supplemental plantings to a sparsely vegetated area on the coastal bank.

EXISTING CONDITIONS

Behind the existing dwelling and attached deck, there is a coastal bank which quickly drops off, extending from approximate elevation 50 down to elevation 7, increasing in steepness toward the bottom of the bank. Flood Zone VE falls at elevation 15 on the coastal bank, and below the bank there is a wide coastal beach with mean high water falling at elevation 4.15. A fiber roll array was installed at the bottom of the coastal bank a number of years ago (CLM was not involved in the design or installation of the previous fiber roll array). At the current time, the fiber roll remains continuously exposed, and the fiber rolls exhibit signs of degradation, shifting and slumping. The array is no longer functioning as intended. Drift fencing was also previously installed at the subject property, but that fencing was not maintained and at this time many of the panels are either severely damaged or have disappeared from the site. There is also an existing elevated staircase down the bank which was recently damaged during a storm and is no longer safe to traverse.



AERIAL PHOTO COURTESY OF MASSMAPPER.



AERIAL PHOTO COURTESY OF GOOGLE EARTH.



CONDITION OF EXISTING FIBER ROLL ARRAY, DRIFT FENCING, AND STAIRCASE AS SEEN FROM THE COASTAL BEACH.



CONDITION OF EXISTING FIBER ROLL ARRAY, DRIFT FENCING, AND STAIRCASE AS SEEN FROM THE COASTAL BEACH.



CONDITION OF EXISTING FIBER ROLL ARRAY; MANY ROLLS ARE DETERIORATING OR SHIFTING.



CONDITION OF EXISTING DRIFT FENCING; MANY PANELS ARE DAMAGED OR HAVE DISAPPEARED FROM THE SITE.



CONDITION OF EXISTING STAIRCASE, WHICH HAS BEEN DAMAGED AND IS NO LONGER SAFE TO TRAVERSE.

PROPOSED PROJECT ACTIVITIES

This project seeks to replace an existing fiber roll array, sturdy drift fencing, and elevated staircase, as well as place supplemental nourishment, install a rinse station, and add supplemental plantings to a sparsely vegetated area on the coastal bank.

The proposed fiber roll array would extend along the length of the property from approximate elevation 2 up to approximate elevation 16, and would consist of 11 rows of fiber rolls. The intent with this array would be to extend below mean water to provide protection to the toe of the bank in the event that the beach eventually drops down to the mean high water line, and extend above the velocity flood zone elevation to protect the bank from wave energy possible in the event of a 100-year (1% annual chance) storm. High-density, 20" diameter fiber rolls made of biodegradable coir would be anchored into underlying sediment every 30" along the array using duckbill anchors and cable. The array would be wrapped with one layer of 20 g burlap followed by one layer of 900-gram coir matting to help slow UV degradation if exposed. The array would also be nourished with compatible sediment to restore the natural shoreline profile and protect the rolls from UV exposure.

The fiber roll array would be fronted by sturdy sand drift fencing. This type of fence is more robust than traditional sand drift fencing to greatly lessen the probability of breaking in high-energy storms. The fence is designed to be buried most of the time, and would only extend above the beach if exposed during a storm. In the event the fencing becomes exposed, it's arranged in a zig-zag configuration that maximizes the probability of capturing and retaining wind-blown sediment. Though the fencing is more robust than traditional sand drift fencing, the sturdy drift fencing still retains 50% open space of the panels. The panels would also be constructed with 2' gaps every ~50' to allow for movement of wildlife if/when the fence is exposed. The durability of this type of fencing, as well as its ability to capture and retain sediment will benefit the project and are a common occurrence along Cape Cod Bay.

More information regarding the elevated staircase to be rebuilt can be found on the Site Plan provided by Merrill Engineers.

Access for the proposed work would ideally be from Cold Storage Beach, and any necessary permits or permissions to use the Town landing will be procured prior to use. If access from Cold Storage Beach cannot be attained, secondary access would be from the existing driveway to the south of the dwelling and over the top of the coastal bank. A limit of work has been identified on the plan, although a more specific access route will need to be determined by the contractor based on specific equipment needs, actual conditions on site, the verified location of the septic system components, etc. Any areas disturbed within the limit of work during construction activities will be restored, and a specific maintenance access path for future maintenance activities will be approved by the Conservation Agent.

Additionally, there is a sparsely vegetated area on the coastal bank which the property owners would like to plant with supplemental plantings. The area is approximately 515 square feet, and is proposed to be planted with American beach grass (*Ammophila breviligulata*) culms at 18" on center (2 culms per hole), as well as bearberry (*Arctostaphylos uva-ursi*) and northern bayberry (*Morella pensylvanica*).

Lastly, the property owners would like to install a small rinse station on the more landward side of their existing dwelling, as depicted on the plan. This rinse station is proposed in an area that is not currently naturalized, and is rather a loosely planted landscape bed.

PROJECT ACTIVITY TIMELINE

INITIAL INSTALLATION (WINTER/EARLY SPRING 2025)

- Complete all initial implementation work (replacement of existing fiber roll array, sturdy drift fencing, and elevated staircase) prior to storm season, if possible, given availability of materials, contractor schedule, etc. Per Town regulations, construction/implementation work shall occur between Columbus Day and April 15.
- Establish a limit of work prior to beginning any work. No work is to occur below Mean High Water (el. 4.15). Work will need to occur primarily from the upland side of the installation.
- See the Shoreline Stabilization Plan for more information on construction and equipment access and construction of the sturdy drift fencing.

NOURISHMENT (WINTER/EARLY SPRING 2025)

- Sieve samples are to be collected from the area proposed for nourishment and compared with the sediment to be used for nourishment activities to confirm compatibility. Existing sieve analysis sample sites are to be representative of the average conditions.
- Sediment for nourishment is to be approved by the Agent prior to placement.
- Per Town regulations, nourishment is to be placed between Columbus Day and April 15.

PLANTING (WINTER/EARLY SPRING 2025)

- Install American beach grass culms in the areas specified on the plan at 12" on center with 2 culms per hole.
- Planting of American beach grass must occur between November 1 and April 1.

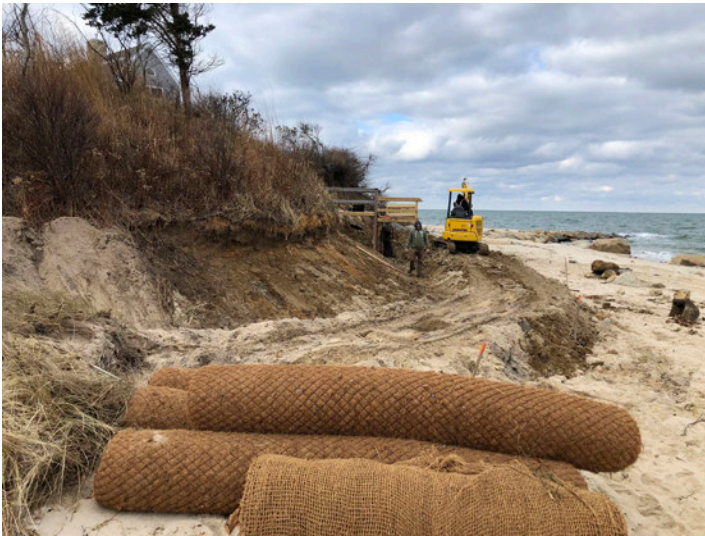
MAINTENANCE (2025-2027 & ONGOING)

- Monitor project area and perform assessments after a significant weather event to determine how the installation is performing and if any changes or additions to the installation are necessary.
- Nourish the installation annually with compatible sediment as necessary to maintain design profiles as shown on the plan. Nourishment needs may vary from year to year for volume and frequency.
- Any areas of the installation or components that are damaged, degraded, or exposed will either be repaired/replaced or the exposed portions will be removed.

MONITORING REPORTS (2025-2027)

- Annual monitoring reports will be submitted to the Commission each year for three years once the installation is complete.

FIBER ROLL ARRAY EXAMPLE PHOTOS



SLOPE IS PREPARED



THE BOTTOM ROLL IS INSTALLED UNDER EXISTING GRADE TO PROVIDE A STRONG BASE AND PREVENT SLUMPING



ROLLS ARE STACKED VERTICALLY ALONG THE FACE OF THE BANK TO RESTORE A DESIRABLE SLOPE



ARRAY IS BLANKETED AND ANCHORED IN PLACE



ROLLS MAY NEED TO BE COVERED WITH SEDIMENT ANNUALLY TO KEEP THEM COVERED



ROLLS CAN BE PLANTED INTO TO GET VEGETATION & ROOT SYSTEMS ESTABLISHED

STURDY SAND DRIFT FENCE EXAMPLE PHOTOS



PANELS ARE ASSEMBLED AND LAID OUT



PANELS ARE ARRANGED IN A ZIG-ZAG FORMATION TO HELP CAPTURE WIND-BLOWN SEDIMENT



OVER TIME, THE FENCE ACCUMULATES WIND-BLOWN SEDIMENT



AFTER MAJOR STORMS, THE FENCE MAY NEED TO BE COVERED WITH NOURISHMENT

Performance Standards Narrative

PREPARED FOR

17 Avocet Road
Truro, MA 02642

DATE

September 17th, 2024



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Sandwich MA

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310 CMR 10.00: The Wetlands Protection Act

10.27: Coastal Beaches

(3) Any project on a coastal beach, except any project permitted under 310 CMR 10.30(3)(a), shall not have an adverse effect by increasing erosion, decreasing the volume or changing the form of any such coastal beach or an adjacent or downdrift coastal beach.

This project is intended to reduce erosion and increase the resilience of the coastal beach by restoring the coastal bank landform. 100% biodegradable coir fiber rolls will stabilize the landform to reduce erosion, and supplemental annual nourishment will help preserve the elevation. Additionally, sturdy sand drift fence will trap wind-blown sediment to help reduce the severity of erosion during storms. The existing profile of the coastal bank landform will not be altered. Rather, coir fiber rolls would be anchored into the existing form of the coastal bank.

(4) Any groin, jetty, solid pier, or other such solid fill structure which will interfere with littoral drift, in addition to complying with 310 CMR 10.27(3), shall be constructed as follows:

N/A. No solid fill structure is proposed.

(5) Notwithstanding 310 CMR 10.27(3), beach nourishment with clean sediment of a grain size compatible with that on the existing beach may be permitted.

Nourishment is proposed using clean sediment with a grain size compatible with that on the existing beach.

(7) Notwithstanding the provisions of 310 CMR 10.27(3) through (6), no project may be permitted which will have any adverse effect on specified habitat sites or rare vertebrate or invertebrate species, as identified by procedures established under 310 CMR 10.37.

No specified habitat sites of rare vertebrate or invertebrate species is identified on site.

10.30: Coastal Banks

(3) No new bulkhead, revetment, seawall, groin or other coastal engineering structure shall be permitted on such a coastal bank except that such a coastal engineering structure shall be permitted when required to prevent storm damage to buildings constructed prior to the effective date of 310 CMR 10.21 through 10.37 or constructed pursuant to a Notice of Intent filed prior to the effective date of 310 CMR 10.21 through 10.37 (August 10, 1978), including reconstructions of such buildings subsequent to the effective date of 310 CMR 10.21 through 10.37, provided that the following requirements are met:

N/A. No coastal engineering structure is proposed.

(4) Any project on a coastal bank or within 100 feet landward of the top of a coastal bank, other than a structure permitted by 310 CMR 10.30(3), shall not have an adverse effect due to wave action on the movement of sediment from the coastal bank to coastal beaches or land subject to tidal action.

The coastal bank will be fronted by biodegradable coir fiber rolls in order to preserve and protect the shoreline. However, these features will be covered with sacrificial nourishment, which will be able to move to coastal beaches and land subject to tidal action. Sediment supply will not be diminished as a result of proposed work.

(5) The Order of Conditions and the Certificate of Compliance for any new building within 100 feet landward of the top of a coastal bank permitted by the issuing authority under M.G.L. c. 131, § 40 shall contain the specific condition: 310 CMR 10.30(3), promulgated under M.G.L. c. 131, § 40, requires that no coastal engineering structure, such as a bulkhead, revetment, or seawall shall be permitted on an eroding bank at any time in the future to protect the project allowed by this Order of Conditions.

N/A. No new building or coastal engineering structure is proposed.

(6) Any project on such a coastal bank or within 100 feet landward of the top of such coastal bank shall have no adverse effects on the stability of the coastal bank.

The stability of the bank will ultimately be improved by proposed work. Coir fiber rolls will help protect and/or stabilize the coastal bank, which is increasingly at risk of eroding and scouring.

(7) Bulkheads, revetments, seawalls, groins or other coastal engineering structures may be permitted on such a coastal bank except when such bank is significant to storm damage prevention or flood control because it supplies sediment to coastal beaches, coastal dunes, and barrier beaches.

N/A. No coastal engineering structure is proposed.

(8) Notwithstanding the provisions of 310 CMR 10.30(3) through (7), no project may be permitted which will have any adverse effect on specified habitat sites of rare vertebrate or invertebrate species, as identified by procedures established under 310 CMR 10.37.

No specified habitat sites of rare vertebrate or invertebrate species is identified on site.

10.57: Land Subject to Flooding

(4) General Performance Standards

(a) Bordering Land Subject to Flooding

1. Compensatory storage shall be provided for all flood storage volume that will be lost as the result of a proposed project within Bordering Land Subject to Flooding, when in the judgment of the issuing authority said loss will cause an increase or will contribute incrementally to an increase in the horizontal extent and level of flood waters during peak flows. Compensatory storage shall mean a volume not previously used for flood storage and shall be incrementally equal to the theoretical volume of flood water at each elevation, up to and including the 100-year flood elevation, which would be displaced by the proposed project. Such compensatory volume shall have an unrestricted hydraulic connection to the same waterway or water body. Further, with respect to waterways, such compensatory volume shall be provided within the same reach of the river, stream or creek.

Proposed work will not cause a loss of any flood storage volume. The existing profile of the coastal bank landform will not be altered. Rather, coir fiber rolls would be anchored into the existing form of the coastal bank to better absorb and buffer wave energy and protect the bank from future scour and slumping.

2. Work within Bordering Land Subject to Flooding, including that work required to provide the above-specified compensatory storage, shall not restrict flows so as to cause an increase in flood stage or velocity.

Proposed work will not restrict flows or cause an increase in flood stage or velocity. The existing profile of the coastal bank landform will not be altered. Rather, coir fiber rolls would be anchored into the existing form of the coastal bank to better absorb and buffer wave energy and protect the bank from future scour and slumping.

3. Work in those portions of bordering land subject to flooding found to be significant to the protection of wildlife habitat shall not impair its capacity to provide important wildlife habitat functions. Except for work which would adversely affect vernal pool habitat, a project or projects on a single lot, for which Notice(s) of Intent is filed on or after November 1, 1987, that (cumulatively) alter(s) up to 10% or 5,000 square feet (whichever is less) of land in this resource area found to be significant to the protection of wildlife habitat, shall not be deemed to impair its capacity to provide important wildlife habitat functions. Additional alterations beyond the above threshold, or altering vernal pool habitat, may be permitted if they will have no adverse effects on wildlife habitat, as determined by procedures contained in 310 CMR 10.60.

Proposed work will ultimately have a positive effect on habitat by protecting the shoreline from further erosion and preserving the area and quality of existing wildlife habitat. Impacts of proposed work will be temporary, and no work will be completed during critical nesting periods.

(c) Protection of Rare Wildlife Species

Notwithstanding the provisions of 310 CMR 10.57(4)(a) or (b), no project may be permitted which will have any adverse effect on specified wildlife habitat sites of rare vertebrate or invertebrate species, as identified by procedures established under 310 CMR 10.59.

No specified habitat sites of rare vertebrate or invertebrate species is identified on site.

Truro Conservation Regulations

2.01: Buffer Zone (including the 50-foot vegetated buffer strip):

d. General Performance Standards

1. Where the presumption set forth above is not overcome, any proposed work in the Buffer Zone shall not adversely impact or otherwise impair any portion of said area.

Proposed work will not adversely impact or impair any portion of the buffer zone. Impacts will be temporary and will ultimately result in a more stable and resilient coastal bank/beach which are able to serve as a vertical buffer to wave energy, provide sediment, and support sustainable habitat for wildlife.

2. Where the Buffer Zone overlays other resource areas subject to protection under the Bylaw, the applicable performance standards for each resource area shall be independently and collectively applied and the project appropriately conditioned to protect all stated interests.

All pertinent performance standards have been addressed and met.

3. The Commission may issue an Order of Conditions permitting work in the Buffer Zone provided that the applicant has submitted a written alternatives analysis that examines all practicable alternatives to the project which would further minimize impacts to the Buffer Zone and demonstrates that all impacts can be properly mitigated. The alternatives analysis shall be submitted to the Commission in writing.

An alternatives analysis is included at the end of this document.

4. Where no practicable alternatives are available or capable of being done which would otherwise avoid or minimize adverse impacts to the Buffer Zone, the following standards shall apply:

No Significant Adverse Impact: Within the 100-foot Buffer Zone, the Commission may allow the total alteration of up to 5000 square feet subject to the following:

i. total alteration of the land area within the Buffer Zone shall be calculated in square feet to describe what is currently altered or developed, and what is proposed. Total alteration shall include disturbed areas such as (but not limited to) building footprint, driveways, pathways, yard areas and lawns.

The area of alteration within the 100-foot buffer zone includes any areas within the limit of work. The limit of work may be smaller if access can be attained from Cold Storage Beach. The majority of work within this area would only be temporarily altered for construction access, but would be restored after installation of the stairs/fiber roll array.

ii. The alteration calculations shall describe the amount and types of alterations between 0-50-feet, and 50-100-feet of the buffer. Any area where vegetation is to be removed or where soils will be disturbed shall be included in this calculation.

iii. The area within the limit of work will reflect the limit of the altered area and shall be shown clearly and accurately on all plans submitted to the Conservation Commission at the time of filing.

The proposed limit of work is clearly marked on the plans.

iv. At a minimum, a 50-foot-wide area of undisturbed vegetation (the vegetated buffer strip) shall be provided between the wetland resource area and the work.

A vegetated buffer will be restored as much as feasible; much of the existing dwelling and site features are already located within 50 feet of the coastal bank. The area within the limit of work will be restored to its pre-existing condition; a small maintenance access path may need to be maintained if access isn't feasible from Cold Storage Beach, but this access path can be vegetated with native herbaceous perennials that can be traversed over and re-vegetated if/when necessary.

v. If there is no 50-foot-wide area of undisturbed vegetation within the Buffer Zone, the existing vegetative cover shall be preserved and/or extended beyond 50-feet in some areas by re-vegetating with native plants to the maximum amount feasible in order to approximate a 50-foot-wide corridor of native vegetation.

There is no 50-foot wide area of undisturbed vegetation currently; however, the limit of work will be restored to its pre-existing condition, except for a small maintenance access path, if necessary. Additionally, an approximately 515 square ft area on the bank which is sparsely vegetated will be planted with supplemental grasses and shrubs.

vi. On previously developed or disturbed sites, all work proposed within the buffer zone shall result in an improvement of the existing conditions and an enhanced capacity of the resource area(s) and Buffer Zone to protect the public interests and values protected under the Bylaw.

Work proposed within the buffer zone will ultimately result in an improvement of the resource areas. Work will ultimately result in a more stable and resilient coastal bank/beach which are able to serve as a vertical buffer to wave energy, provide sediment, and support sustainable habitat for wildlife.

vii. The Conservation Commission may require, as mitigation for new alteration within the Buffer Zone: re-vegetation and restoration of areas previously altered or disturbed within the buffer zone; rerouting existing roof runoff through gutters and roof drains which direct roof drainage into drywells or leaching pits; and may require drainage improvements and/or other mitigating measures.

The area within the limit of work will be restored to its pre-existing condition; a small maintenance access path may need to be maintained if access isn't feasible from Cold Storage Beach, but this access path can be vegetated with native herbaceous perennials that can be traversed over and re-vegetated if/when necessary. Additionally, an approximately 515 square ft area on the bank which is sparsely vegetated will be planted with supplemental grasses and shrubs.

5. Expansion of existing structures within the Buffer Zone may be allowed provided that:

i. No new structure or addition to an existing structure shall be located closer to a wetland resource area than existing conditions.

A small rinse station is proposed landward of the existing dwelling in an area that is currently not naturalized.

ii. The area of the proposed disturbance and all previously disturbed areas shall not, cumulatively, exceed the 5,000-square foot threshold for allowable disturbance within the Buffer Zone.

6. Projects which include substantial demolition (i.e. removal of more than one exterior wall) and subsequent reconstruction of a dwelling shall be considered a new building and shall site as much of the project as possible outside of the Buffer Zone. Projects for expansion of existing homes greater than 25% of the existing size, as measured in square footage of the foundation or cubic footage of the structure, shall be considered a new building and shall site as much of the project as possible outside of the Buffer Zone.

N/A. The project does not propose any substantial demolition.

7. All new construction projects within the Buffer Zone shall address how stormwater drainage will be managed. The project must ensure that runoff from built and developed areas will drain directly into the soil on the subject site and will not runoff onto neighboring properties or streets. Methods to address drainage shall include but are not limited to vegetated swales, rainwater gardens, catchbasins, use of gutters and roof drains, drip lines with crushed stone; and pervious and dry-laid stone.

No new construction will affect stormwater drainage. The only new construction is a small rinse station, which is proposed in an area which is not currently naturalized. There will be no additional runoff.

8. Driveways within the Buffer Zone shall be constructed with pervious materials such as crushed stone. Permeable pavers with a void space of less than 30% are not considered compliant with this requirement.

N/A. No new driveway is proposed.

9. Cutting, pruning, lifting the canopy, limbing or other destruction of above ground vegetation shall be limited. View clearing or vista pruning will not be permitted without a specific view corridor identified.

No alteration of above ground vegetation is proposed for the purposes of obtaining a view.

i. When pruning is permitted, it shall be for the removal of dead, diseased, obstructing and weak branches as well as thinning of branches to lessen wind resistance. Shrubs must retain their natural shape and features such as fruits and flowers by selecting the optimum height and pruning different branches in alternate years.

No alteration of above ground vegetation is proposed for the purposes of obtaining a view.

ii. When vista cutting is the only viable option in a heavily vegetated lot, the Commission may allow the removal of no more than 20% of the tree canopy.

No alteration of above ground vegetation is proposed for the purposes of obtaining a view.

iii. All trees proposed for removal must be clearly flagged on site and shown on a site plan.

No trees are proposed to be removed for the purposes of obtaining a view. If site access from Cold Storage Beach is not obtainable and secondary access from the property must be utilized, any trees within the approved Limit of Work that are absolutely necessary to be removed for access will be flagged for the Conservation Agent's review on-site and if replacements are necessary, carried out at the direction of the Conservation Agent.

iv. When vista pruning, and cutting is proposed, specific windows of view (containing top, sides, and bottom and not devoid of one species) shall be identified and shown on a site plan. Filtered vistas are encouraged and can be accomplished through pruning and lifting.

No alteration of above ground vegetation is proposed for the purposes of obtaining a view.

v. Topping is not permitted.

No alteration of above ground vegetation is proposed for the purposes of obtaining a view.

vi. Clear cutting and cutting from property line to property line is prohibited. Violations may be assessed using a count of trees cut.

No alteration of above ground vegetation is proposed for the purposes of obtaining a view.

vii. When lifting is proposed, the health of the tree must be considered as well as the impact to wildlife. In no instance, shall more than 1/3 of the above ground trunk be pruned.

No alteration of above ground vegetation is proposed for the purposes of obtaining a view.

viii. Dead and diseased trees may be removed if they endanger a structure or live vegetation.

No dead or diseased trees are proposed to be removed.

ix. The Commission shall require the replacement planting of native shrubs and trees in areas proposed for tree removal. A 3:1 replacement of shrubs for mature trees (6" dbh or greater) and a 2:1 replacement for sapling trees (less than 6" dbh) is desired.

Noted.

11. Within the 50-foot vegetated buffer strip, the Commission may issue an Order of Conditions allowing the following activities:

i. Pruning to reduce a hazard, to improve tree or plant structure, to provide a reasonable vista, or to improve the health of trees and shrubs.

No pruning is proposed.

ii. Selective Cutting of vegetation.

No selective cutting of vegetation is proposed other than what is necessary to complete the project. After construction, all disturbed areas will be re-vegetated.

iii. Removal of invasive species.

Removal of invasive species is not proposed for restoration purposes, but invasive species removed within the limit of work will be replaced with native vegetation post-construction.

iv. Planting of native vegetation.

Native grasses and shrubs are proposed to supplement a sparsely vegetated area on the coastal bank. Native grasses and shrubs will also be used to revegetate areas disturbed within the construction limit of work.

v. Habitat management activities designed to enhance the values protected by the Bylaw;

Supplementing a sparsely vegetated area on the coastal bank with native grasses and shrubs will enhance the wildlife habitat on the bank.

vi. Construction and maintenance of unpaved pedestrian access paths not more than 4-feet in width;

The only unpaved pedestrian access path necessary would be established within the proposed limit of work to perform monitoring and maintenance activities for the project components if access from Cold Storage Beach is not obtainable.

vii. Maintenance of existing structures, utilities, storm water management structures;

N/A. No such work is proposed.

viii. Construction and maintenance of water dependent structures and uses; Construction of new utility lines where the proposed route is the best environmental alternative;

N/A. No such work is proposed.

ix. Septic system maintenance and, if a system has failed, repair/replacement meeting state/local standards where the disturbance to the buffer zone is avoided and/or minimized to the maximum extent practicable;

N/A. No such work is proposed.

x. Construction, maintenance, repair/replacement of drinking water wells;

N/A. No such work is proposed.

xi. Maintenance, repair and drainage improvements on existing roadways and driveways.

N/A. No such work is proposed.

12. The following activities are prohibited within the 50-foot vegetated buffer strip:

i. New and/or expanded lawn and garden areas; underground irrigation;

N/A. No such work is proposed.

ii. New structures including but not limited to homes, buildings, swimming pools, sheds and decks; and

No new structure is proposed; only maintenance/replacement of existing, failing structure is proposed (stairs).

iii. Expansion of existing structures including but not limited to homes, buildings, sheds and decks.

Replacement of existing, failing structure (stairs) is proposed. A small rinse station adjoining the existing building/patio area is proposed (26sf +/-). Over 500 square feet of bare area is proposed for planting on the Coastal Bank and within the 0-50' buffer.

2.02 Additional Requirements for Activities located in Resource Areas

a. The following activities are prohibited within Wetland Resource Areas:

1. New and/or expanded lawn and garden areas; underground irrigation

N/A. No such work is proposed.

2. New structures including but not limited to homes, buildings, swimming pools, docks and piers, sheds and decks; and

No new structure is proposed; only maintenance/replacement of existing, failing structure (stairs) is proposed.

3. Expansion of existing structures including but not limited to homes, buildings, sheds and decks.

No expansion of existing structure is proposed within the resource areas; only maintenance/replacement of existing, failing structure (stairs) is proposed.

b. Within resource areas, the Commission may issue an Order of Conditions allowing the following activities:

1. Pruning to reduce a hazard, to improve tree or plant structure, to provide a reasonable vista, or to improve the health of trees and shrubs.

No pruning is proposed.

2. Selective Cutting of vegetation.

No selective cutting of vegetation is proposed other than what may be necessary within the limit of work to construct the project. If construction access from Cold Storage Beach is obtained, less disturbance is required. All areas within the limit of work that may be disturbed will be re-vegetated upon completion of the work.

3. Elevated stairways over a Coastal Bank and Inland Bank.

The existing elevated stairway is damaged and unsafe, and is proposed to be replaced in the same general location as before.

4. Removal of invasive species.

Removal of invasive species is not proposed for restoration purposes, but invasive species removed within the limit of work will be replaced with native vegetation post-construction.

5. Planting of native vegetation.

Native grasses and shrubs are proposed to supplement a sparsely vegetated area on the coastal bank. Native grasses and shrubs will also be used to re-vegetate areas disturbed within the construction limit of work.

6. Habitat management activities designed to enhance the values protected by the Truro Conservation Bylaw;

Supplementing a sparsely vegetated area on the coastal bank with native grasses and shrubs will enhance the wildlife habitat on the bank and add more square footage of naturalized area to the bank and buffer zone.

7. Septic system maintenance and, if a system has failed, repair/replacement meeting state/local standards where the disturbance to the resource area is avoided and/or minimized to the maximum extent practicable;

N/A. No such work is proposed.

8. Construction, maintenance, repair/replacement of drinking water wells.

N/A. No such work is proposed.

2.04: Coastal Bank

d. Performance Standards:

3. When a Coastal Bank is determined to be significant to storm damage prevention or flood control because it supplies sediment to coastal beaches, coastal dunes or barrier beaches the following performance standards shall apply:

i. A well vegetated bank provides significant resistance to storm damage; therefore, the Commission requires extensive planting of the coastal bank as part of any erosion control project, including re-planting as on-going maintenance in all projects.

The fiber roll array and any supplemental sediment for nourishment will be planted with American beach grass to vegetate the coastal bank; planting of American beach grass may need to be completed annually if lost due to storm action.

ii. In the case of an "erosion control" project permitted under these regulations, these standards must be met by a showing, by substantial evidence, that a sufficient quantity of beach nourishment and "sacrificial" sand will be provided as part of the project to ensure that the movement of sediment and sediment supply will not be adversely affected by the project.

Approximately 160 cubic yards of beach nourishment is proposed to help cover the fiber roll installation and restore a natural beach profile, based on the existing conditions at the time of survey. Sieve samples will be analyzed to ensure compatibility between sediment to be placed on site and that which is existing.

iii. Projects shall fully comply with the "sample order of conditions for coir tube projects" in order to be permitted on the bay side of Truro as set forth.

iv. In no event shall an engineered structure or "coir tube" project be permitted as an erosion control project on the Ocean side of Truro.

Coir fiber rolls are proposed to stabilize the toe of the coastal bank. There is an existing fiber roll array which is proposed to be replaced with a new array that is designed and maintained for better long-term sustainability than the previous array. If no action was taken, the bank would likely continue to scour and slump, having negative consequences for flood protection and wildlife habitat value.

v. In all "coir tube" projects, only one row of drift or serpentine fencing may be installed or utilized at the property. Layered Drift fencing shall only be permitted under special circumstances and in limited areas and shall be sought by application for a waiver.

One row of sturdy drift fencing is proposed to front the coir fiber roll array. Minimum 2' wide gaps will be left approximately 50' between sections of fencing to allow for wildlife movement.

vi. Serpentine Fencing with Coir Tube Project: A single installation of Serpentine fencing may be incorporated in a coir tube project. No additional serpentine fencing shall be permitted except on clear and convincing proof of extraordinary circumstances.

One row of sturdy drift fencing is proposed to front the coir fiber roll array. Minimum 2' wide gaps will be left approximately 50' between sections of fencing to allow for wildlife movement. The fencing is intended to be mostly under nourishment and exposed only during storm cycles or before nourishment activities have been completed.

vii. Hardened fencing, seawalls, revetments, bulkheads and other "coastal engineering structures" shall not be allowed, except as specifically provided in 310 C.M.R. 10.30 (3) to protect structures constructed prior to 1978. In addition to the requirements on such projects imposed by 310 C.M.R. 10.30(3), no such project shall be permitted on the Bay Side of Truro unless a "coir tube" project has been previously approved and installed and has failed, where such failure is not solely attributed to failure to maintain sand cover and vegetation.

Drift fence and coir fiber rolls were previously approved. Rolls are still present along with the original drift fence pilings.

viii. Maintenance or repair of existing bulkheads and revetments shall only be by prior approval of the Truro Conservation Commission and may include the requirement for sand nourishment to the beach as required.

N/A.

ix. A model order of conditions is attached to these regulations and incorporated herein. No waivers from these required orders shall be allowed except upon clear and convincing scientific proof that the proposed waiver will improve the ability of the coastal bank to provide storm damage protection, prevent flooding and contribute sediment to the littoral system.

Noted.

x. Escrow agreement: Every erosion control project shall include a requirement that the property owner establish an escrow account with the Town of Truro in accordance with the requirements of the Model Escrow Agreement attached to these regulations and incorporated herein. This agreement allows the Conservation Commission to remove any project as to which the owner fails to perform ongoing maintenance as required by the Commission.

Noted.

xi. No variance or waiver of this requirement shall be granted by the Commission. Remaining escrow funds, if any, may be returned to the property owner when the erosion control project is removed.

Noted.

2.05: Land Subject to Coastal Storm Flowage

c. Performance Standards

1. In addition to the interests and values set forth above in Sections 2.05(a) and (b), the following standards shall also be applied to work within LSCSF:

Any activity subject to jurisdiction, and proposed on LSCSF shall not:

i. Reduce the ability of the resource to absorb and contain flood waters;

Proposed work will not reduce the ability of the resource to absorb and contain flood waters. The existing profile of the coastal bank landform will not be altered. Rather, coir fiber rolls would be anchored into the existing form of the coastal bank to better absorb and buffer wave energy and protect the bank from future scour and slumping.

ii. Reduce the ability of the resource to buffer more inland areas from flooding and wave damage;

Proposed work will not reduce the ability of the resource to buffer more inland areas from flooding and wave action. The existing profile of the coastal bank landform will not be altered. Rather, coir fiber rolls would be anchored into the existing form of the coastal bank to better absorb and buffer wave energy and protect the bank from future scour and slumping.

iii. Displace or divert flood waters to other areas;

Proposed work will not displace or divert flood waters. The existing profile of the coastal bank landform will not be altered. Rather, coir fiber rolls would be anchored into the existing form of the coastal bank to better absorb and buffer wave energy and protect the bank from future scour and slumping.

iv. Cause or create the likelihood of damage by debris to other structures on land within the flood plain (collateral damage); built structures such as stairs or walkways shall be seasonally removable,

Proposed work will not create the likelihood of damage by debris. The bottom portion of the elevated stairway will be removable. If not replaced, the existing elevated stairway, which is already damaged, would have a greater likelihood of creating debris.

v. Cause ground or surface pollution triggered by coastal storm flowage; and

Proposed work will not cause pollution triggered by coastal storm flowage.

vi. Reduce the ability of the resource to serve as a wildlife habitat and migration corridor through activities such as, but not limited to the removal of vegetative cover and/or installation of fencing and other similar structures.

Disturbance of vegetative cover will be temporary to facilitate installation of the proposed project elements, and areas within the limit of work will be restored following construction. The access path will be vegetated with native grasses, and a sparsely vegetated area on the coastal bank will be supplemented with native grasses and shrubs. Sturdy drift fencing will maintain 2' wide gaps between fencing every 50' along its length to facilitate movement of wildlife on the occasion that it is exposed for short periods of time.

vii. Any activity proposed in the floodplain may require mitigation to enhance or restore natural functions of the floodplain.

7.04 SPECIAL CONDITIONS

1. Special Conditions for particular projects:

a. Section 30(3) of the Wetlands Regulations promulgated under G.L. 131 §40 requires that no coastal engineering structure such as a bulkhead, revetment, or seawall, shall be

permitted on an eroding coastal bank at any time in the future to protect the structures permitted under this Order of Conditions. The Applicant acknowledges the risk of building near an eroding coastal bank and is prepared to move, remove, or relocate the structures if necessary.

N/A. No coastal engineering structure is proposed.

b. All beach stairs repaired or constructed pursuant to this Order shall have batter boards of Conservation Commission approved dimensions, placed parallel to the contour at all support posts to prevent erosion and all support posts shall be mounted on helical anchors.

Refer to the Beach Access Stairs plans provided by Inghouse, PC for more details on the design/construction of the reconstructed elevated staircase.

c. New or replacement of the bottom section of the stairs shall be removable.

The bottom section of the stairs is removable.

d. The use of Chromated Copper Arsenate (CCA) treated wood is prohibited. Alkaline Copper Quaternary (ACQ) or equivalent treated wood shall be used.

Refer to the Beach Access Stairs plans provided by Inghouse, PC for more details on the design/construction of the reconstructed elevated staircase.

e. If a temporary walkway is used, it must be removed seasonally from Columbus Day to Memorial Day.

The majority of the elevated staircase will be permanent, though the bottom section of the stairs will be removable.

f. All construction materials, earth stockpiles, landscaping materials, slurry pits, waste products, refuse, debris, stumps, slash, or excavate may only be stockpiled or collected in areas as shown and labeled on the approved plan(s), or if no such areas are shown must be placed or stored outside all resource areas and associated buffer zones under cover and surrounded by a double stacked row of straw bales to prevent contact with rain water.

All construction materials will be confined within the approved limit of work. A silt fence or other appropriate siltation barrier will be installed and approved by the Agent at the on-site meeting prior to any work beginning.

g. All building or construction debris shall be deposited into a suitable dumpster or be removed off site on a daily basis. The dumpster shall be located outside the 100-foot buffer zone or within work-limit area as approved by the Commission.

All debris will be properly disposed of off-site. A construction dumpster will be staged in the driveway area included in the limit of work, if necessary.

h. Work shall comply with the Truro Conservation Commission Regulations - Biomimicry Sand Collection System*, Sand and Drift Fence Guidelines.

i. No work shall commence until the Massachusetts Natural Heritage and Endangered Species Program has reviewed this project located within estimated and/or priority habitat. A Request for an Amendment to the Order of Conditions shall be submitted to the Commission if any conditions or special requirements are imposed by the NHESP.

N/A. Project is not within estimated or priority habitat.

j. No in-ground irrigation system shall be installed or re-installed on the premises.

No in-ground irrigation is proposed. Only a temporary, above-ground irrigation system may be used, if feasible based on availability of a water source, to help establish supplemental plantings.

k. Pesticides, herbicides, fungicides, and fertilizers shall not be used within 100 feet of the wetlands, within the riverfront area, and within bordering land subject to flooding. Pesticides, herbicides, fungicides and fertilizers may be used subject to the review and approval of the Conservation Commission. This shall be noted in the Certificate of Compliance and shall be an ongoing condition.

l. Swimming pool must be pumped and drained by a truck.

N/A. No pool is proposed.

m. Water accumulating on the pool cover shall be drained into the pool and excess water in the pool shall be pumped into a container truck and removed from the premises.

N/A. No pool is proposed.

n. Dumping Prohibited: There shall be no dumping of leaves, grass clippings, brush, or other debris into the wetland or stream/body of water.

Any landscape debris will be disposed of properly off-site.

7.05 Biomimicry, Serpentine fence, nourishment and planting of beach grass

9. Construction Specifications and Protocol for Drift or Serpentine Fencing

a) Placement. In general, the edge of the drift fencing closest to the water shall be placed well above the mean high tide line and no more than six (6) feet from the toe of the bank. Plans submitted should delineate all resource areas and the location of all pilings.

Traditional sand drift fencing is not proposed; sturdy drift fencing is proposed, which is more robust and will help hold nourishment in place and naturally accumulate wind-blown sediment. Sturdy drift fencing is proposed well above the mean high water line.

b) Materials.

i. Timber pilings used to anchor sections of fencing shall preferably be 6-8" in diameter and shall not be longer than 10'.

Traditional sand drift fencing is not proposed; sturdy drift fencing is proposed, which is more robust and will help hold nourishment in place and naturally accumulate wind-blown sediment. The existing timber pilings will be re-used and/or re-set to use, if feasible. If not, they will be disposed of and replaced in kind with green oak pilings.

ii. Slats shall be no more than 2"x3" and front braces and fence spans shall be no larger than 2x4 lumber, fence sections shall be 6' to 10' long, having a 50-50 ratio of open space to slats. Each fence span shall contain at least one "missing" slat, leaving a gap of at least 7.5" in the fencing (to permit movement of birds and other animals).

Traditional sand drift fencing is not proposed; sturdy drift fencing is proposed, which is more robust and will help hold nourishment in place and naturally accumulate wind-blown sediment. Slats and gaps are both proposed to be 3.5" wide, maintaining a 50-50 ratio of open space to slats. Fence panels will be 8' long. Sturdy drift fencing will maintain 2' wide gaps between fencing every 50' along its length to facilitate the movement of wildlife. Sturdy drift fencing will be constructed

with through-bolt member connections. With this connection and upgraded timber components, the longevity of the drift fence will be increased, reducing the overall maintenance of the fencing and future disturbance to repair or replace.

c) Construction:

i. All wooden materials to be used in any fencing shall be branded or permanently identified by a method approved by the Commission with the assessor's map and parcel # for the property where the fence is to be installed. Each fence shall be constructed so that the identifying information is on the landward side of the fence. Format for marking the wooden materials shall be map # hyphen parcel # (i.e. 23-1).

Fence materials will be permanently identified with the assessor's map and parcel number for the property. The method for identifying materials will be approved by the Conservation Agent prior to work beginning.

ii. Fence sections shall be assembled off site and brought to the beach location where the fence is to be erected;

All fence sections will be assembled off site.

iii. All pilings shall be individually dug with small excavator, at six feet deep; fence sections shall be bolted to pilings with slats on the water side; fence sections may be secured on the landward end by installation of a bracing member across the landward side. Fence sections shall not be trenched into the beach.

Pilings will be individually dug with a small excavator. Refer to plan for more details.

11. Deposition and Mitigation: Every fencing project except for biomimicry shall include beach nourishment. Every Notice of Intent shall specify the amount of sand to be deposited at the site and shall identify the source from which the nourishment material will be obtained. The nourishment material must be clean sand free of debris or waste and should be of a compatible grain size to the native beach material at the site. (Note: if sand which is of smaller grain size than the native material is used, the lighter sand will wash away sooner.)

Beach nourishment is proposed from approximate elevation 10 to approximate elevation 5 to cover much of the sturdy drift fencing and restore a more natural profile. Approximately 160 cubic yards of nourishment is proposed, a portion of which may need to be replenished annually following storm events. Sieve samples will be analyzed to ensure compatibility between sediment to be placed on site and that which is existing. Nourishment requirements may vary from year to year but the design profile shown on the plan is the desired profile after nourishment, regardless of the annual quantity.

12. Vegetation: Every fencing project shall include planting of American Beach grass between November 1 and April 1 following completion of the installation or repair of the fencing. Planting holes should be dug at least 6 inches deep, randomly spaced 10-12 inches apart. Three culms (roots) are placed in each hole and covered with sand. It is recommended to plant in the greatest density in the landward section and decrease the spacing of plants in the seaward direction. The best results have been found with two applications, one in late spring within 30 days of planting, but before April 1, and another application in late summer or early fall.

Planting of American beach grass is proposed in the area for beach nourishment.

American beach grass will be planted 18" on center, and will be planted after annual nourishment is placed but before April 1.

13. General Regulations applicable to all fencing projects.

a) All projects shall specify dates for commencement and completion. All projects may only begin after Columbus Day and must be completed prior to Memorial Day, provided however that the project area is clear of nesting shorebirds as confirmed by the conservation agent or her designee.

All fence work will be done after Columbus Day and before Memorial Day.

b) All construction equipment shall only access the site from the beach, and only travel along the beach below the mean high tide line. Absent a showing by clear and convincing evidence that access to the coastal bank across the applicant's property is impossible, no sand shall be trucked or transported to the site down the beach. All sand shall be brought to the site from the top of the bank at the applicant's property.

Primary access for construction will be from Cold Storage Beach. If access for construction is not possible from Cold Storage Beach because permission is not able to be obtained from the town or all abutters, access would need to be from the driveway over the coastal bank. In this scenario, all sand will be brought to the site from the top of the bank.

c) Any substantial beach restoration requiring the hauling of materials other than sand from town landings across public and private beaches will be conducted exclusively from Columbus Day to April 15th. Substantial projects are those requiring over two days to haul materials.

All construction work will be done after Columbus Day and before April 15th if hauling materials requires more than two days.

d) Beach construction and restoration work shall not be performed on weekends or holidays, nor before 8:00 a.m. or after 6:00 p.m. on weekdays.

No work will be performed on weekends or holidays, nor before 8 am or after 6 pm.

e) Properties between the public access point for the project and the project locus shall be considered abutters and shall be notified of any substantial beach restoration projects in the same manner and at the same time as other abutters.

Abutters between the public access point and the project locus will be notified as part of the necessary staging/access permit(s).

f) Construction debris shall be removed at the end of each day and the access route shall be left backbladed to a normal grade.

Any debris will be disposed of properly off-site.

g) Application for Construction or Maintenance of a Sand or Drift fence shall constitute agreement by the property owner to reimburse the Town for the cost of clearing away any debris generated from the property owner's fence.

Noted.

h) Where fencing becomes ineffective due to storm damage, erosion or other cause, it must either be promptly repaired or removed at the property owner's expense.

Fencing will be repaired as necessary following major storm events.

i) Where fencing does not exist on an adjacent property, the fencing erected for the applicant shall be no closer than 25 feet to the abutter's property line; where fencing exists on adjacent properties, new fencing shall be aligned with existing fencing.

Fencing exists on both adjacent properties; new fencing will be aligned with existing fencing.

j) Owners of lots which have less than 100 feet of beach frontage may be approved for fencing construction and/or restoration projects which do not comply with these general regulations, by special permit from the Commission.

k) It is the responsibility of the project proponent to obtain consent to traverse private property as may be required by property owners.

All necessary permissions will be obtained for access purposes.

ALTERNATIVES ANALYSIS

3. The Commission may issue an Order of Conditions permitting work in the Buffer Zone provided that the applicant has submitted a written alternatives analysis that examines all practicable alternatives to the project which would further minimize impacts to the Buffer Zone and demonstrates that all impacts can be properly mitigated. The alternatives analysis shall be submitted to the Commission in writing.

i. Activities within the Buffer Zone shall avoid, minimize and mitigate adverse impacts. The purpose of evaluating project alternatives is to locate activities so that impacts to the buffer and resource areas are avoided to the extent practicable. As much of a project as feasible shall be sited outside the buffer zone. If locating a project entirely outside the Buffer Zone is not practicable, the alternatives shall be evaluated in order to locate the project as far as possible from present Areas Subject to Protection and thereby minimize impacts to the Buffer Zone.

ii. An alternative shall be considered practicable if it is available and capable of being done. Practicable alternatives may include realignment, reconfiguration or re-sizing of project components to minimize impacts to the Buffer Zone. Projects involving demolition of an existing structure and reconstruction of a new dwelling shall be subject to an alternative analysis.

The four main components of this project (stair access over a Coastal Bank, drift fencing, coir fiber roll installation, and beach nourishment) have all been previously approved for this property. This proposal includes upgrades or re-building of these components due to age, lapse in maintenance by previous owner/s, and to proactively combat sea-level rise and provide greater coastal resiliency than previously approved. It is not possible to propose the project activities outside the buffer zone as the project itself is within the Resource Areas and Buffer Zones. If permissions to construct the project from Cold Storage Beach are able to be obtained, the disturbance to complete the project will be greatly minimized. This component of the project is out of the control of the Applicant/Property Owner, which is why secondary/alternative access is provided within the documents from the property itself. This is undesirable and only intended as a last resort if permissions to utilize Cold Storage Beach are not feasible due to no fault of the Owner/Applicant. The project already proposes to utilize the existing

pilings to construct sturdy drift fencing, if it is feasible to do so. The upgraded proposal to sturdy drift fencing is intended to reduce overall maintenance by increasing the life span of the fencing. The proposed fence also appears to be an improvement over what was previously proposed (based on existing piling locations) as the currently proposed fence design accommodates for passage of wildlife in the event the fencing is exposed. The proposed coir array is intended to proactively adapt to sea level rise and combat increasing frequency of storms by extending the array to elevation 15. The number of cables used to anchor the rolls in place also appears to be increased from the previous installation. Beach nourishment activities were previously approved and are proposed to continue to maintain the profile elevation shown on the plan.

If the beach access stairs are not re-built, they will continue to break apart and cause storm debris. As is, they are un-safe for use and not to building code. If the fiber roll array is not re-built it poses greater risk of failure which could affect neighboring properties as they too are utilizing a fiber roll system for toe stabilization. Drift fence was previously approved and installed, but not maintained. This project proposes to re-build an upgraded drift fence, at a lower elevation. If the same fence as previous were re-constructed, it is anticipated that it would need replacement much more quickly than the sturdy drift fence proposed, based on no evidence of the fence remaining between the pilings.

CONSTRUCTION & MAINTENANCE ACCESS:

- ### STURDY DRIFT FENCE:

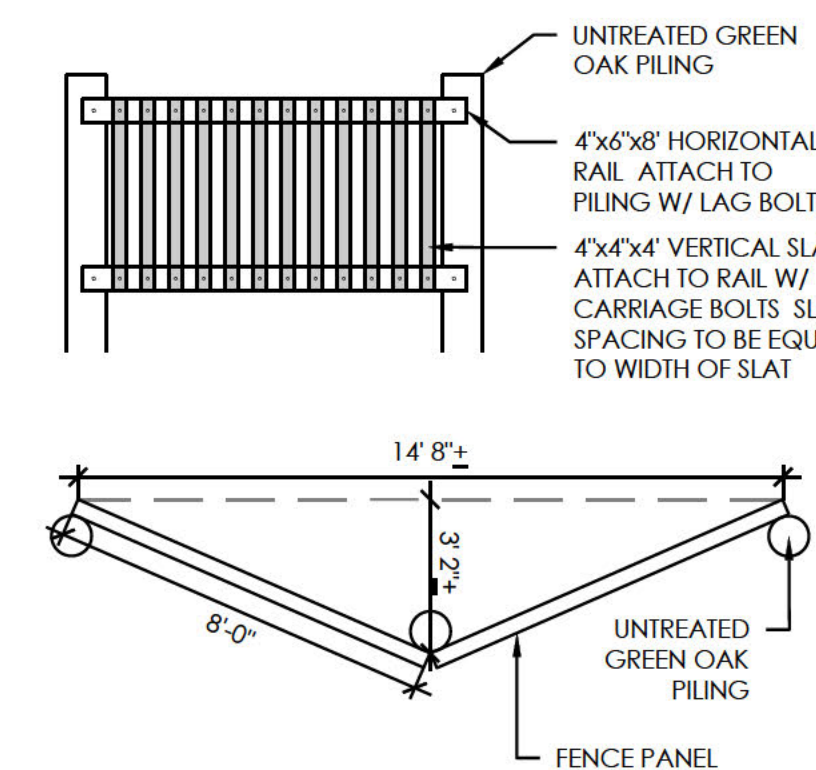
- NOURISHMENT:**

- ONGOING MAINTENANCE:**

- ANNUAL MONITORING REPORTS:**

- FIBER ROLL ARRAY SECTION** (1/4" = 1'-0")

PLANT SCHEDULE			
SCIENTIFIC NAME	COMMON NAME	QTY	SIZE (DBH)
PLANTINGS FOR NOURISHMENT AREA			
<i>Ammophila breviligulata</i>	American beachgrass	2 600	Bareroot culms @ 18" O.C. 2 culms per hole
SUPPLEMENTAL PLANTINGS FOR SPARSELY VEGETATED AREA ON COASTAL BANK			
<i>Ammophila breviligulata</i>	American beachgrass	200	Bareroot culms @ 18" O.C. 2 culms per hole
<i>Arctostaphylos uva-ursi</i>	Bearberry	30	#1
<i>Morrela pensylvanica</i>	Northern Bayberry	8	#3 - #5



STURDY DRIFT FENCE DETAIL (1/4" = 1'-0")



SCALE: 1" = 10'

DATE: ~~09/17/24~~

SHORELINE STABILIZATION PLAN

1 of 1

- GENERAL NOTES
1.

ALL STRUCTURAL WORK SHALL BE COORDINATED WITH THE CIVIL SITE PLAN BY MERRILL , INCLUDING THE FOLLOWING GOVERNING STANDARDS:

A.

THE MASSACHUSETTS STATE BUILDING CODE 9TH EDITION FOR ONE- AND TWO-FAMILY DWELLINGS, BASED ON IBC2015 AND MA AMENDMENTS, AND ALL OTHER AGENCIES HAVING JURISDICTION.

B.

THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS), (EDITION REFERENCED IN STATE BUILDING CODE).

2.

THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING AND BRACING AND MAKE SAFE ALL FRAMING MEMBERS AND ADJACENT PROPERTY AS PROJECT CONDITIONS REQUIRE.

3.

ALL CONSTRUCTION IS TO CONFORM TO THE MASSACHUSETTS STATE BUILDING CODE AND ALL APPLICABLE PRODUCT AND DESIGN STANDARDS. ABSENCE OF SPECIFIC ITEMS FROM THESE DRAWINGS DOES NOT INFER THAT THE CONTRACTOR IS RELIEVED FROM THE STATUTORY CODE REQUIREMENTS.

4.

ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE APPROVED RULES AND STANDARDS FOR MATERIALS, TESTS, AND REQUIREMENTS OF ACCEPTED ENGINEERING PRACTICE AS LISTED THE MASSACHUSETTS BUILDING CODE.

5.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK. ANY DISCREPANCY BETWEEN WHAT IS SHOWN ON THE DRAWING AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED BACK TO THE ENGINEER IN WRITING BEFORE PROCEEDING WITH ANY WORK.

6.

FOUNDATIONS, FIRST FLOOR AND ROOF FRAMING HAVE BEEN DESIGNED FOR THE FOLLOWING LIVE LOADS:

A.

GRAVITY LOADS:

a.

GROUND SNOW: pg=25 PSF

b.

EXTERIOR LANDINGS/STAIRS = 50 PSF

A.

WIND LOAD [=CONTROLLING LATERAL FORCE] (PER MA STATE BUILDING CODE AND ASCE 7-10):

a.

WIND SPEED: Vult=140 mph / Vasd=108 MPH;

b.

EXPOSURE "D"

THE STAIRS ARE PARTIALLY LOCATED IN A FEMA VE-LLS FLOOD HAZARD ZONE.

1.

NOTIFY THE ENGINEER OF ANY ARCHITECTURAL MODIFICATION OR DIMENSION CHANGES THAT MAY AFFECT THE STRUCTURAL DESIGN.
- WOOD FRAMING NOTES

1.

ALL FRAMING LUMBER SHALL CONFORM TO THE LATEST EDITION OF THE AFPA "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" (NDS), AND SUPPLEMENT "DESIGN VALUES FOR WOOD CONSTRUCTION", LATEST EDITION. MAXIMUM MOISTURE CONTENT SHALL BE 19%.

2.

PRESSURE TREATED WOOD MEMBERS USED FOR PLACEMENT AGAINST CONCRETE OR MASONRY (SILLS, PLATES, ETC.) SHALL BE PRESSURE TREATED WITH ACQ PRESERVATIVE, OR APPROVED EQUAL, TO MINIMUM RETENTION OF 0.6 PCF IN ACCORDANCE WITH AWPA C3.

3.

ALL EXPOSED WOOD MEMBERS USED FOR STRUCTURAL FRAMING, DECKING, STAIRS, RAILS, BRACING, ETC. SHALL BE PRESSURE TREATED WITH ACQ PRESERVATIVE, OR APPROVED EQUAL, TO MINIMUM DETENTION OF 0.6 PCF IN ACCORDANCE WITH AWPA C3.

4.

ALL CONNECTORS, CONNECTIONS, FASTENERS, ETC. USED TO SECURE ACQ PRESSUE TREATED LUMBER SHALL BE TRIPLE ZINC COATED HOT DIPPED GALVANIZED OR STAINLESS STEEL.

5.

THE FRAMING LUMBER SHALL BE OF THE FOLLOWING MINIMUM GRADE AND SPECIES FOR THE SPECIFIED USE. ALL LUMBER SHALL BE GRADE STAMPED BY A RECOGNIZED GRADING AGENCY AND SHALL BE KILN DRY. ALL WOOD WALL FRAMING (STUDS, SILLS, PLATES, BRIDGING, BLOCKING ETC. SHALL BE 2x6 SPF#2 OR VERSA-STUD 1.7 2650 AS MANUFACTURED BY BOISE CASCADE. VERSA-COLUMNS SHALL HAVE A MINIMUM ALLOWABLE FIBER BENDING STRESS Fb=2,750 PSI, AND MINIMUM AXIAL COMPRESSIVE STRENGTH Fc=3,000 PSI; AND MINIMUM MODULUS OF ELASTICITY (E)=1,800,000 PSI. SIZE OF STUDS AND COLUMNS PER PLAN SPECIFICATIONS.

6.

LUMBER WHICH IS SPLIT, CRACKED, NOTCHED OR OTHERWISE ALTERED OR DAMAGED SHALL BE IMMEDIATELY REJECTED AND NOT ALLOWED FOR USE, UNLESS OTHERWISE APPROVED IN WRITING BY THE STRUCTURAL ENGINEER.

7.

THE FRAMING LUMBER SHALL BE OF THE FOLLOWING MINIMUM GRADE AND SPECIES FOR THE SPECIFIED USE. ALL LUMBER SHALL BE GRADE STAMPED BY A RECOGNIZED GRADING AGENCY AND SHALL BE SURFACE DRY:

DIMENSIONAL LUMBER (FOR NON-EXPOSED MEMBERS):

FLOOR JOISTS & BEAMS: 1-JOIST AND LVL PER SPECIFIED MANUFACTURER MODEL AND/OR STRENGTH

TYPICAL FRAME WALL STUDS: #2 SPRUCE PINE FIR: FC = 1150 PSI, E = 1.46E PSI

TIMBERS AND POSTS: PER PLAN SPECIFICATION FOR SIZE AND STRENGTH

8.

EXPOSED WOOD FRAMING SHALL BE SOUTHERN PINE, GRADE NO. 2 OR BETTER AND PRESSURE TREATED.

9.

ALL LAMINATED VENER LUMBER (LVL) TO HAVE A MINIMUM ALLOWABLE BENDING STRESS (Fb) OF 2,600 PSI. THE MINIMUM ALLOWABLE COMPRESSION STRESS (Fc) PERPENDICULAR TO THE GRAIN SHALL BE 750 PSI. THE MINIMUM ALLOWABLE MODULUS OF ELASTICITY (E) SHALL BE 1,900,000 PSI. INSTALL LVLS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. **REFER TO FRAMING PLANS FOR HIGHER STIFFNESS LVL MEMBERS, IF NOTED AS "LVL (2.0E)", PROVIDE LVL WITH ALLOWABLE BENDING STRESS (Fb) OF 2,600 PSI, AND MODULUS OF ELASTICITY (E) OF 2,000,000 PSI.**

10.

DETAILS OF WOOD FRAMING SUCH AS NAILING, BLOCKING, BRIDGING, FIRESTOPPING, ETC. SHALL CONFORM TO THE LATEST EDITION OF THE NATIONAL DESIGN SPECIFICATION (AFPA), THE TIMBER CONSTRUCTION MANUAL (AITC).

11.

ALL ENGINEERED LUMBER PRODUCTS SHALL BE AS MANUFACTURED BY WEYERHAEUSER, BOISE CASCADE, LOUISIANA PACIFIC CORPORATION OR APPROVED EQUAL.

12.

WHERE DIMENSIONAL FRAMING LUMBER IS FLUSH FRAMED TO ENGINEERED LUMBER OR STEEL GIRDERS, SET THESE GIRDERS 1/4" CLEAR BELOW THE TOP OF FRAMING LUMBER TO ALLOW FOR SHRINKAGE.

13.

FOLLOW MANUFACTURERS' SPECIFICATIONS FOR ERECTION, INSTALLATION, AND PLACEMENT OF ENGINEERED LUMBER PRODUCTS. PENETRATIONS THROUGH ENGINEERED LUMBER PRODUCTS IS EXPRESSLY NOT PERMITTED WITHOUT PRIOR WRITTEN APPROVAL BY THE ENGINEER.

14.

USE DOUBLE TRIMMERS AND HEADERS AT ALL FLOOR OPENINGS WHERE BEAMS ARE NOT DESIGNATED.

15.

LAP ALL PLATES AND SILLS AT CORNERS AND AT ALL INTERSECTIONS OF PARTITIONS.

16.

STAGGER LAP ALL PLATES AND SILLS AT CORNERS AND AT ALL INTERSECTIONS OF PARTITIONS.

17.

UNLESS OTHERWISE NOTED, PROVIDE THE MINIMUM HEADER SIZES OVER ALL OPENINGS AS FOLLOWS:

INTERIOR WALLS - (2) 2X10 EXTERIOR WALLS - (3) 2X10

18.

UNLESS OTHERWISE NOTED, AT THE ENDS OF ALL BEAMS, HEADERS, AND GIRDERS PROVIDE A BUILT UP OR SOLID POST WHOSE WIDTH IS AT LEAST EQUAL TO THE WIDTH OF THE MEMBER IT IS SUPPORTING AND WHOSE DEPTH IS 4" AT THE INTERIOR WALLS AND 6" AT THE EXTERIOR WALLS.

19.

USE 3/4" THICK TONGUE AND GROOVE "EXTERIOR GRADE" PLYWOOD FLOOR SHEATHING, 5/8" THICK "EXTERIOR GRADE" PLYWOOD ROOF SHEATHING, AND 1/2" "EXTERIOR GRADE" PLYWOOD AT ALL WALLS, UNLESS OTHERWISE SHOWN ON PLANS. ALL JOINTS SHALL BE BLOCKED WITH LUMBER OR OTHER APPROVED SUPPORTS. ALL PLYWOOD SHALL BE APA RATED AND CLEARLY STAMPED.

20.

PROVIDE SOLID BLOCKING BETWEEN ALL FLOOR JOISTS AND DOUBLE ALL JOISTS UNDER EACH PARTITION. EACH END OF EACH JOIST SHALL BE FULL DEPTH BLOCKED AT THE SUPPORT LOCATION. PROVIDE JOIST BRIDGING AT MID-SPAN AND QUARTER POINTS, OR AS SHOWN ON DRAWINGS. BRIDGING PLACEMENT SHALL NOT EXCEED 8 FT. O.C. SPACING.

21.

USE FULLY NAILED METAL CONNECTORS (USP, SIMPSON, OR EQUAL), JOIST, OR BEAM HANGERS WHEN JOISTS OR BEAMS FRAME INTO OTHER JOISTS OR BEAMS. PROVIDE METAL POST CAPS AND BASES FOR ALL POSTS. REFER TO FRAMING PLAN FOR CONNECTOR TYPES.

22.

ALL NEW PLYWOOD FLOOR SHEATHING SHALL BE GLUED TO SUPPORTING WOOD FRAMING MEMBERS USING AMERICAN PLYWOOD ASSOCIATION (A.P.A.) GLUED FLOOR SYSTEM. WOOD GLUE TO BE CONTECH, INC., PL400 SUBFLOOR CONSTRUCTION ADHESIVE, OR APPROVED EQUAL.

23.

CROSS WALLS AND TIE BEAMS ARE TO PROVIDE THE LATERAL RESTRAINT FOR THE BUILDINGS AND SHOULD BE SECURELY ATTACHED AT EACH END AND/OR TO THE EXTERIOR WALLS.

24.

ALL SILLS AND TOP WALL PLATES SHALL BE DOUBLED 2X6'S WITH EACH CORNER STAGGER-LAPPED. SILLS AGAINST CONCRETE SHALL BE PRESSURE-TREATED.

25.

BUILT-UP BEAMS (3 PIECES MAXIMUM) USING CONVENTIONAL FRAMING LUMBER SHALL BE FULLY SPIKED TOGETHER WITH 2 ROWS OF 10d ANNULAR RING NAILS AND LVL'S WITH 3 ROWS OF 16d ANNULAR RING NAILS EACH SIDE AT 12" O.C., OR AS OTHERWISE NOTED ON THE DRAWINGS, OR AS RECOMMENDED BY THE MANUFACTURER. NAILS USED FOR BUILT-UP PIECES SHALL BE ANNULAR RING NAILS.

26.

ALL NAILS, FASTENERS, AND CONNECTORS EXPOSED TO THE WEATHER SHALL BE HOT-DIP GALVANIZED. ALL CONNECTORS AND FASTENERS WHICH ARE USED WITH PRESSURE TREATED WOOD SHALL BE AISI 304 OR 316 STAINLESS STEEL.

27.

ALL ROOF RAFTERS SHALL BE ATTACHED TO TOP WALL PLATES WITH SIMPSON H-1, H-10, (OR DRAWING DESIGNATED) TIES, FULLY FASTENED WITH MANUFACTURER'S NAILS.

28.

PLYWOOD FLOOR, ROOF AND WALL SHEATHING SHALL BE ATTACHED TO EACH SUPPORTING FRAME MEMBER. MIN. FASTENERS SHALL BE 8d COMMON SIZE, ANNULAR RING NAILS WITH A MINIMUM 1-5/8" PENETRATION INTO EACH FRAME MEMBER (STUD, JOIST, RAFTER, BEAM ETC.). PANEL PERIMETER FASTENING SHALL BE 4" OR 6" ON CENTER STAGGERED (REFER TO SHEAR WALL TYPE OR ROOF OR FLOOR DIAPHRAGM NAILING NOTES ON PLANS), AND SHEAR WALL PANEL FIELD FASTENING SHALL BE 8" OR 12" ON CENTER (OR AS OTHERWISE SHOWN ON DRAWINGS). JOINTS IN ALL SHEATHING SHALL BE STAGGERED, EACH DIRECTION.

29.

ALL WOOD PRODUCTS SHALL BE STORED IN A DRY LOCATION. ENGINEERED LUMBER PRODUCTS WHICH ARE NOT KEPT DRY WILL BE IMMEDIATELY REJECTED AND REQUIRED TO BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST.

30.

IN NO CASE SHALL JOISTS, RAFTERS, BEAMS, POSTS, STUDS OR ANY OTHER FRAMING MEMBER BE CUT, NOTCHED, DRILLED, OR OTHERWISE MODIFIED WITHOUT THE WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER OR SPECIFIED ON THE DESIGN DRAWINGS.
-
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- | | | | | | | | | | |
|----------|--|--|--|--|--|--|--|--|--|
| Revision | | | | | | | | | |
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| | | | | | | | | | |
| Date | | | | | | | | | |
| # | | | | | | | | | |
- PROJECT TITLE:

Beach Access Stairs

PROJECT LOCATION:

17 Avocet Road, Truro, MA

SHEET TITLE:

STRUCTURAL NOTES
- SCALE: AS NOTED

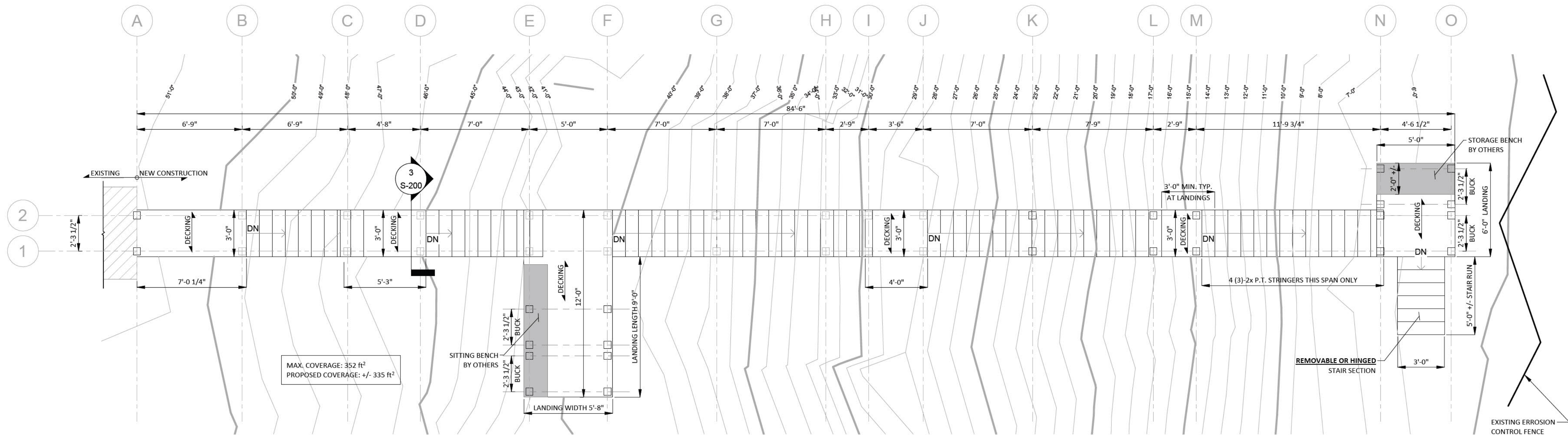
DATE: 09/25/2024

DESIGNED BY: LJ

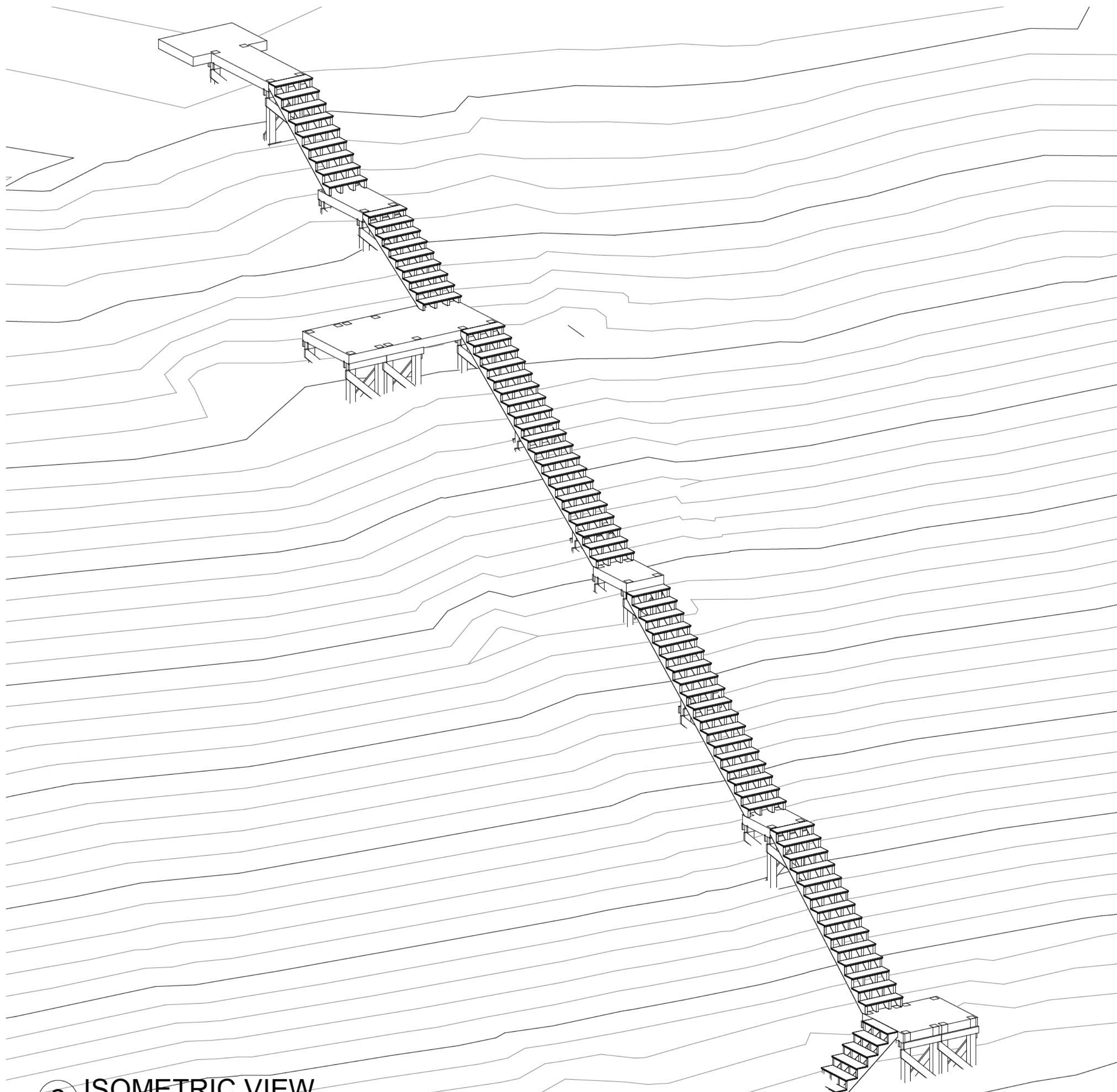
DRAWN BY: SM

PROJECT #: ING24067
- S-100

PAGE 1 OF 3
- PERMIT SET



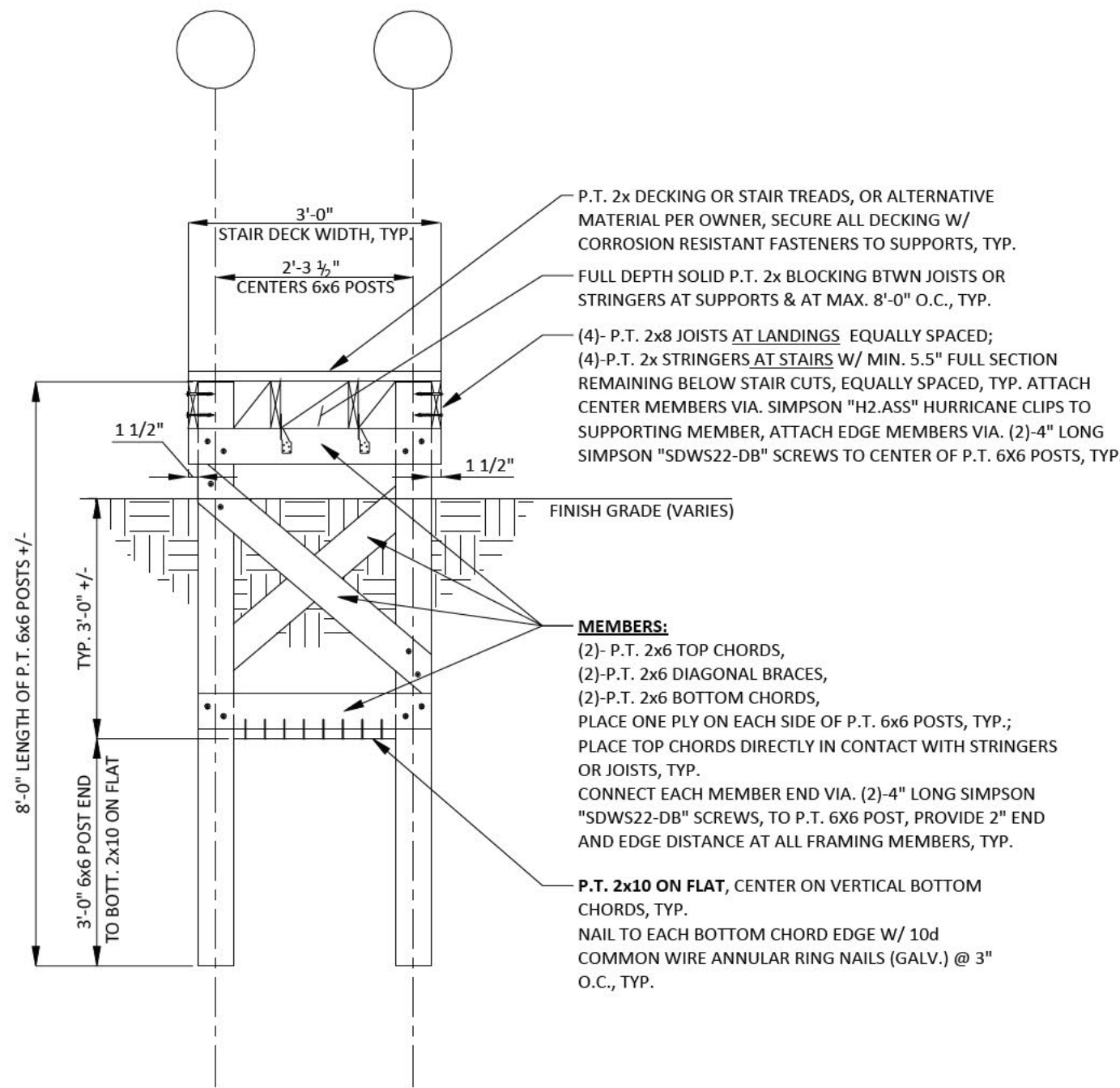
1 STAIR FRAMING PLAN
SCALE: 1/4" = 1'-0"



2 ISOMETRIC VIEW
SCALE:

COASTAL BANK STAIR REGULATIONS:

- A STAIRWAY OR BOARDWALK MAY BE PERMITTED OVER A COASTAL BANK PROVIDED THAT IT HAS NO ADVERSE IMPACT ON THE FORM AND FUNCTION OF THE COASTAL BANK AND THE FOLLOWING CRITERIA ARE MET:
1. WITH THE EXCEPTION OF THE PILINGS, ALL OTHER PARTS OF THE STAIRWAY OR BOARDWALK SHALL BE ELEVATED 24 INCHES ABOVE THE SURFACE OF THE GROUND.
 2. ALL STAIRWAYS SHALL FOLLOW THE CONTOURS OF THE LAND AS CLOSELY AS POSSIBLE.
 3. STAIRWAYS SHALL INCORPORATE OPEN RISERS.
 4. DECKING PLANKS SHALL BE SPACED A MINIMUM OF 1/2 INCH APART.
 5. THE STAIRWAY STRUCTURE SHALL BE NO MORE THAT 4 FEET IN OVERALL WIDTH, INCLUDING BUT NOT LIMITED TO THE SUPPORTING POSTS AND HAND RAILS.
 6. THE PRESERVATIVE TREATMENT FOR ANY WOOD TOUCHING THE SURFACE OF THE GROUND SHALL BE NON-TOXIC. USE OF CCA AND CREOSOTE TREATED LUMBER IS PROHIBITED.
 7. THE COMMISSION MAY ALLOW A RESTING LANDING ON A STAIRWAY THAT SHALL SEAT NO MORE THAN TWO INDIVIDUALS IN SOME INSTANCES DUE TO THE HEIGHT, STEEPNESS OR OTHER FACTORS OF THE BANK.
 8. ALL STAIRWAYS SHALL BE MAINTAINED IN GOOD CONDITION. STAIRWAYS THAT FAIL OR COLLAPSE SHALL BE REMOVED OR REPAIRED IMMEDIATELY.
 9. ALL STAIR DESIGNS SHALL BE REMOVABLE WHEN LOCATED IN THE FLOOD PLAIN.
 10. ALL STAIR DESIGNS SHOULD USE BATTEN BOARDS ON THE UPSLOPE SIDE OF THE SUPPORT POSTS TO REDUCE EROSION.



3 TYP. FRAMING BUCK DETAILS
SCALE: 1/2" = 1'-0"

Revision	Date	#

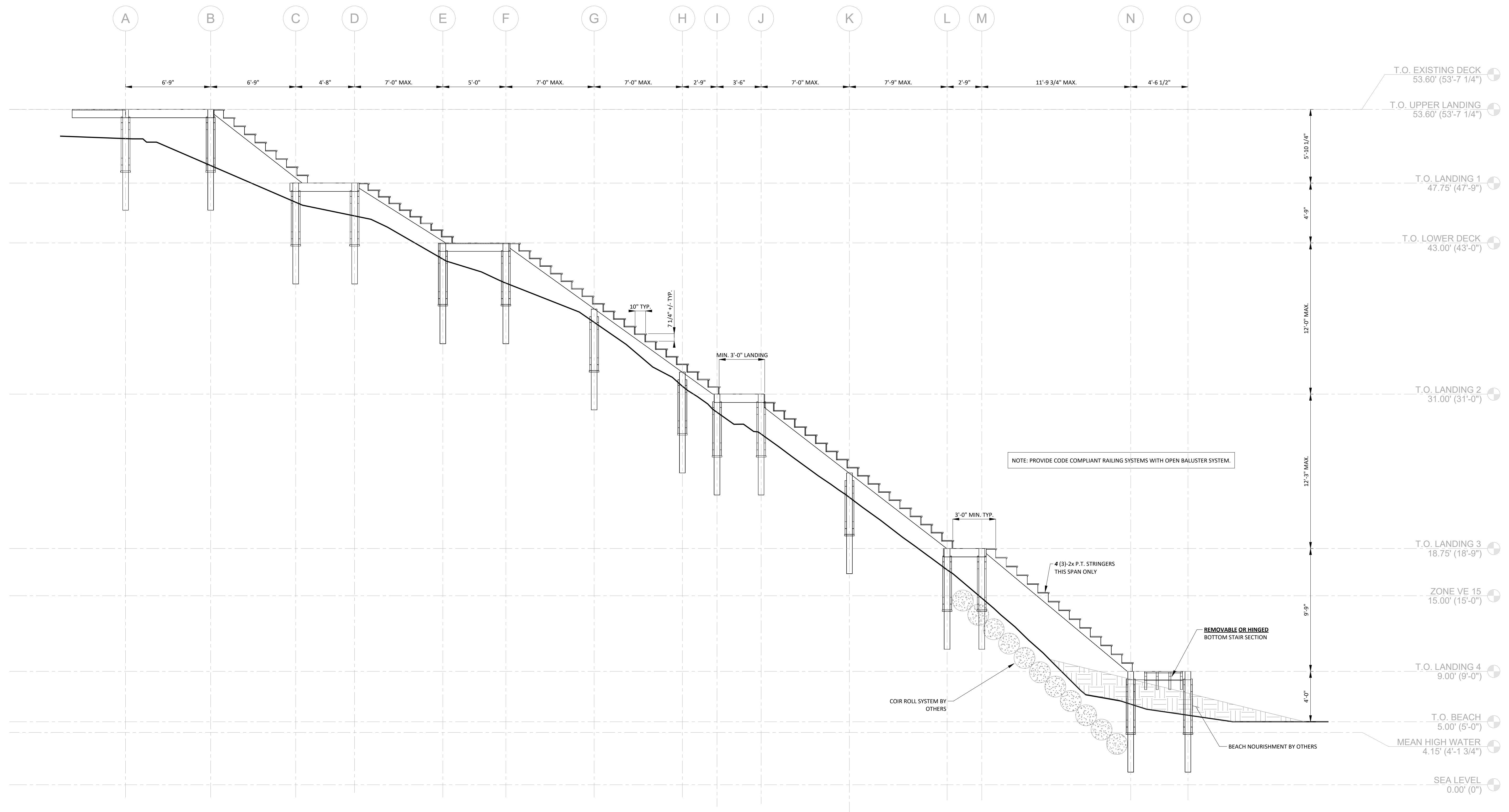
[illegible]

PROJECT LOCATION. 17 AVOCET ROAD, TUALU, WA

STAIR SECTION

LE:	AS NOTED
E:	09/25/2024
IGNED BY:	LJ
OWN BY:	SM
JECT #:	ING24067

PAGE 3 OF 3



1 TYPICAL STAIR SECTION
SCALE: 1/4" = 1'-0"

PERMIT SET

September 17, 2024
Re: 20 Toms Hill proposal SE#075-1049

Conservation Commission
TOWN OF TRURO
SEP 24 2024

Truro Conservation Commission - Truro Town Hall
24 Town Hall Road; P.O. Box 2030
Truro, MA 02666-2030

Dear members of the Truro Conservation Commission,

Today I am asking for approval of the Order of Conditions including a variance to the Truro Conservation Regulations. Prior approval for this project under SE75-0149, has expired. At that time, there was a slight modification made to the original request (see the reverse page with the house marked in a red overlay). The original order was approved on October 22, 2018. In 2018 a building permit was issued and in 2019 we began mitigation of the lot in compliance with the Order of Conditions. After preparing the cottage for demolition, construction was delayed due to Covid 19. Since then new housing starts and remodeling have skyrocketed as some people are retiring early and others who are able to work at home have moved to the Outer Cape. The availability of builders and contractors has diminished in the past three years and our builder decided not to work on the Outer Cape.

We now have builder, Rick Despres, who has a home in Truro, with many years of experience building in Truro. His team headed by his son-in-law, Ross Silva of Provincetown, now of Eastham, will be representing me at this meeting. Mr. Despres has been to the Truro building department and completed a well & water test awaiting a building permit. He is prepared to move forward with the renewed Order of Conditions awaiting your approval and they are ready to break ground as soon as possible. \

1. As per our original submission, we are requesting to demolish the existing cottage which was poorly built in 1969 with inferior materials and has been in increasing disrepair since I acquired the property in 2003. (At our request, the cottage had been disconnected from electric service by EverSource in 2018.)

2. I intend to build a new home as described above, on that cleared area near where the existing cottage lies. The design of the house lies low to the ground and takes advantage of the grade of that sloping location to allow access to both the main entrance and the lower level so as to prepare for aging in place.

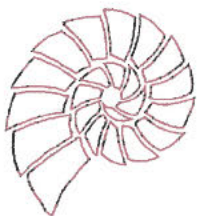
3. As begun in 2018, with the guidance of Ms. Emily Beebe, I would like to establish a view corridor by removing any invasive species including an overgrowth of Poplar trees which have returned over the past two years. I would also like to remove any dead or diseased trees or shrubs. I had contracted the mitigation in cooperation with the Truro Conservation Trust by removing invasive species and replanting with native low growth species back in 2018/19. I would like to begin that again in preparation for the new home and at Ms. Beebe's suggestion to continue after the foundation is poured to better assess the options.

I appreciate your time and consideration and thank you in advance.

Sincerely,

Joseph R. Fiorello, Trustee

Mobile, Text, VoiceMail



J.M. O'REILLY & ASSOCIATES, INC.

PROFESSIONAL ENGINEERING, LAND SURVEYING & ENVIRONMENTAL SERVICES

Site Development • Property Line • Subdivision • Sanitary • Land Court • Environmental Permitting

September 24, 2018

ALTERNATIVES AREA TABLE

REEF - Fiorello #8409

Existing	Alt. #1 Proposed Site Plan 7/18/18	Alt. #2 Proposed Site Plan 9/24/18
50' Buffer Bank		
Lawn 542 SF	0 SF	0 SF
100' Buffer: Bank		
Lawn 3,127 SF	Lawn 1,764 SF	Lawn 0 SF
Deck 488 SF	Deck 460 SF	Deck 96 SF
F. Walk 116 SF	Porch 147 SF	Porch 3 SF
House 439 SF	House 744 SF	House 868 SF
Drive 462 SF	Walkways 474 SF	Walkways 182 SF
RW 18 SF	RW 0 SF	RW 0 SF
Total 4,650 SF	3,589 SF	1,149 SF
100' Riverfront		
Lawn 1,042 SF	0 SF	0 SF
200' Riverfront		
House 904 SF	House 3,893 SF	House 3,604 SF
Deck 488 SF	Deck 714 SF	Deck/Porch 864 SF
Walk/Stair 145 SF	Walkways 474 SF	Walkways 336 SF
Wall 18 SF	Wall 160 SF	Wall/Porch 0 SF
Drive 1,405 SF	Drive 1,783 SF	Drive 1,251 SF
Lawn 2,627 SF	Lawn 1,764 SF	Lawn 0 SF
Total 6,629 SF	8,788 SF	6,055 SF

slight field change occurred after this approval shifting house further back

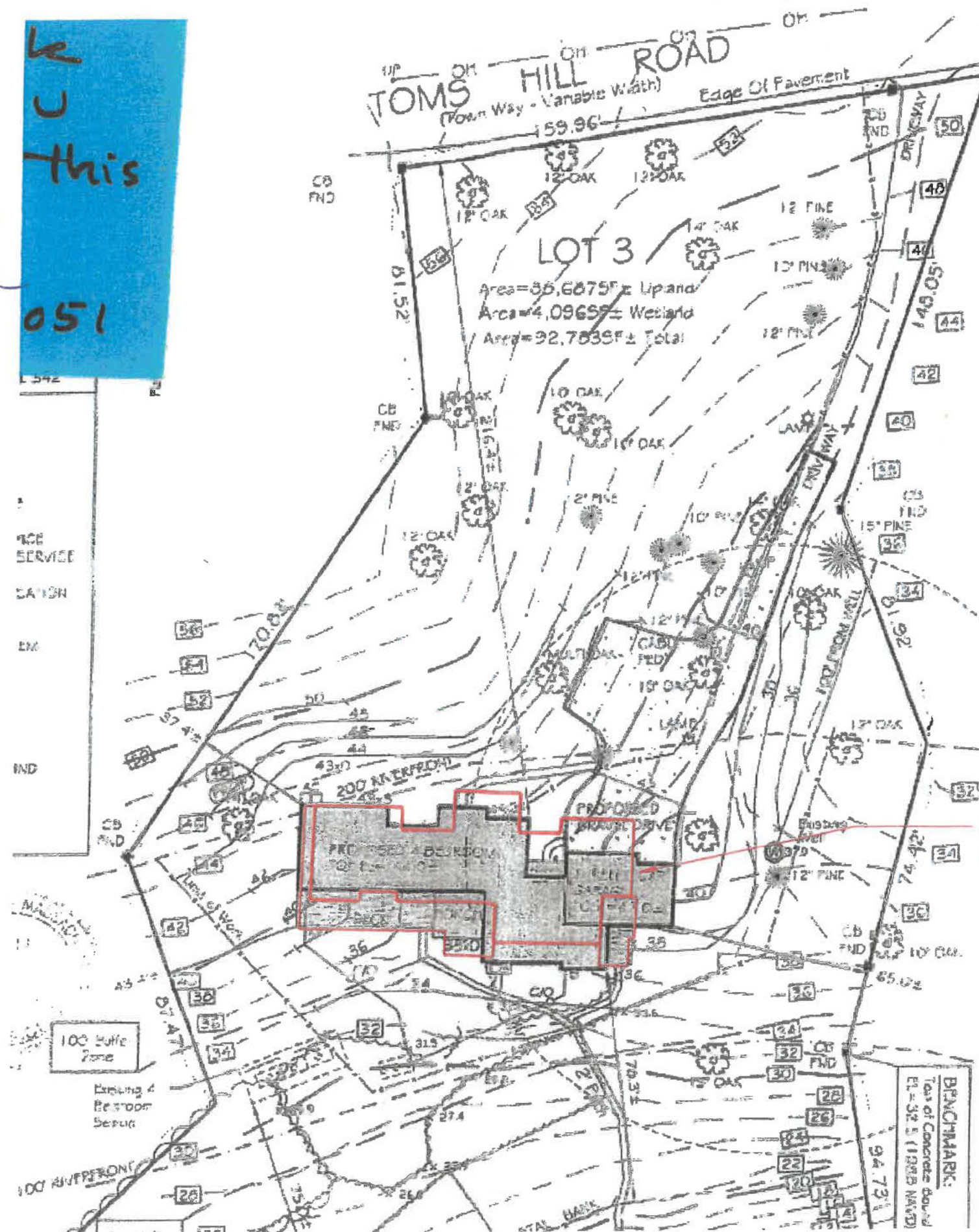
approved site plan under original 00C

FIELD CHANGE

20 Toms Hill ~~Path~~
Rd

this

051



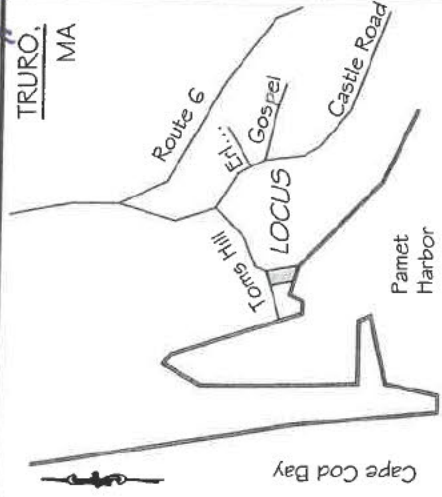
ORIGINAL SITE PLAN PREPARED BY
J.M. O'REILLY & ASSOCIATES, INC.
DATED 09-24-2018

— PROPOSED LOCATION & LAYOUT OF REVISED DWELLING

LOT 4 ~ PL. BK. 446 PG. 51

ASSESSORS MAP 46 PARCEL 342

★ ORIGINAL ★



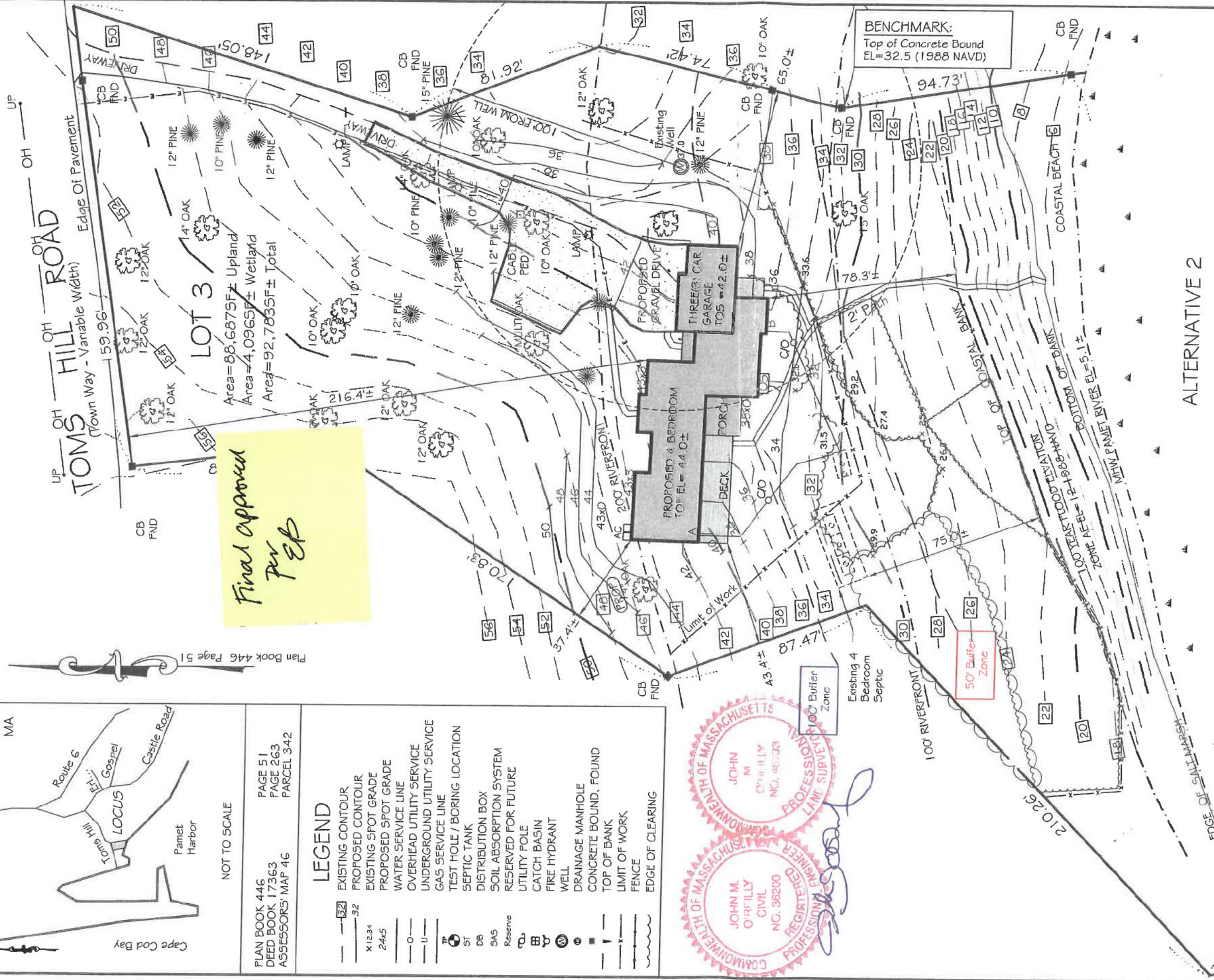
NOT TO SCALE

PLAN BOOK 446
DEED BOOK 17363
ASSESSORS' MAP 46

PAGE 51
PAGE 263
PARCEL 342

LEGEND

- 32 — EXISTING CONTOUR
- 32 — PROPOSED CONTOUR
- 12.34 — EXISTING SPOT GRADE
- 24x5 — PROPOSED SPOT GRADE
- — WATER SERVICE LINE
- — OVERHEAD UTILITY SERVICE
- — UNDERGROUND UTILITY SERVICE
- — GAS SERVICE LINE
- — TEST HOLE / BORING LOCATION
- — SEPTIC TANK
- — DISTRIBUTION BOX
- — SOIL ABSORPTION SYSTEM
- — RESERVED FOR FUTURE
- — UTILITY POLE
- — CATCH BASIN
- — FIRE HYDRANT
- — WELL
- — DRAINAGE MANHOLE
- — CONCRETE BOUND, FOUND
- — TOP OF BANK
- — LIMIT OF WORK
- — FENCE
- — EDGE OF CLEARING

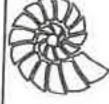


ALTERNATIVE 2

Fiorello Residence

c/o Jim Hagerly, Reef, Cape Cods Home Builder, PO Box 186, West Dennis, MA 02670

PROPOSED SITE PLAN
20 Toms Hill Road, Truro, MA



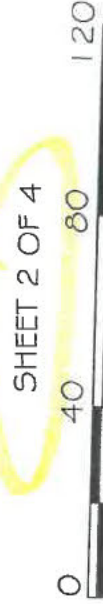
J.M. O'REILLY & ASSOCIATES, INC.
Professional Engineering & Land Surveying Services

1573 Main Street - Route 6A
P.O. Box 1773
Brewster, MA 02631

(508)896-6601 Office (508)896-6602 Fax

DATE: 9/24/18 SCALE: As Noted BY: MTF CHECK: JMO JOB NUMBER: JMO-8409

Conservation Commission
TOWN OF TRURO
SEP 25 2018

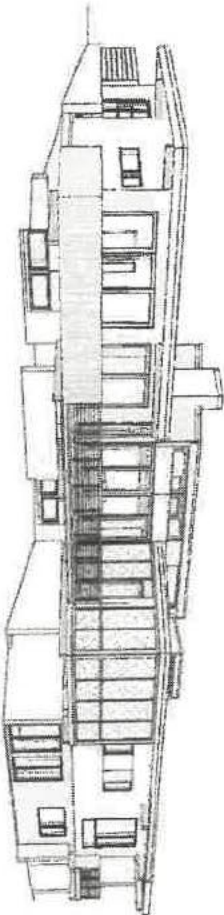
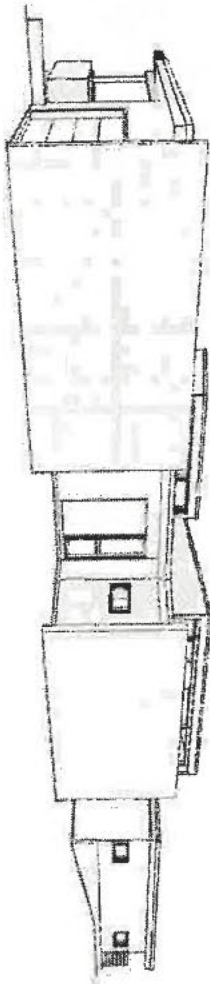


SCALE 1"=40'

G:\A\Jobs\Reef\Fiorello\8409\moeexisting40scale.dwg

J.M. O'REILLY & ASSOCIATES, INC.
Professional Engineering & Surveying Services

1573 Main Street, P.O. Box 1773
Brewster, MA 02631 (508)896-6601



21704

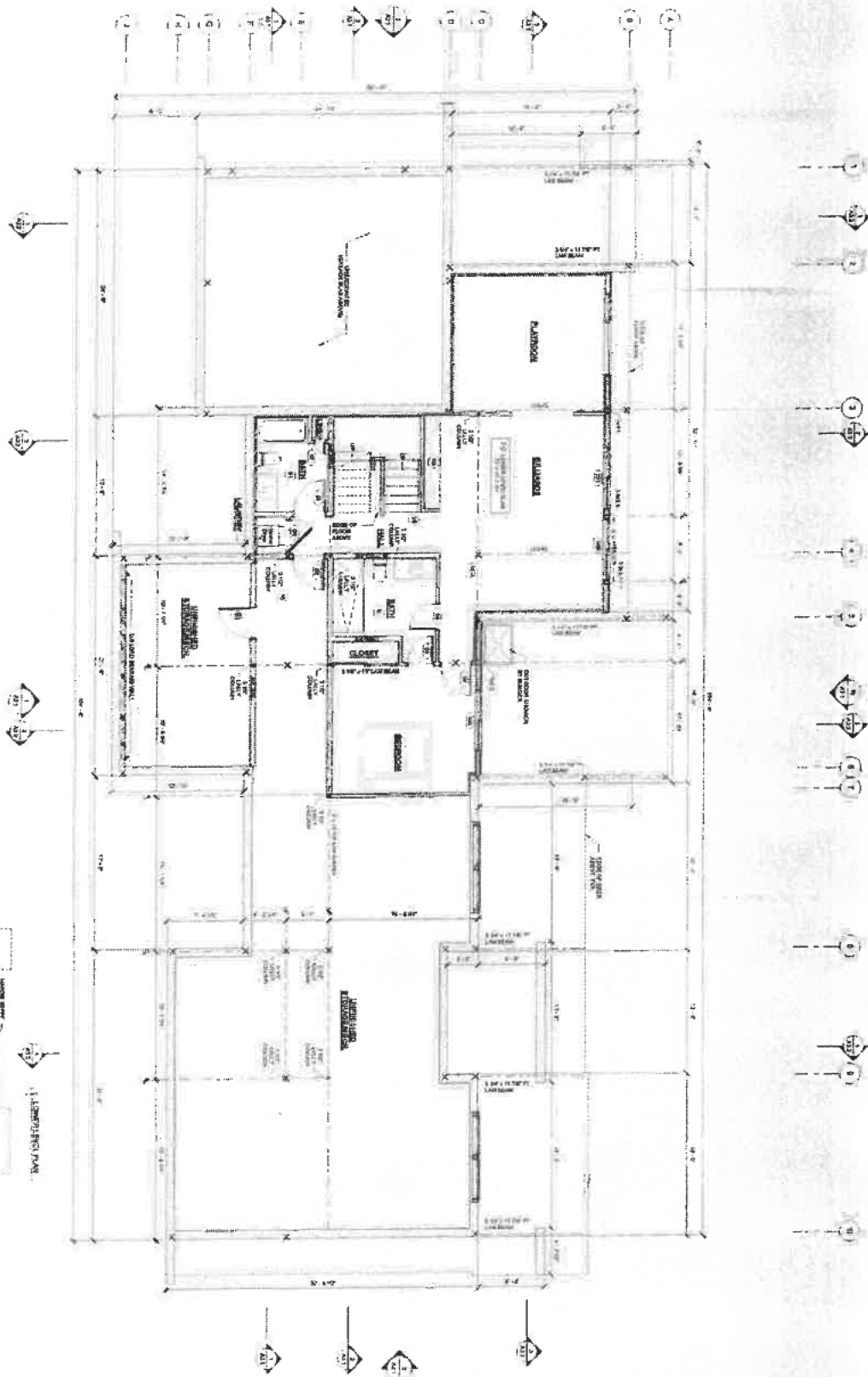
ABBREVIATIONS

SYMBOLS LEGEND

[illegible]

PRELIMINARY, NOT
FOR CONSTRUCTION

[illegible]

[illegible]

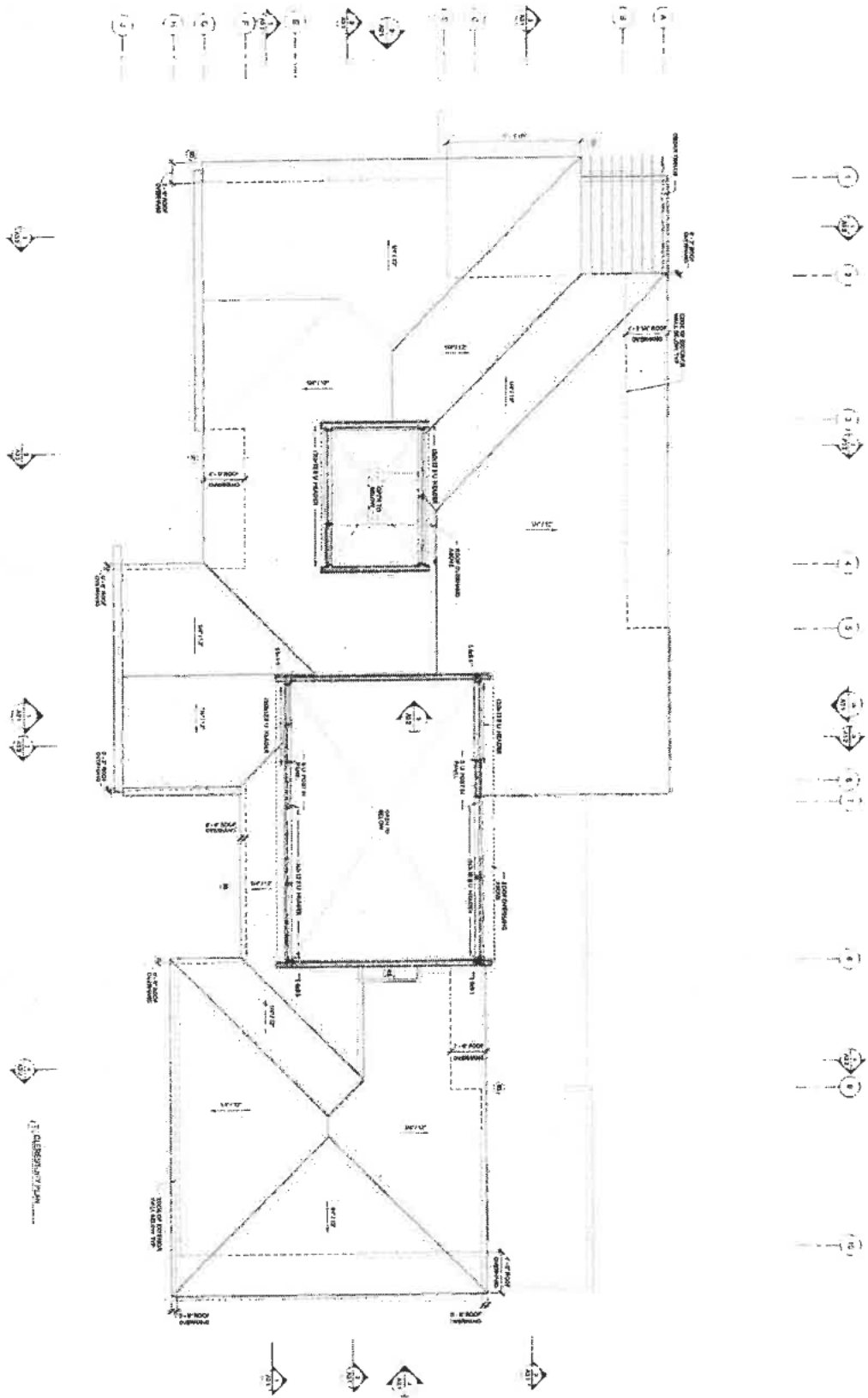
PLACING PLAIN LAMINAR	
	PROVIDE PROTECTIVE
	CRACK SEALANT
	DETENTION WALL PANEL
	ASL FINISHED REINFORCED CONCRETE
	CONCRETE REINFORCED WALL
	REINFORCED CONCRETE WALL
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	REINFORCED CONCRETE WALL

**PRELIMINARY - NOT
FOR CONSTRUCTION**

FIORELLO RESIDENCE

LOWER LEVEL PLAN

21704 A1.0



CLERESTORY PLAN

21704 A1.2

PRELIMINARY - NOT FOR CONSTRUCTION

ALL DIMENSIONS ARE IN FEET AND INCHES (FRACTIONS OF AN INCH ARE ROUNDED UP TO THE NEXT LARGER FRACTION)

ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE

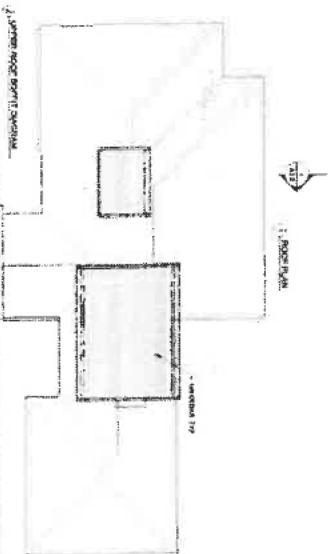
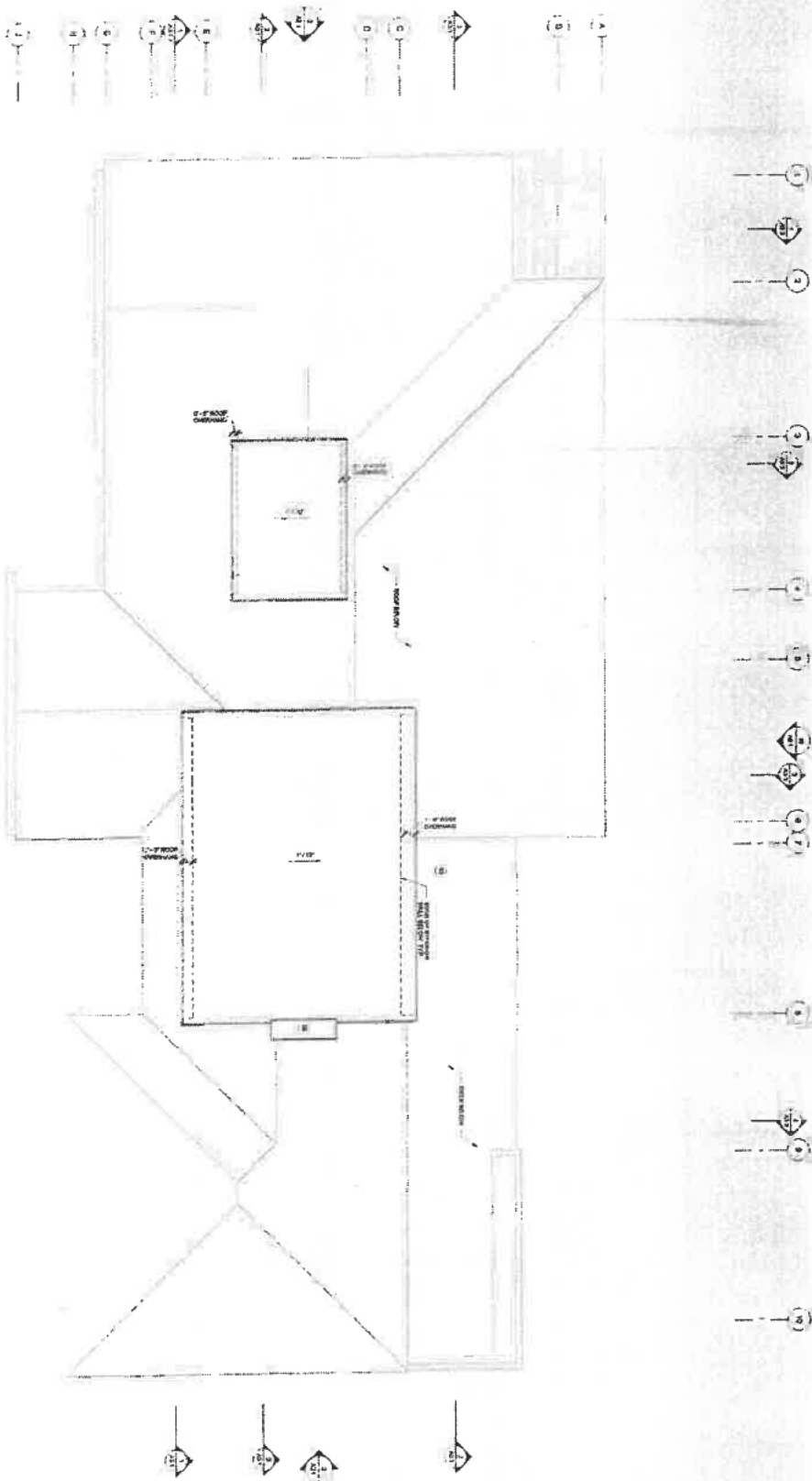
ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE

ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE

FORELLO RESIDENCE

CLERESTORY PLAN

21704 A1.2



GENERAL NOTES:
1. THE ROOF SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AND STATE BUILDING CODES.
2. THE ROOF SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AND STATE BUILDING CODES.
3. THE ROOF SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AND STATE BUILDING CODES.
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9. THE ROOF SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AND STATE BUILDING CODES.
10. THE ROOF SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AND STATE BUILDING CODES.

ROOF PLAN (SEE ALSO)
21704-ROOF

PRELIMINARY - NOT FOR CONSTRUCTION

ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED

CONSTRUCTION OF THIS ROOF PLAN IS BASED ON THE ASSUMPTION THAT THE ROOF SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AND STATE BUILDING CODES.

DATE: 07/20/2011

PROJECT: FIORELLO RESIDENCE

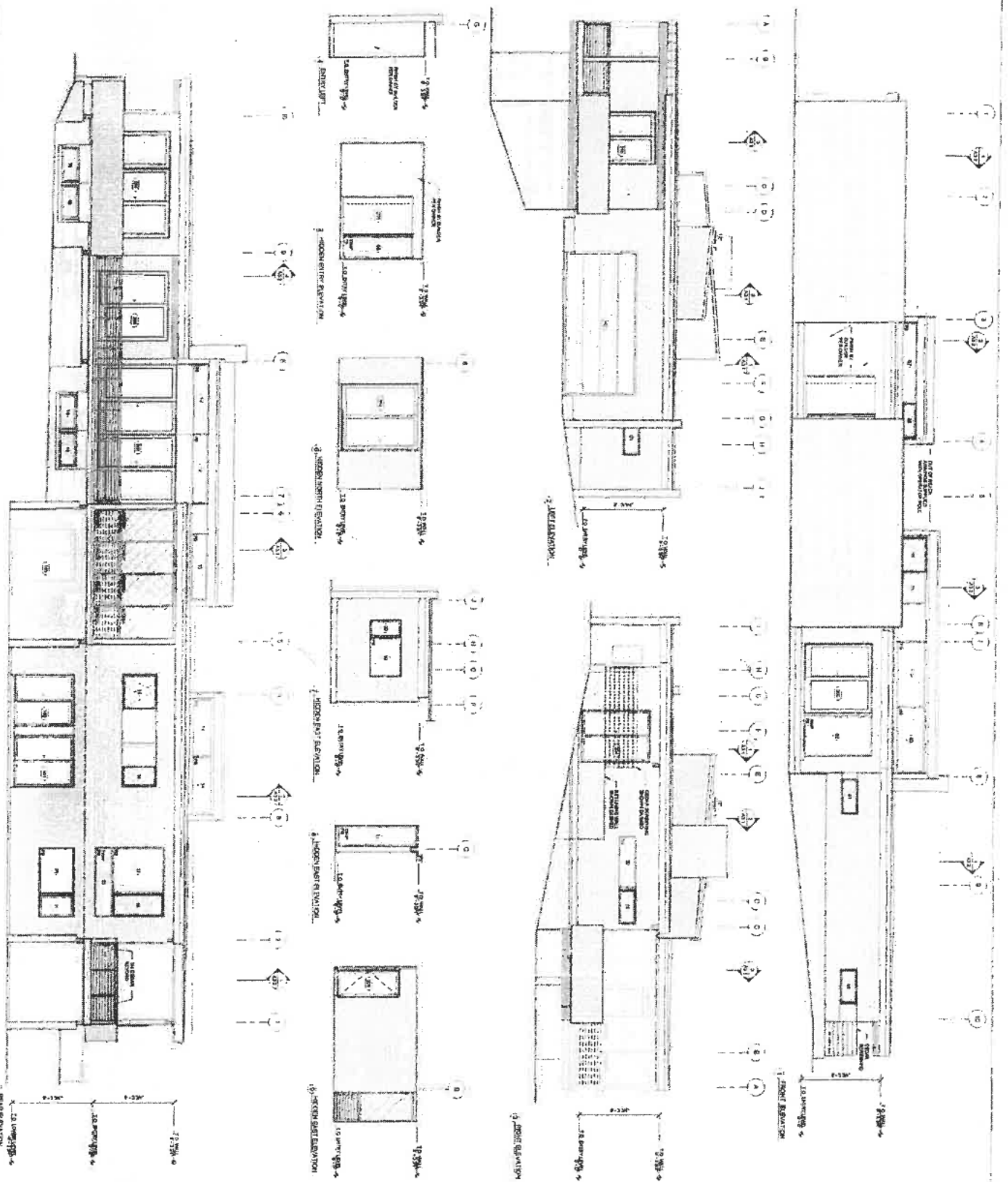
DESIGNER: A. A. A.

CHECKED BY: A. A. A.

DATE: 07/20/2011

SCALE: 1/8" = 1'-0"

21704 A1.3



PRELIMINARY - NOT FOR CONSTRUCTION

ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

FIORELLO RESIDENCE

PROJECT

21704 A2.1

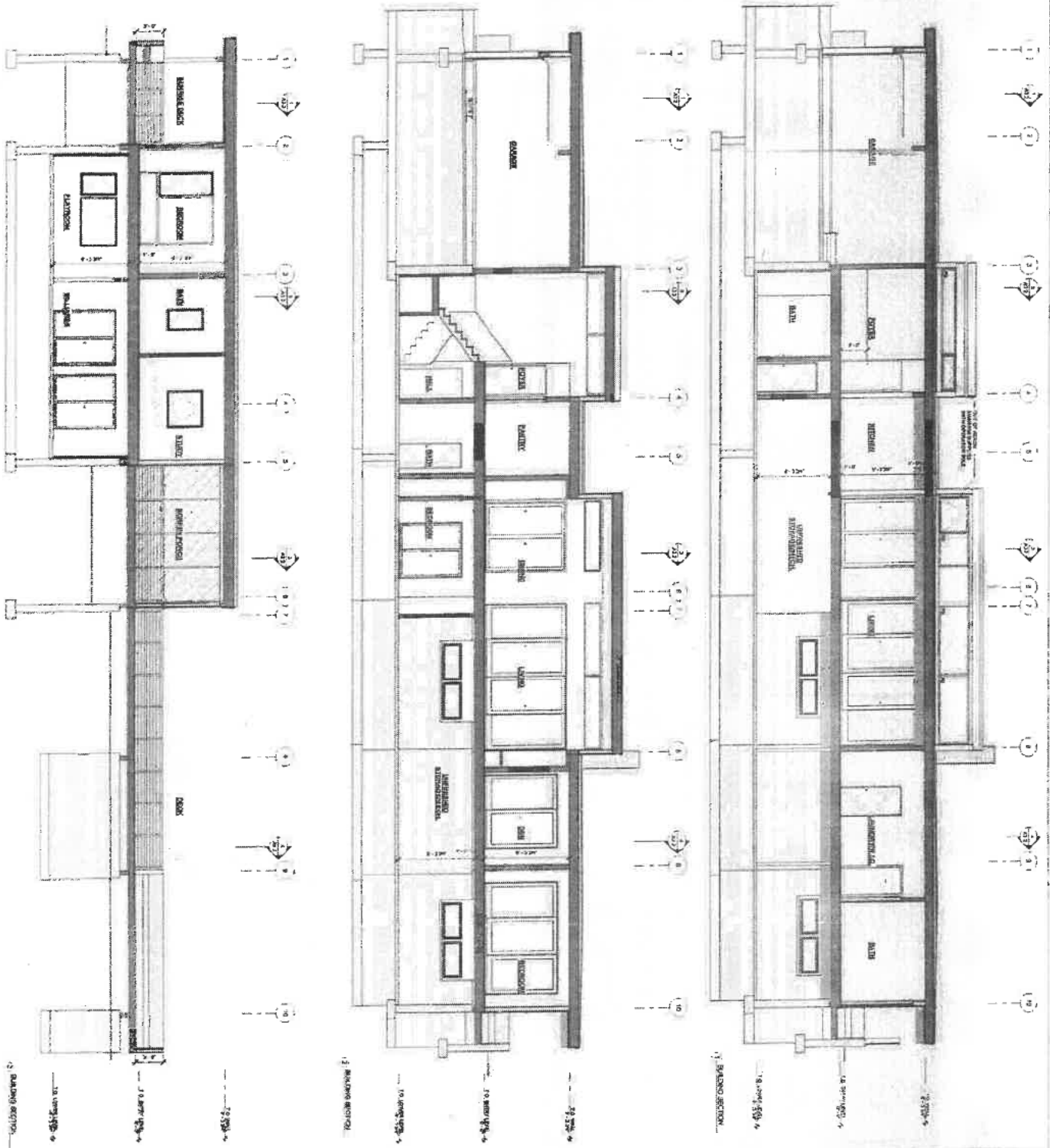
EXTERIOR ELEVATIONS

DATE: 10/23/21

BY: [Signature]

CHECKED BY: [Signature]

SCALE: 1/8" = 1'-0"



PRELIMINARY - NOT FOR CONSTRUCTION

ALL USES, CLASHES, AND DIMENSIONS ARE SUBJECT TO CONSTRUCTION REVIEW

DESIGNED BY: J. PORELLO

PROJECT: PORELLO RESIDENCE

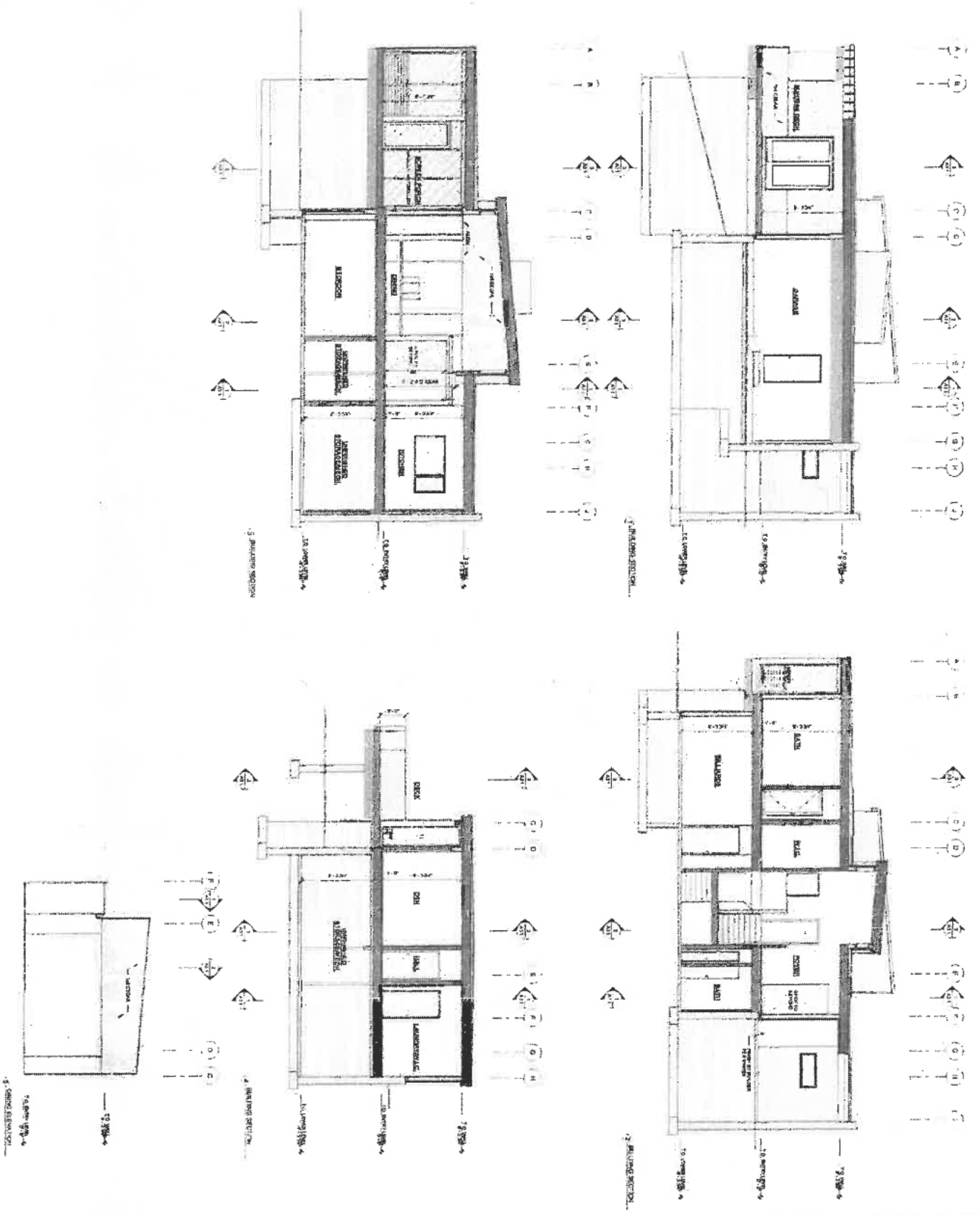
DATE: 10/17/2011

SCALE: 1/8" = 1'-0"

21704 A3.1

LEGEND

- 1. EXTERIOR WALL
- 2. INTERIOR WALL
- 3. DOOR
- 4. WINDOW
- 5. CLOSET
- 6. BATH
- 7. KITCHEN
- 8. DINING
- 9. LIVING
- 10. BEDROOM
- 11. GARAGE



PRELIMINARY - NOT FOR CONSTRUCTION

ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS IN PARENTHESES ARE IN METERS.

CONSTRUCTION OF THIS PROJECT IS SUBJECT TO THE APPROVAL OF THE LOCAL BUILDING DEPARTMENT.

PROJECT: FIORELLA RESIDENCE

DATE: 10/20/2021

SCALE: 1/8" = 1'-0"

21704 A3.2

LEGEND:

- 1. FLOORING
- 2. WALLS
- 3. CEILING
- 4. ROOF
- 5. EXTERIOR FINISH
- 6. INTERIOR FINISH
- 7. MECHANICAL
- 8. ELECTRICAL
- 9. PLUMBING
- 10. PAINT
- 11. LANDSCAPE
- 12. FURNITURE
- 13. APPLIANCES
- 14. LIGHTING
- 15. OTHER



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

DEP File Number

WPA Form 7 – Extension Permit for Orders of Conditions
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

SE# 075-1049
Provided by DEP

A. General Information

Conservation Commission
TOWN OF TRURO

SEP 23 2024

Important:
When filling out
forms on the
computer, use
only the tab
key to move
your cursor -
do not use the
return key.



1. Applicant:

Joseph Robert Fiorello, 97 Banyan Land Trust

Name

PO Box 211

Mailing Address

Truro

City/Town

MA
State

02666
Zip Code

2. Property Owner (if different):

Name

Mailing Address

City/Town

State

Zip Code

B. Authorization

The Order of Conditions (or Extension Permit) issued to the applicant or property owner listed above on:

10/22/2018

Date

Issued by:

Truro

Conservation Commission

for work at:

20 Toms Hill Road

Street Address

46

Assessor's Map/Plat Number

342

Parcel/Lot Number

recorded at the Registry of Deeds for:

Barnstable

County

32118

Book

211

Page

Certificate (if registered land)

is hereby extended until:

1/27/2024

Date

(This order afforded a covid extension.)

Date the Order was last extended (if applicable)

This date can be no more than 3 years from the expiration date of the Order of Conditions or the latest extension. Only unexpired Orders of Conditions or Extension may be extended.

This Extension Permit must be signed by a majority of the Conservation Commission and a copy sent to the applicant and the appropriate DEP Regional Office (<https://www.mass.gov/service-details/massdep-regional-offices-by-community>).



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

DEP File Number:

WPA Form 7 – Extension Permit for Orders of Conditions
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

SE# 075-1049

Provided by DEP

B. Authorization (cont.)

9/30/2022

Issue Date (mm/dd/yyyy)

Signatures:

Signature

Signature

Signature

Signature

Signature

Signature

Signature

Signature

Printed Name

Printed Name

Printed Name

Printed Name

Printed Name

Printed Name

Printed Name

Printed Name

BARNSTABLE REGISTRY OF DEEDS

John F. Meade, Register



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

DEP File Number:

WPA Form 7 – Extension Permit for Orders of Conditions
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

SE# 075-1049
Provided by DEP

C. Recording Confirmation

The applicant shall record this document in accordance with General Condition 8 of the Order of Conditions (see below), complete the form attached to this Extension Permit, have it stamped by the Registry of Deeds, and return it to the Conservation Commission.

Note: General Condition 8 of the Order of Conditions requires the applicant, prior to commencement of work, to record the final Order (or in this case, the Extension Permit for the Order of Conditions) in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, it shall be noted in the Registry's Granter Index under the name of the owner of the land upon which the proposed work is to be done. In the case of registered land, it shall also be noted on the Land Court Certificate of Title of the owner of the land upon which the proposed work is done.

Detach this page and submit it to the Conservation Commission prior to the expiration of the Order of Conditions subject to this Extension Permit.

To:

Thru
Conservation Commission

Please be advised that the Extension Permit to the Order of Conditions for the project at:

20 Toms Hill Road
Project Location

SE# 075-1049
DEP File Number

has been recorded at the Registry of Deeds of:

Barnstable
County

for:

Joseph Robert Fioriello, 97 Banyan Land Trust
Property Owner Trustee

and has been noted in the chain of title of the affected property in accordance with General Condition 8 of the original Order of Conditions on:

Bk 35462 Pg 177 #54279
11-02-2022 @ 02:54p

Date

Book

Page

If recorded land the instrument number which identifies this transaction is:

Instrument Number

If registered land, the document number which identifies this transaction is:

Document Number

Signature of Applicant



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

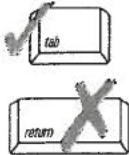
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP
SEP 045
MassDEP File Number
Document Transaction Number

Conservation Commission
TOWN OF TRURO

TRURO

Important:
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

SEP 23 2024

1. Project Location (Note: electronic filers will click on button to locate project site):

20 Toms Hill Road
a. Street Address

Truro
b. City/Town

02666

Latitude and Longitude:

41.998378

-70.070914
e. Longitude

46
f. Assessors Map/Plat Number

342
g. Parcel/Lot Number

2. Applicant:

Joseph Robert

Fiorello, Trustee

97 Banyan Land Trust
c. Organization

P.O. box 211
d. Street Address

Truro
e. City/Town

MA

02666
g. Zip Code

Phone Number

i. Fax Number

j. E

3. Property owner (required if different from applicant):

Check if more than one owner

a. First Name

b. Last Name

c. Organization

d. Street Address

e. City/Town

f. State

g. Zip Code

h. Phone Number

i. Fax Number

j. Email address

4. Representative (if any):

a. First Name

b. Last Name

c. Company



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number _____

Document Transaction Number _____

TRURO

d. Street Address _____

e. City/Town _____

f. State _____

g. Zip Code _____

h. Phone Number _____

i. Fax Number _____

j. Email address _____

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

a. Total Fee Paid _____

b. State Fee Paid _____

c. City/Town Fee Paid _____

A. General Information (continued)

6. Remove existing dwelling and build a new dwelling within 100' buffer zone to a Coastal Bank and Riverfront area. Project includes pruning and invasive plant management within the Coastal Bank

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

X SINGLE FAMILY HOME

2. Residential Subdivision

3. Commercial/Industrial

4. Dock/Pier

5. Utilities

6. Coastal engineering Structure

7. Agriculture (e.g., cranberries, forestry)

8. Transportation

9. Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1. Yes X No

If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type _____

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR 10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number _____

Document Transaction Number _____

TRURO

Barnstable County

b. Certificate # (if registered land) _____

c. Book 17363

263
page

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

X

1. x Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.

2. Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. Bank	1. linear feet _____	2. linear feet _____
b. Bordering Vegetated Wetland	1. square feet _____	2. square feet _____
c. Land Under Waterbodies and Waterways	1. square feet _____ 3. cubic yards dredged _____	2. square feet _____
d. Bordering Land Subject to Flooding	1. square feet _____ 3. cubic feet of flood storage lost _____	2. square feet _____ 4. cubic feet replaced _____
e. Isolated Land Subject to Flooding	1. square feet _____ 2. cubic feet of flood storage lost _____	3. cubic feet replaced _____



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP.

MassDEP File Number _____

Document Transaction Number _____

TRURO

f. ☒ Riverfront Area

1. Name of Waterway (if available) - specify coastal or inland _____

2. Width of Riverfront Area (check one):

25 ft. - Designated Densely Developed Areas only

100 ft. - New agricultural projects only

200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: _____ square feet

4. Proposed alteration of the Riverfront Area:

a. total square feet 8,788 b. square feet within 100 ft. 0 c. square feet between 100 ft. and 200 ft. 8,788

5. Has an alternatives analysis been done and is it attached to this NOI? ☒ Yes No

6. Was the lot where the activity is proposed created prior to August 1, 1996? ☒ Yes No

3. ☒ Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
Include your
document
transaction
number
(provided on
your receipt
page) with all
supplementary
information you
submit to the
Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. Land Under the Ocean	1. square feet _____	
	2. cubic yards dredged _____	
c. Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. Coastal Beaches	1. square feet _____	2. cubic yards beach nourishment _____



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

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Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number _____

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TRURO

e. Coastal Dunes	1 square feet _____	2 cubic yards dune nourishment _____
	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. Coastal Banks	1 linear feet _____	
g. Rocky Intertidal Shores	1 square feet _____	
h. Salt Marshes	1 square feet _____	2 sq. ft. restoration, rehab., creation _____
i. Land Under Salt Ponds	1 square feet _____	
	2 cubic yards dredged _____	
j. Land Containing Shellfish	1 square feet _____	
k. Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	
	1 cubic yards dredged _____	
l. Land Subject to Coastal Storm Flowage	1 square feet _____	
4. Restoration/Enhancement		
If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.		
a. square feet of BVW _____	b. square feet of Salt Marsh _____	
5. Project Involves Stream Crossings		
a. number of new stream crossings _____	b. number of replacement stream crossings _____	

C. Other Applicable Standards and Requirements

This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most



Massachusetts Department of Environmental Protection
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Provided by MassDEP:

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Document Transaction Number _____

TRURO

recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

a. Yes

XNo

If yes, include proof of mailing or hand delivery of NOI to:

Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581

2018

b. Date of map _____

Phone: (508) 389-6360

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); OR complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

c. Submit Supplemental Information for Endangered Species Review

1. Percentage/acreage of property to be altered:

(a) within wetland Resource Area

percentage/acreage _____

(b) outside Resource Area

percentage/acreage _____

2. Assessor's Map or right-of-way plan of site

2. Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work *

(a) Project description (including description of impacts outside of wetland resource area & buffer zone)

(b) Photographs representative of the site

C. Other Applicable Standards and Requirements (cont'd)

(c) MESA filing fee (fee information available at <https://www.mass.gov/how-to/how-to-file-for-a-mesa-project-review>).

Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

(d) Vegetation cover type map of site



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Bureau of Resource Protection - Wetlands

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Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

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TRURO

(e) Project plans showing Priority & Estimated Habitat boundaries

(f) OR Check One of the Following

1. Project is exempt from MESA review.

Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <https://www.mass.gov/service-details/exemptions-from-review-for-projectsactivities-in-priority-habitat>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. Separate MESA review ongoing.

a. NHESP Tracking # _____

b. Date submitted to NHESP _____

3. Separate MESA review completed.

Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

a. Not applicable – project is in inland resource area only b. Yes No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Bourne to Rhode Island border, and the Cape & Islands:

Division of Marine Fisheries -
Southeast Marine Fisheries Station
Attn: Environmental Reviewer
836 South Rodney French Blvd.
New Bedford, MA 02744
Email: dmf.envreview-south@mass.gov

North Shore - Plymouth to New Hampshire border:

Division of Marine Fisheries -
North Shore Office
Attn: Environmental Reviewer
30 Emerson Avenue
Gloucester, MA 01930
Email: dmf.envreview-north@mass.gov

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.

c. Is this an aquaculture project? d. Yes No

If yes, include a copy of the Division of Marine Fisheries Certification Letter (M.G.L. c. 130, § 57).

C. Other Applicable Standards and Requirements (cont'd)

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?

a. Yes X No

If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.

b. ACEC _____

Online Users:
Include your
document
transaction
number



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number _____

Document Transaction Number _____

TRURO

(provided on your receipt page) with all supplementary information you submit to the Department.

5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?

a. Yes ☒ No

6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?

a. Yes ☒ No

7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?

a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:

1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
2. A portion of the site constitutes redevelopment
3. Proprietary BMPs are included in the Stormwater Management System.

b. ☒ No. Check why the project is exempt:

1. ☒ Single-family house
2. Emergency road repair
3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.

D. Additional Information (cont'd)

3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number _____

Document Transaction Number _____

TRURO

4. List the titles and dates for all plans and other materials submitted with this NOI.

Existing Condition, Proposed Site, Proposed Planting, Details & Notes, SH. 1-4

a. Plan Title _____

J.M.O'Reilly & Associates, Inc
b. Prepared By _____

John M. O'Reilly, P.E., P.L.S.
c. Signed and Stamped by _____

07/18/18
d. Final Revision Date _____

1" = 40'
e. Scale _____

f. Additional Plan or Document Title _____

g. Date _____

5. If there is more than one property owner, please attach a list of these property owners not listed on this form.
6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.
7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.
8. X Attach NOI Wetland Fee Transmittal Form
9. Attach Stormwater Report, if needed.

E. Fees

1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

1880
2. Municipal Check Number _____

08/20/24
3. Check date _____

1881
4. State Check Number _____

08/20/24
5. Check date _____

Joseph R. Fiorello
6. Payor name on check: First Name _____

Joseph R. Fiorello
7. Payor name on check: Last Name _____



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number _____

Document Transaction Number _____

TRURO

F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

1. Signature of Applicant _____

2. Date 08/20/24

3. Signature of Property Owner (if different) _____

4. Date _____

5. Signature of Representative (if any) _____

6. Date _____

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.

Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Important:
When filling out
forms on the
computer, use
only the tab
key to move
your cursor -
do not use the
return key.



A. Applicant Information

1. Location of Project:

20 Toms Hill Road
a. Street Address

Truro
b. City/Town

1881
c. Check number

d. Fee amount

2. Applicant Mailing Address:

Joseph R.
a. First Name

Fiorello
b. Last Name

97 Banyan Land Trust
c. Organization

POB 211
d. Mailing Address

Truro,
e. City/Town

MA
f. State

02666

i. Fax Number

3. Property Owner (if different):

a. First Name

b. Last Name

c. Organization

d. Mailing Address

e. City/Town

f. State

g. Zip Code

h. Phone Number

i. Fax Number

j. Email Address

B. Fees

To calculate
filing fees, refer
to the category
fee list and
examples in
the instructions
for filling out
WPA Form 3
(Notice of
Intent).

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

B. Fees (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/ Individual Activity Fee	Step 4/Subtotal Activity Fee
Category 1d.	1		
Category 2a.	1		

Step 5/Total Project Fee: _____

Step 6/Fee Payments:

Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Total Project Fee: a. ~~Total Fee from Step 5~~

State share of filing Fee: b. ~~1/2 Total Fee less \$12.50~~

City/Town share of filing Fee: c. ~~1/2 Total Fee plus \$12.50~~

C. Submittal Requirements

- a) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection
Box 4062
Boston, MA 02211

- b) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)



Massachusetts Department of Environmental Protection
Bureau of Water Resources - Wetlands

WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131 §40

Truro

Municipality

SEP 17 2024

Important:
When filling out
forms on the
computer, use only
the tab key to move
your cursor - do not
use the return key.



A. General Information

1. Applicant:

Diane L. Gilworth & Claudia Dent

First Name

Last Name

6 Pheasant Lane/9 Collins Road

Address

Woburn/Berlin

MA

01801/01503

City/Town

State

Zip Code

Phone Number

Email Address

2. Property Owner (if different from Applicant):

First Name

Last Name

Address

City/Town

State

Zip Code

Phone Number

Email Address (if known)

3. Representative (if any)

Annie

Groth

First Name

Last Name

Company Name

19602 N. 32nd Street

Address

Phoenix

AZ

85050

City/Town

State

Zip Code

Phone Number

Email Address (if known)

B. Project Description

1. a. Project Location (use maps and plans to identify the location of the area subject to this request):

655 & 657 Shore Road

Truro

Street Address

City/Town

42.06222

-70.14406

Latitude (Decimal Degrees Format with 5 digits after decimal
e.g. XX.XXXXX)

Longitude (Decimal Degrees Format with 5 digits after
decimal e.g. -XX.XXXXX)

2

1

Assessors' Map Number

Assessors' Lot/Parcel Number

b. Area Description (use additional paper, if necessary):

Cleared lawn space

c. Plan and/or Map Reference(s): (use additional paper if necessary)

Please see attached

Title

Date

Title

Date

How to find Latitude
and Longitude

and how to convert
to decimal degrees



B. Project Description (cont.)

2. a. Activity/Work Description (use additional paper and/or provide plan(s) of Activity, if necessary):

Install 4 120 gallon propane tanks which will be place on circular concrete pad, pre-fab. Cape Cod Oil is the provider of the tanks. Permitting for electrical will be obtained by RCA. The generator will be place on a 24" stand to surpass the 1' above foundation requirement.

- b. Identify provisions of the Wetlands Protection Act or regulations which may exempt the applicant from having to file a Notice of Intent for all or part of the described work (use additional paper, if necessary).

minimal excavation for piping, generator and propane tanks are 10' apart.

3. a. If this application is a Request for Determination of Scope of Alternatives for work in the Riverfront Area, indicate the one classification below that best describes the project.

- ☐ Single family house on a lot recorded on or before 8/1/96
- ☐ Single family house on a lot recorded after 8/1/96
- ☐ Expansion of an existing structure on a lot recorded after 8/1/96
- ☐ Project, other than a single-family house or public project, where the applicant owned the lot before 8/7/96
- ☐ New agriculture or aquaculture project
- ☐ Public project where funds were appropriated prior to 8/7/96
- ☐ Project on a lot shown on an approved, definitive subdivision plan where there is a recorded deed restriction limiting total alteration of the Riverfront Area for the entire subdivision
- ☐ Residential subdivision; institutional, industrial, or commercial project
- ☐ Municipal project
- ☐ District, county, state, or federal government project
- ☐ Project required to evaluate off-site alternatives in more than one municipality in an Environmental Impact Report under MEPA or in an alternatives analysis pursuant to an application for a 404 permit from the U.S. Army Corps of Engineers or 401 Water Quality Certification from the Department of Environmental Protection.

- b. Provide evidence (e.g., record of date subdivision lot was recorded) supporting the classification above (use additional paper and/or attach appropriate documents, if necessary.)



Massachusetts Department of Environmental Protection
Bureau of Water Resources - Wetlands

WPA Form 1- Request for Determination of Applicability Truro
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40 Municipality

C. Determinations

1. I request the Truro Conservation Commission make the following determination(s). Check any that apply:
- ☐ a. whether the **area** depicted on plan(s) and/or map(s) referenced above is an area subject to jurisdiction of the Wetlands Protection Act.
 - ☐ b. whether the **boundaries** of resource area(s) depicted on plan(s) and/or map(s) referenced above are accurately delineated.
 - ☒ c. whether the **Activities** depicted on plan(s) referenced above is subject to the Wetlands Protection Act and its regulations.
 - ☒ d. whether the area and/or Activities depicted on plan(s) referenced above is subject to the jurisdiction of any **municipal wetlands' ordinance or bylaw** of:
Truro
Name of Municipality
 - ☐ e. whether the following **scope of alternatives** is adequate for Activities in the Riverfront Area as depicted on referenced plan(s).

D. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Request for Determination of Applicability and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge.

I further certify that the property owner, if different from the applicant, and the appropriate DEP Regional Office were sent a complete copy of this Request (including all appropriate documentation) simultaneously with the submittal of this Request to the Conservation Commission.

Failure by the applicant to send copies in a timely manner may result in dismissal of the Request for Determination of Applicability.

Signatures:

I also understand that notification of this Request will be placed in a local newspaper at my expense in accordance with Section 10.00A(1)(b) of the Wetlands Protection Act regulations.

Diana Helwood
Signature of Applicant

Date

9/10/2024

9/11/2024

Annie Huth
Signature of Representative (if any)

Date

9/11/2024

Request for Determination

Project address: 655 & 857 Shore Road Truro

Map² Parcel¹

- Is the project located in a resource area or buffer zone n/a

- Resource Area Type(s): Control dune barrier Beach LSCSS

- If Buffer Zone what is the distance from Resource Area: n/a

Description of project: (list all activities and describe methodology for construction or installation including equipment type if applicable) RCA will use a mini excavator for the propane lines

Attached site plan titles/dates, and any other plan or narratives title/dates: _____

Describe the best management practices/mitigation that will be used on the site: it is a natural lawn and all pads being used are pre-fabricated.

Special Conditions required by the Conservation Include: _____

The proposed project is approved subject to the conditions included herein.

The use of town property for beach access or staging of construction materials requires a permit issued by the Board of Selectmen. The owner and applicant/representative are responsible for obtaining this permit prior to work start.

The owner and applicant/representative shall, avoid and otherwise minimize any activities in the buffer zone or in resource areas by use of best management practices on the site, such as:

- Placement of an agreed upon work limit;
- Proper placement of construction materials in developed or already disturbed areas;
- Proper installation/maintenance of erosion control;
- Good housekeeping that includes at a minimum daily trash pickup; no dumping of paint, plaster or concrete on the site but rather, disposing of it properly.

Approval of the project as described herein includes only the scope and specifications reviewed by the Conservation Commission; any changes to this project shall require additional review by the Conservation Commission prior to the work being done. Expansion of the scope of work may result in the applicant being required to file a full notice of intent. Any work done that exceeds the scope defined in the approved application shall be subject to issuance enforcement action; Violation of these conditions may result in issuance of an enforcement Order; non-criminal violation citations to the owner and/or applicant/representative accompanied by fines that accrue per offense and may accrue daily.

By reading and signing this letter of agreement the applicant acknowledges that they have read and understand the terms as stated herein; the scope of this approval is limited to the work described herein; and your signature on this conditional approval is acknowledgement that no work shall go forward until the RDA conditions have been issued by the Conservation Commission.

Applicant/Representative printed name and signature: Annie Groth 9/11/24
Owners printed name and signature: Diane Gilworth Claudia Dent
Diane L. Gilworth Claudia Dent Representative Annie Groth
Truro RDA



655 Shore Rd

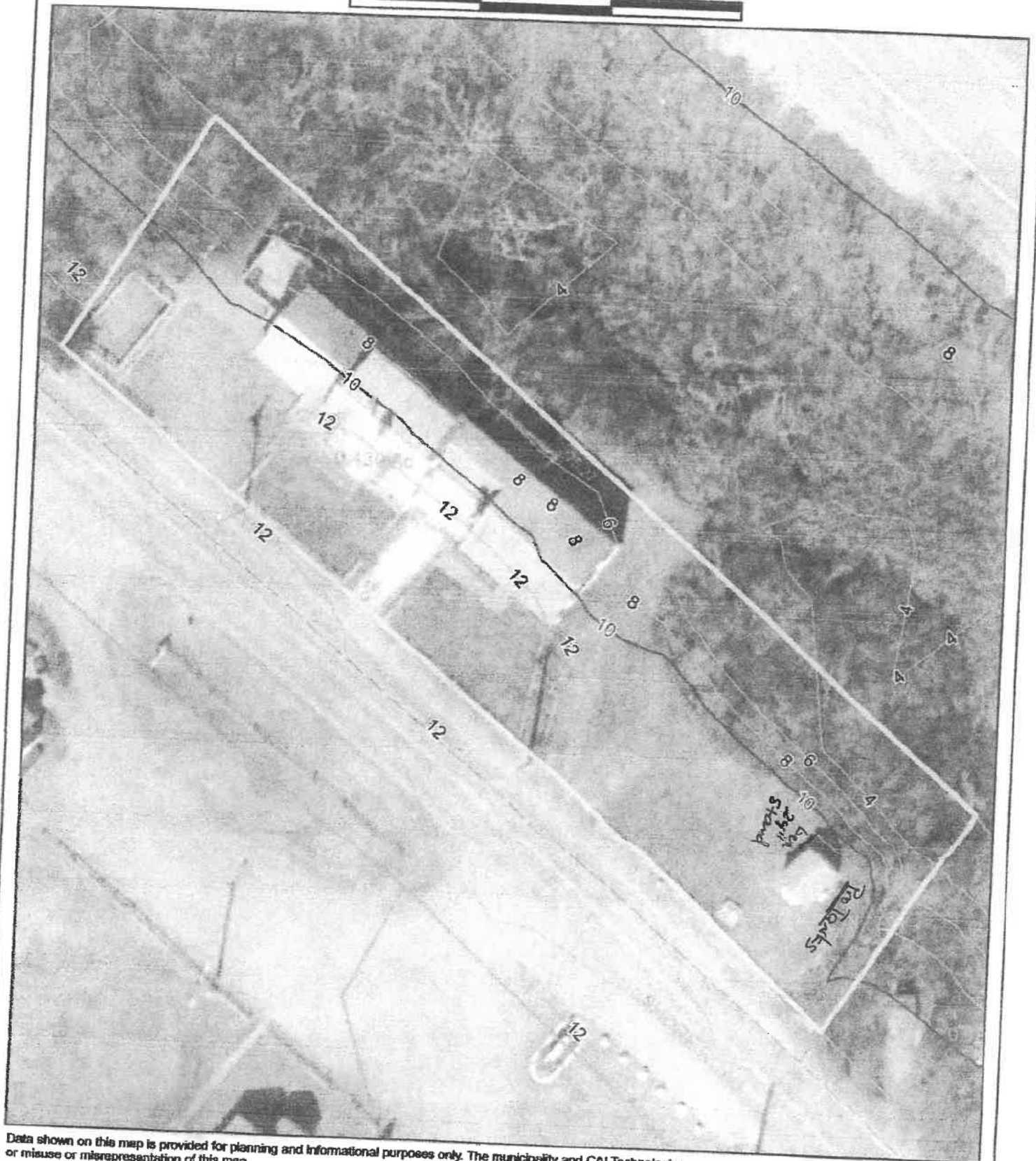
Town of Truro, MA

1 inch = 35 Feet



www.cai-tech.com

August 23, 2024



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



464.57
937.1(s)

1_3_0

SHORE ROAD

2_5_0

670

7

2_12_0

1

2

3

4

5

6

2_6_0

4

658

102.3 (s)

SHORE ROAD

127.85 (s)

SHORE ROAD

157.14 (s)

Unit 657

658

Unit 655



GRAND ARMY OF THE REPUBLIC HIGHWAY
ROUTE 6 GRAND ARMY OF THE

FEMA
MAP

647

112.07

647

114.35 (s)

SHORE ROAD

41.25

643

110.84

110.84 (s)

2_3_0

The data shown on this site are provided for informational and planning purposes only. The Town and its consultants are not responsible for the misuse or misrepresentation of the data.

0 99 198 ft

Printed on 08/23/2024 at 01:18 PM

MapsOnline -



RCA Electrical Contractors Inc.
153 Commercial Street, Mashpee, MA 02649
www.rcaelectric.com
(508) 428-0449

8/13/2024, Rev. 9/10/2024

Dear Diane Gilworth,

Thank you for the opportunity to conduct an in-home survey and review your standby power needs in detail. At RCA ELECTRIC & GENERATORS we strive to provide our customers with the best automatic standby solution. As a result, we are pleased to present you this personalized proposal. If you have any questions please contact our sales department.

GENERAC POWERPRO
PREMIER



GENERATOR MODEL

26 KW Air- Cooled Generac Standby Generator with an aluminum enclosure (Model #7290), (2)200amp non-service entrance ATS (Model #RXSC200A3)

CUSTOMER INSTALL

- The generator will supply power to the whole house.
- Generator will be installed on a 24" stand.
- LOAD SHED: The following circuits will be connected to load shed management: Oven (2), Car charger
- The generator will be located at the right side of the yard
- The auto transfer switch(es) will be located outside
- Trench and back fill included, based upon no frost in the ground. Landscaping is NOT included.
- (4) 120 gallon tank(s) will be supplied and installed by the propane company.
- The tank(s) will be located at the right side of the yard with a minimum 10' clearance from the generator.
- Propane tank(s) installed will be owned by the customer.
- The propane allowance includes: setting of the tank(s), piping, and permits.
- Prior to completion of work it will be the customer's responsibility to establish an account with the propane company.
- Due to State and Federal regulations, all fuel delivered by the propane company will be billed directly to the customer. It is the customer responsibility to pay for the fuel delivered. Fuel is not included in this proposal.
- RCA will coordinate the initial filling of the tank(s) on site. All future monitoring of fuel levels and filling scheduling is the customer's responsibility.

STANDARD ON ALL INSTALLS

- Generator will be turned on (up to 6 hours) to the house while the installation crew are working on the electrical system
- Surge protector will be installed at the panel
- Generator battery is included
- Town inspections are included
- Generator registration with Generac included
- Comprehensive informational walk through of operation of the generator with our technician upon completion

NOTES FOR CUSTOMER

EXTENDED WARRANTY

Free 7 Year Extended Warranty included with installation and enrollment of the Mobile Link LTE dealer managed monitoring program. Installation of the Mobile Link Device and 1st year subscription is included at no cost at time of generator installation.

- 7-Year Extended Limited Warranty – Air-cooled - 10KW - 26W (parts and labor covered for 7 years) \$735.00 SAVINGS
- 100% "Bumper-to-Bumper" coverage. All other extended warranties will be ineligible upon activation of the 7 Year Extended Warranty
- Available on Generac® brand products - not available on CorePower, EcoGen, Synergy or internationally

GENERAC EXTENDED WARRANTY GUIDELINES:

1. Unit must be under a PM (preventative maintenance) agreement with a Generac Authorized Service Dealer
2. Proof of PM at time of warranty claim is made
3. Unit must be installed by a Generac Authorized Dealer
4. Extended Limited Warranty must be activated by a Generac Authorized Dealer within 12 months of initial generator activation

NOTE: Preventative Maintenance (PM) is not included with the installation of the generator. This is a yearly service provided to maintain the generator to continue to operate as designed. PM is scheduled yearly by our office. PM agreement will be included in the final document packet provided by RCA offices upon completion of the installation of the generator.

NOTE: IF CUSTOMER DECLINES JOINING THE DEALER MANAGED MOBILE LINK PROGRAM THE GENERATOR WILL BE INSTALLED WITH THE FACTORY 5 YEAR LIMITED WARRANTY: as described below.

Standard Limited Warranty for air cooled generator: Direct from Factory -
Years 1-2 Parts, Labor and Limited Travel
Years 3 Part Only No labor or travel covered.
Years 4-5 Motor and Stator only - No labor or travel or miscellaneous parts covered.

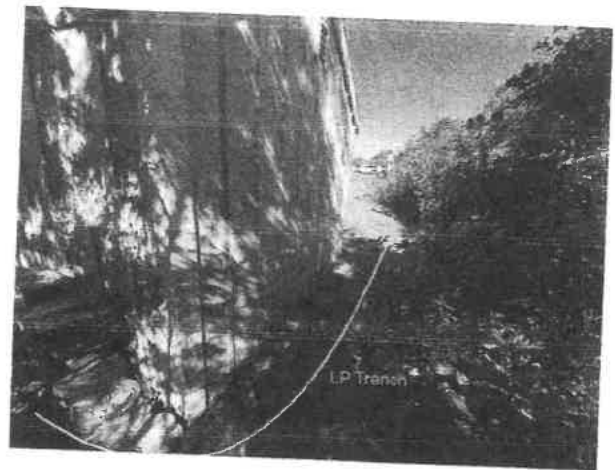
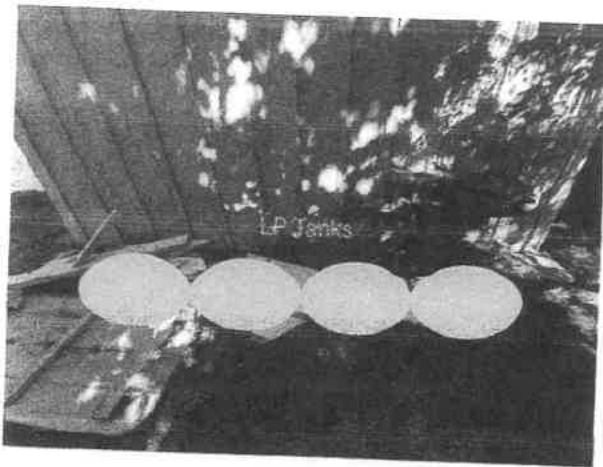
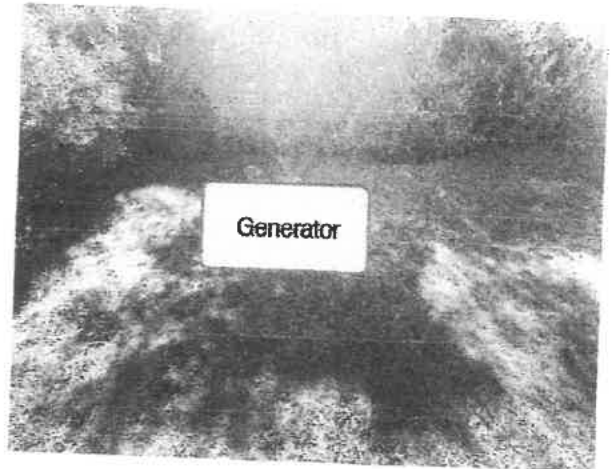
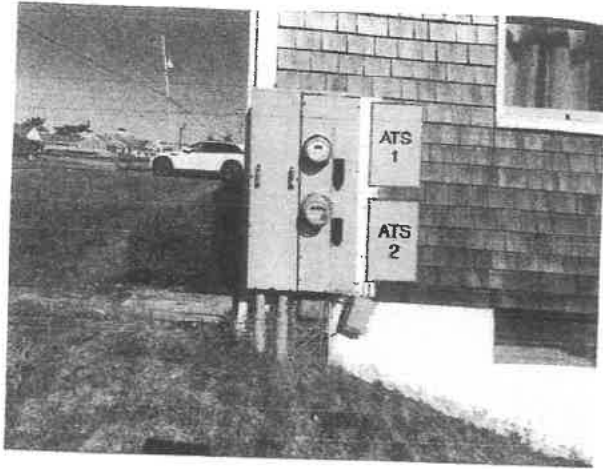
MOBILE LINK DEALER MONITORING PROGRAM INCLUDED: LTE ACTIVATION INCLUDED

Mobile Link Agreement

- LTE Device installed at time of generator installation: FREE \$375.00 SAVINGS
- This is a cellular connection NOT WIFI
- Generac will PUSH notifications / updates through out the year to the control board of your generator, keeping your generator up to date with the latest software.
- RCA Service Department will monitor generator status pre-storm events, weekly testing, and most importantly during a storm / power outage event.
- Annual Monitoring LTE RENEWAL subscription:
 - 1st Year FREE included with purchase/installation of generator.
 - \$70.00/YEAR (check made payable to RCA Electric/Generators)
 - SUBSCRIPTION RENEWED AT 1 YEAR ANNIVERSARY OF INSTALLATION
 - Office will contact customer for payment of subscription prior to renewal date.
 - Customer's E-mail address on file will be used for Mobile Link Activation at time of installation.

Diane Gilworth
655 Shore Road
Truro, MA 02652
(339) 223-7736
dianegilworth442@comcast.net

SITE PHOTOS



CUSTOMER AND SITE INFO

CUSTOMER

Diane Gilworth
(339) 223-7736
dianegilworth442@comcast.net

MAILING ADDRESS

6 Pheasant Lane
Woburn, MA 01801

SITE ADDRESS

655 Shore Road
Truro, MA 02652

SPECIFICATIONS

- Manufacture guidelines suggest annual maintenance/service of the unit, or after any extended use of the unit.
- RCA Electric & Generators will contact you annually to schedule the routine maintenance of your generator.
- Upon an extended power outage lasting 100 or more hours, prior to annual service date, RCA recommends customer to contact office to schedule a routine maintenance.
- Proper maintenance of the unit will ensure its ability to work accordingly.
- Maintenance to the unit is not included in this proposal.
- RCA Electric & Generators is not responsible for any prior electrical or gas code violations, if noted by Town Inspectors at time of generator electrical/gas inspections
- All material is guaranteed to be as specified.
- All work to be completed in a workmanlike manner according to standard practices.
- Any alterations or deviation from the above specifications may result in additional costs to the customer. Contact the office

PAYMENT OPTIONS

CASH/CHECK

Total:
\$24,650.00
Deposit Amount:
\$12,325.00
Due Upon Completion:
\$12,325.00

CREDIT CARD

Total:
\$26,622.00
Deposit Amount:
\$13,311.00
Due Upon Completion:
\$13,311.00

FINANCED

Finance:
\$26,622.00
Deposit Amount:
\$500.00 cash/check
Finance Balance:
\$26,122.00

LEASING

Finance:
\$26,622.00
Deposit Amount:
\$500.00 cash/check
Finance Balance:
\$26,122.00
Included: 10 year extended warranty,
Annual (1x/year) maintenance x 10 years,
and Mobile Link device with monitoring x
10 years. Contact your salesman for
application.

Acceptance of Proposal:

- The above prices, specifications and conditions are satisfactory and are hereby accepted.
- The locations for the generator and the ATS are approved.
- RCA Electric & Generators is authorized to perform the scope of work specified.
- Payment will be made as outlined.
- Pricing is valid for 30 days from date of proposal.
- If customer purchases Generac Install + Service Package, 10 Year Extended Warranty will replace warranty terms listed on page 2
- \$500.00 Cancellation / Refund Fee will be applied upon customer cancellation.

Customer Name/Signature

Date

Matt Remie

RCA Sales Rep

Rev. 9/10/2024

Date



TOWN OF TRURO

Conservation Commission

24 Town Hall Road
P.O. Box 2030, Truro MA 02666

PERMIT # 2024-32

PAID 1977
Conservation Commission
TOWN OF TRURO

AUG 12 2024

APPLICATION FOR ADMINISTRATIVE REVIEW PERMIT

PERMIT FEE \$20

Applicant Name: Amanda Krok Telephone: 508-477-1346 x 111

Email address: [REDACTED]

Owner Name: Charles and Donna Ward Telephone:

(If the applicant is not the owner of the property, written consent to the work MUST be attached to this Application.) AND approval for the

Address of subject property: 8 Falcon Ln., Truro, MA 02666 Map: 39 Parcel: 245

Description of proposed work: Removal of 10 dead pines within roughly 50-100 ft. of Great Swamp, a freshwater pond.

CLM proposes to leave stumps in-tact and replant the biomass of the area with 10 Carolina Rose, 8 Bayberry, 8 Beach Plum, and 10 Chokeberry for a total of 36 native shrubs at \$.

Proximity to Resource Areas: roughly 100 ft. of Great Swamp, a freshwater pond. within a Coastal

Zone.

1 removed dead pine by the house. This has been removed and has been replanted with 25 beachplum, 1 Crimson Queen and 2 Bloodgood Maple.

↑
within a Coastal Zone

CRITERIA FOR ADMINISTRATIVE REVIEW (AR) PERMITS

Vegetation Projects:

- No removal of vegetation within any inland or coastal wetland resource.
- No uprooting of vegetation.
- No mowing to the ground or clear cutting.
- Any proposed tree removal is demonstrated to be necessary, e.g., to protect existing structures, public safety, traffic visibility, etc.
- Mitigation may be required, i.e., an area to be planted with native species of trees or shrubs.
- Trees for removal must be tagged for inspection.
- No excavation by machinery is required or proposed.

Sheds and Other Construction Projects:

- No construction within any wetland resource except for minimal projects with the consent of the Conservation Agent.
- Any proposed new construction is more than 50' from the edge of resource area.
- No excavation by machinery is required or proposed.
- Foundation for structure shall be concrete blocks, sono tubes, diamond piers
- Repairs or replacement of existing structures remain within the same footprint.
- New structures must be less than 160 square feet.
- Only minimal projects such as biomimicry, sand nourishment, beach grass and planting of native species shall be allowed under this permit

Procedure:

- The fee shall be submitted with the Administrative Review Application.
- The Agent shall conduct a site visit, at which time the proposed project must be clearly defined in the field with stakes. Trees shall be flagged.

- If the Agent determines that all of the conditions of this Policy are met, the Agent may approve the Application. If the conditions of this policy are not met; the application is incomplete; or the field ID is inadequate the application is denied.
- **If the Agent approves the application, such approval must be ratified by the Truro Conservation Commission prior to the issuance of this permit and prior to the commencement of any work.**
- Any Property Owner, contractor or other agent of the owner performing any work pursuant to an Administrative Review permit shall have a copy of the permit available at the site at all times during the period that the work is being performed.
- Upon approval and ratification by the Commission, an Administrative Permit shall issue.
- The applicant shall notify the Commission prior to the start of the work, and must complete the work within thirty (30) days of issuance of the permit, unless otherwise permitted by the Commission.
- The Conservation Agent shall inspect the property to verify that the work completed is within the scope of the Approved Application.
- Any work beyond the scope of the approved Administrative Review shall be subject to enforcement action.
- NOTE: Use of town property for beach access or staging of construction materials requires a permit issued by the Board of Selectmen.

By signing this permit application, you are acknowledging that you have read and understand the terms as stated herein. You are also aware that no work shall go forward until the permit has been issued by the Conservation Commission.

[Signature] 8/12/2024
(Signature of Applicant) (Date)

FOR OFFICE USE ONLY:

Agent's Comments removal of dead trees, planting of
native veg

Site Inspection Date: 9/24/24 Application Approved: ☒ Yes ☐ No

Conservation Commission Review: Meeting Date: _____ Permit Approved: ☐ Yes ☐ No
Conditions: _____

Signature of Commission Chair or Agent: _____ Date: _____

August 8, 2024

Truro Conservation Commission

Attn: Emily Beebe, Conservation Agent; Arozana Davis, Assistant Health/Conservation Agent

Town of Truro

24 Town Hall Road, P.O. Box 2030

Truro, MA 02666

Re: Replacement of Removed Dead Japanese Black Pine and 10 Additional Dead Pines

Project Address: 8 Falcon Lane, Truro, MA 02666

Dear Ms. Beebe and members of the Truro Conservation Commission,

Crawford Land Management (CLM) respectfully submits this request to approve the removed and Japanese black pine tree (*Pinus thunbergii*) near the dwelling, which was approved for pruning work, but which has not survived. Additionally, we would like to propose the removal of 10 dead pines to the left of the driveway, in the upland portion off Great Swamp.

Pruning activities were approved under SE 75-1129, issued on 10/8/2021. This permit approved vegetation management within resource area buffer zones to address view conflicts and protect native plant health and functions. Part of the approved work included pruning of existing Japanese black pine trees, one of which has not survived. Currently, we are proposing to approve the removal of the Japanese black pine tree that has not survived. To makeup for lost biomass, the pine was replaced with 26 Beach plum (*Prunus maritima*), 1 Crimson Queen Japanese Maple (*Acer palmatum* var. *dissectum*), and 2 Bloodgood Japanese Maples (*Acer palmatum*). The native specimens are an improvement over the non-native Japanese black pine which they're replacing. In addition, we propose the removal of 10 dead pines to the left of the driveway. These pines appear to be in the upland portion of the property off Great Swamp. To mitigate for lost biomass, we propose planting 36 native shrubs at 6'. The shrubs we propose to plant are as follows: 10 Carolina Rose (*Rosa Carolina*), 8 Bayberry (*Myrica pensylvanica*), 8 Beach plum (*Prunus maritima*), and 10 Chokeberry (*Aronia melanocarpa*). These plants will serve as an overall improvement to habitat health, enhancement, and overall aesthetic.

Representative photographs are attached below for your reference. We hope you see the value of the proposed restoration work. If you should have any questions, please do not hesitate to contact me at amanda@crawfordlm.com or 508-477-1346 x 111, or our Account Manager, Stephanie Haussmann at stephanie@crawfordlm.com or 508-477-1346 x 105.

Respectfully,

Amanda Krok

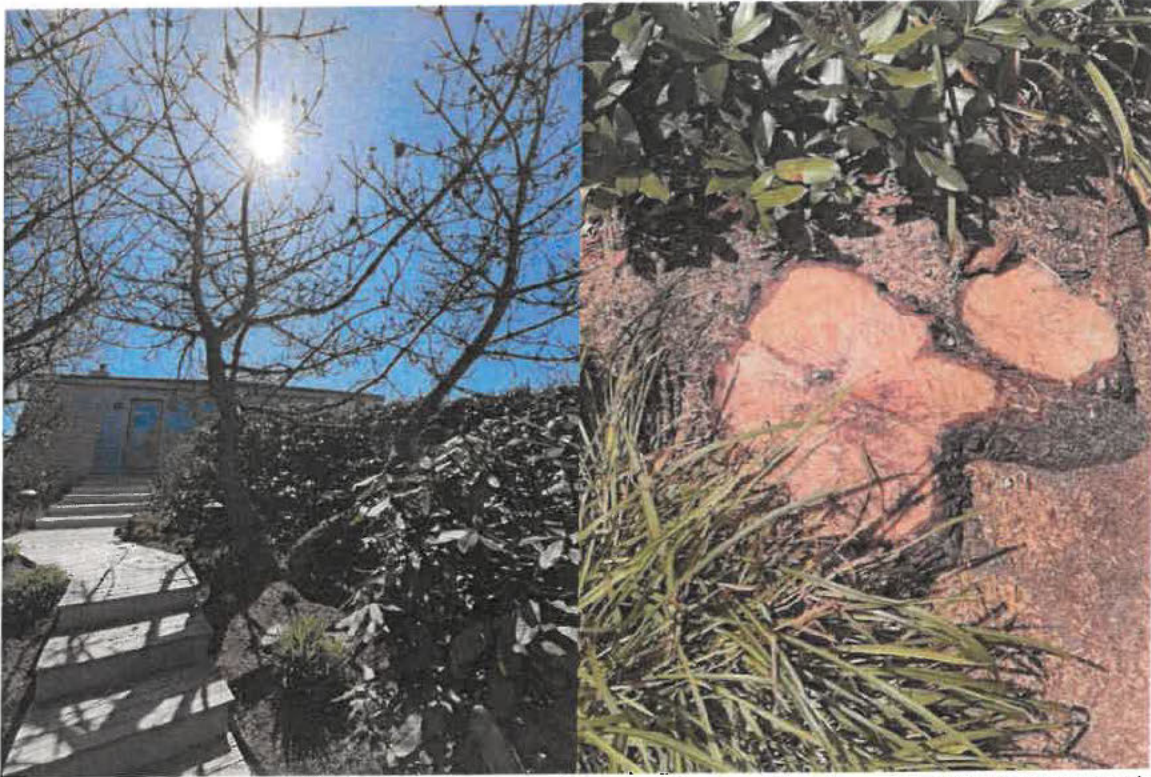
Amanda Krok

RESTORATION DESIGNER, CRAWFORD LAND MANAGEMENT



CRAWFORD
LAND MANAGEMENT

CALL (508) 477-1346
EMAIL info@crawfordlm.com
MAIL 88 Route 6A, Unit 2B | Sandwich, MA 02563



Left: A non-native Japanese black pine adjacent to the guest house which has not survived and since this photo, has been removed. Photo taken 4/25/2024. Right: The pine stumps in-tact since being removed. Photo taken 7/29/2024.



CRAWFORD
LAND MANAGEMENT

CALL (508) 477-1346
EMAIL info@crawfordlm.com
MAIL 88 Route 6A, Unit 2B | Sandwich, MA 02563



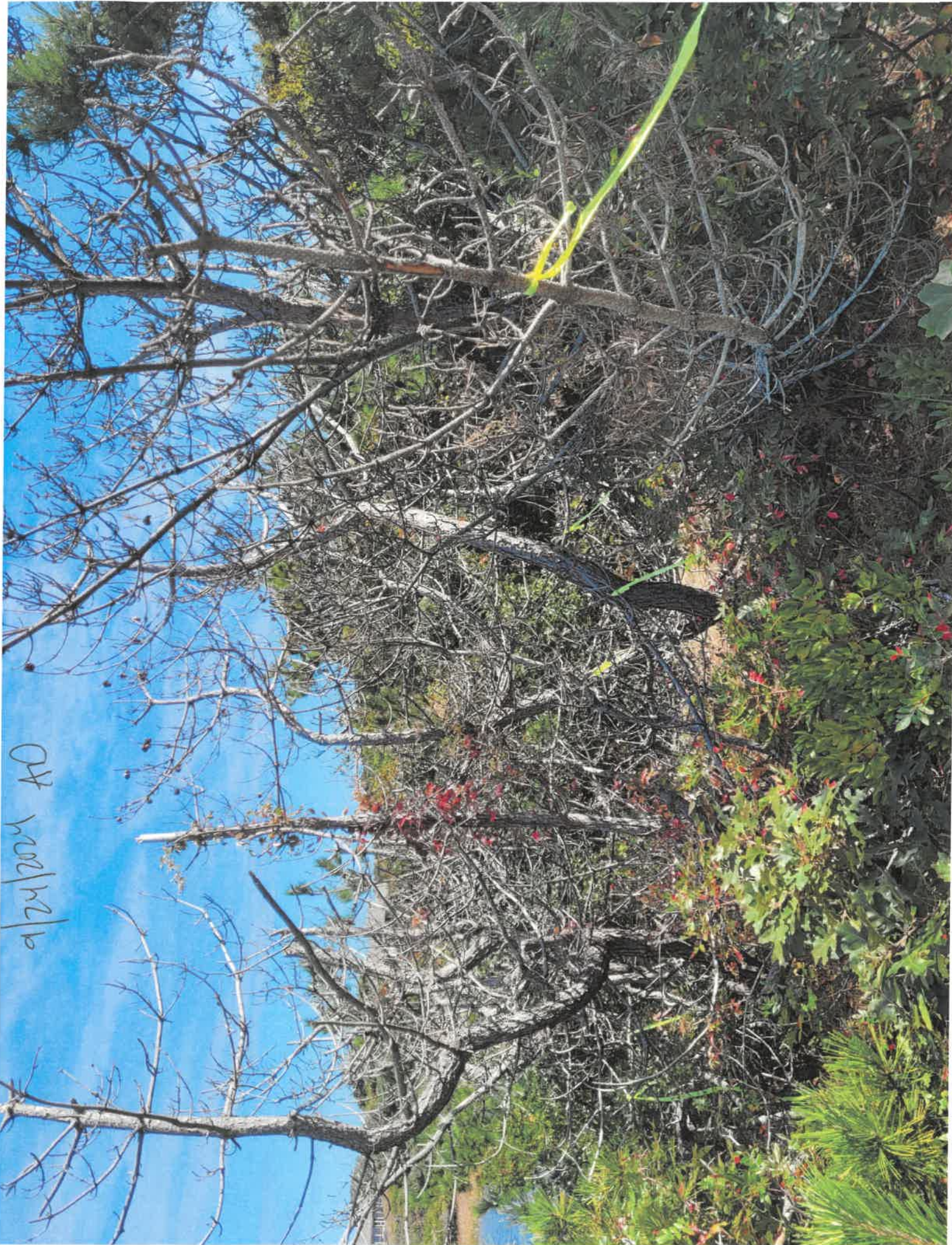
10 dead pines proposed to be removed and replaced with native shrubs. Photo taken 7/29/2024.

CA 6202/h2/b
9/24/2024





9/24/2019
OK



OT maelnlp

SEP 10 2024

PERMIT # 2024-33



TOWN OF TRURO

Conservation Commission

24 Town Hall Road
P.O. Box 2030, Truro MA 02666

PAID
514

APPLICATION FOR ADMINISTRATIVE REVIEW PERMIT

PERMIT FEE \$20

Applicant Name: Charles T Silva

Telephone: [REDACTED]

Email address: [REDACTED]

Owner Name: [REDACTED]

Telephone: [REDACTED]

(If the applicant is not the owner of the property, written consent to the work MUST be attached to this Application.)

Address of subject property: 386 Shore Rd. Map: 10 Parcel: 28

Description of proposed work: Replenishment of Sand lost to
Last Jan Storm. Replenish when finished.

Proximity to Resource Areas: In it

CRITERIA FOR ADMINISTRATIVE REVIEW (AR) PERMITS

Vegetation Projects:

- No removal of vegetation within any inland or coastal wetland resource.
- No uprooting of vegetation.
- No mowing to the ground or clear cutting.
- Any proposed tree removal is demonstrated to be necessary, e.g., to protect existing structures, public safety, traffic visibility, etc.
- Mitigation may be required, i.e., an area to be planted with native species of trees or shrubs.
- Trees for removal must be tagged for inspection.
- No excavation by machinery is required or proposed.

Sheds and Other Construction Projects:

- No construction within any wetland resource except for minimal projects with the consent of the Conservation Agent.
- Any proposed new construction is more than 50' from the edge of resource area.
- No excavation by machinery is required or proposed.
- Foundation for structure shall be concrete blocks, sonotubes, diamond piers
- Repairs or replacement of existing structures remain within the same footprint.
- New structures must be less than 160 square feet.
- Only minimal projects such as biomimicry, sand nourishment, beach grass and planting of native species shall be allowed under this permit

Procedure:

- The fee shall be submitted with the Administrative Review Application.
- The Agent shall conduct a site visit, at which time the proposed project must be clearly defined in the field with stakes. Trees shall be flagged.

To the conservation commission and agent,

Conservation Commission
TOWN OF TRURO

SEP 10 2024

Please allow the replenishment of sand at my property at 386 shore road. The storms last January reached higher than ever before and washed away approximately 20 to 25 yards of sand. I will use pure beachsand as is required and it will be dumped at end of town landing and then put into place. We will rake landing flat and same as before, machine should not have to go onto beach to move sand. Replenished sand will be promptly replanted beach grass.

Thank you, Chuck Silva

Chuck Silva 9/9/24



SEP 10 2024

PERMIT # 2024-34



TOWN OF TRURO

Conservation Commission

24 Town Hall Road
P.O. Box 2030, Truro MA 02666

PAID
514

APPLICATION FOR ADMINISTRATIVE REVIEW PERMIT

PERMIT FEE \$20

Applicant Name: Charles T Silen Telephone: [REDACTED]

Email address: [REDACTED]

Owner Name: [REDACTED] phone: [REDACTED]

(If the applicant is not the owner of the property, written consent to the work MUST be attached to this Application.)

Address of subject property: 490 Shore Rd Map: 8 Parcel: 23

Description of proposed work: replace 3-4 sections of middle wharf from property side, no sand in or out

Proximity to Resource Areas: In it no machine on beach

CRITERIA FOR ADMINISTRATIVE REVIEW (AR) PERMITS

Vegetation Projects:

- No removal of vegetation within any inland or coastal wetland resource.
- No uprooting of vegetation.
- No mowing to the ground or clear cutting.
- Any proposed tree removal is demonstrated to be necessary, e.g., to protect existing structures, public safety, traffic visibility, etc.
- Mitigation may be required, i.e., an area to be planted with native species of trees or shrubs.
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- No construction within any wetland resource except for minimal projects with the consent of the Conservation Agent.
- Any proposed new construction is more than 50' from the edge of resource area.
- No excavation by machinery is required or proposed.
- Foundation for structure shall be concrete blocks, sono tubes, diamond piers
- Repairs or replacement of existing structures remain within the same footprint.
- New structures must be less than 160 square feet.
- Only minimal projects such as biomimicry, sand nourishment, beach grass and planting of native species shall be allowed under this permit

Procedure:

- The fee shall be submitted with the Administrative Review Application.
- The Agent shall conduct a site visit, at which time the proposed project must be clearly defined in the field with stakes. Trees shall be flagged.

SEP 10 2024

To the conservation commission and agent,

We need to replace the middle whaler on seawall at 490 shore road N Truro. No machines on the beach are needed, no sand will be removed or added to site. We will dig down from property side of wall to attach through bolts to new whalers. 3 to 4 sections will be replaced on middle whaler. I expect Cape Cod Construction to do the work. I am asking for administrative review to permit said work.

Thank You, Chuck Silva

CS 9/9/24



SEP 17 2024

PERMIT #

2024-36



TOWN OF TRURO

Conservation Commission

24 Town Hall Road
P.O. Box 2030, Truro MA 02666

PAID
222416

APPLICATION FOR ADMINISTRATIVE REVIEW PERMIT

PERMIT FEE \$20

Applicant Name: E. F. WINSLOW Telephone: [REDACTED]
Email address: KEN KEM @ EFWINSLOW.COM
Owner Name: SUZANNE SMITH Telephone: [REDACTED]
(If the applicant is not the owner of the property, written consent to the work MUST be attached to this Application.)
Address of subject property: 510 SHORE RD UNIT A Map: 5901 Parcel: 7-9-A
Description of proposed work: Raise SHORE
NO WALL
Proximity to Resource Areas: BEACH

CRITERIA FOR ADMINISTRATIVE REVIEW (AR) PERMITS

Vegetation Projects:

- No removal of vegetation within any inland or coastal wetland resource.
- No uprooting of vegetation.
- No mowing to the ground or clear cutting.
- Any proposed tree removal is demonstrated to be necessary, e.g., to protect existing structures, public safety, traffic visibility, etc.
- Mitigation may be required, i.e., an area to be planted with native species of trees or shrubs.
- Trees for removal must be tagged for inspection.
- No excavation by machinery is required or proposed.

Sheds and Other Construction Projects:

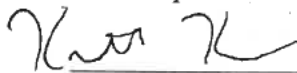
- No construction within any wetland resource except for minimal projects with the consent of the Conservation Agent.
- Any proposed new construction is more than 50' from the edge of resource area.
- No excavation by machinery is required or proposed.
- Foundation for structure shall be concrete blocks, sono tubes, diamond piers
- Repairs or replacement of existing structures remain within the same footprint.
- New structures must be less than 160 square feet.
- Only minimal projects such as biomimicry, sand nourishment, beach grass and planting of native species shall be allowed under this permit

Procedure:

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- The Agent shall conduct a site visit, at which time the proposed project must be clearly defined in the field with stakes. Trees shall be flagged.

- If the Agent determines that all of the conditions of this Policy are met, the Agent may approve the Application. If the conditions of this policy are not met; the application is incomplete; or the field ID is inadequate the application is denied.
- **If the Agent approves the application, such approval must be ratified by the Truro Conservation Commission prior to the issuance of this permit and prior to the commencement of any work.**
- Any Property Owner, contractor or other agent of the owner performing any work pursuant to an Administrative Review permit shall have a copy of the permit available at the site at all times during the period that the work is being performed.
- Upon approval and ratification by the Commission, an Administrative Permit shall issue.
- The applicant shall notify the Commission prior to the start of the work, and must complete the work within thirty (30) days of issuance of the permit, unless otherwise permitted by the Commission.
- The Conservation Agent shall inspect the property to verify that the work completed is within the scope of the Approved Application.
- Any work beyond the scope of the approved Administrative Review shall be subject to enforcement action.
- NOTE: Use of town property for beach access or staging of construction materials requires a permit issued by the Board of Selectmen.

By signing this permit application, you are acknowledging that you have read and understand the terms as stated herein. You are also aware that no work shall go forward until the permit has been issued by the Conservation Commission.



(Signature of Applicant)

9/13/24

(Date)

FOR OFFICE USE ONLY:

Agent's Comments _____

Site Inspection Date: 9/17/2024 Application Approved: ☒ Yes ☐ No

Conservation Commission Review: Meeting Date: 10/7/24 Permit Approved: ☐ Yes ☐ No
Conditions: _____

Signature of Commission Chair or Agent: _____ Date: _____

SEP 16 2024

PERMIT # 2024-35



TOWN OF TRURO

Conservation Commission

24 Town Hall Road
P.O. Box 2030, Truro MA 02666

APPLICATION FOR ADMINISTRATIVE REVIEW PERMIT

PERMIT FEE \$20

Applicant Name: Sara Sherlock Telephone: [REDACTED]

Email address: [REDACTED]

Owner Name: Susan Sherlock Telephone: [REDACTED]

(If the applicant is not the owner of the property, written consent to the work MUST be attached to this Application.)

Address of subject property: 472 Shore Road Map: 8 Parcel: 008-027-008

Description of proposed work:

Beach nourishment - Per Noons estimate 40yd of sand to be placed on the length of property seawall (street side).

Proximity to Resource Areas:

CRITERIA FOR ADMINISTRATIVE REVIEW (AR) PERMITS

Vegetation Projects:

- No removal of vegetation within any inland or coastal wetland resource.
- No uprooting of vegetation.
- No mowing to the ground or clear cutting.
- Any proposed tree removal is demonstrated to be necessary, e.g., to protect existing structures, public safety, traffic visibility, etc.
- Mitigation may be required, i.e., an area to be planted with native species of trees or shrubs.
- Trees for removal must be tagged for inspection.
- No excavation by machinery is required or proposed.

Sheds and Other Construction Projects:

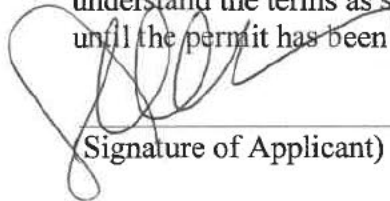
- No construction *within* any wetland resource except for minimal projects with the consent of the Conservation Agent.
- Any proposed new construction is more than 50' from the edge of resource area.
- No excavation by machinery is required or proposed.
- Foundation for structure shall be concrete blocks, sono tubes, diamond piers
- Repairs or replacement of existing structures remain within the same footprint.
- New structures must be less than 160 square feet.
- Only minimal projects such as biomimicry, sand nourishment, beach grass and planting of native species shall be allowed under this permit

Procedure:

- The fee shall be submitted with the Administrative Review Application.
- The Agent shall conduct a site visit, at which time the proposed project must be clearly defined in the field with stakes. Trees shall be flagged.

- If the Agent determines that all of the conditions of this Policy are met, the Agent may approve the Application. If the conditions of this policy are not met; the application is incomplete; or the field ID is inadequate the application is denied.
- **If the Agent approves the application, such approval must be ratified by the Truro Conservation Commission prior to the issuance of this permit and prior to the commencement of any work.**
- Any Property Owner, contractor or other agent of the owner performing any work pursuant to an Administrative Review permit shall have a copy of the permit available at the site at all times during the period that the work is being performed.
- Upon approval and ratification by the Commission, an Administrative Permit shall issue.
- The applicant shall notify the Commission prior to the start of the work, and must complete the work within thirty (30) days of issuance of the permit, unless otherwise permitted by the Commission.
- The Conservation Agent shall inspect the property to verify that the work completed is within the scope of the Approved Application.
- Any work beyond the scope of the approved Administrative Review shall be subject to enforcement action.
- NOTE: Use of town property for beach access or staging of construction materials requires a permit issued by the Board of Selectmen.

By signing this permit application, you are acknowledging that you have read and understand the terms as stated herein. You are also aware that no work shall go forward until the permit has been issued by the Conservation Commission.

 9/10/24
 Signature of Applicant (Date)

FOR OFFICE USE ONLY:

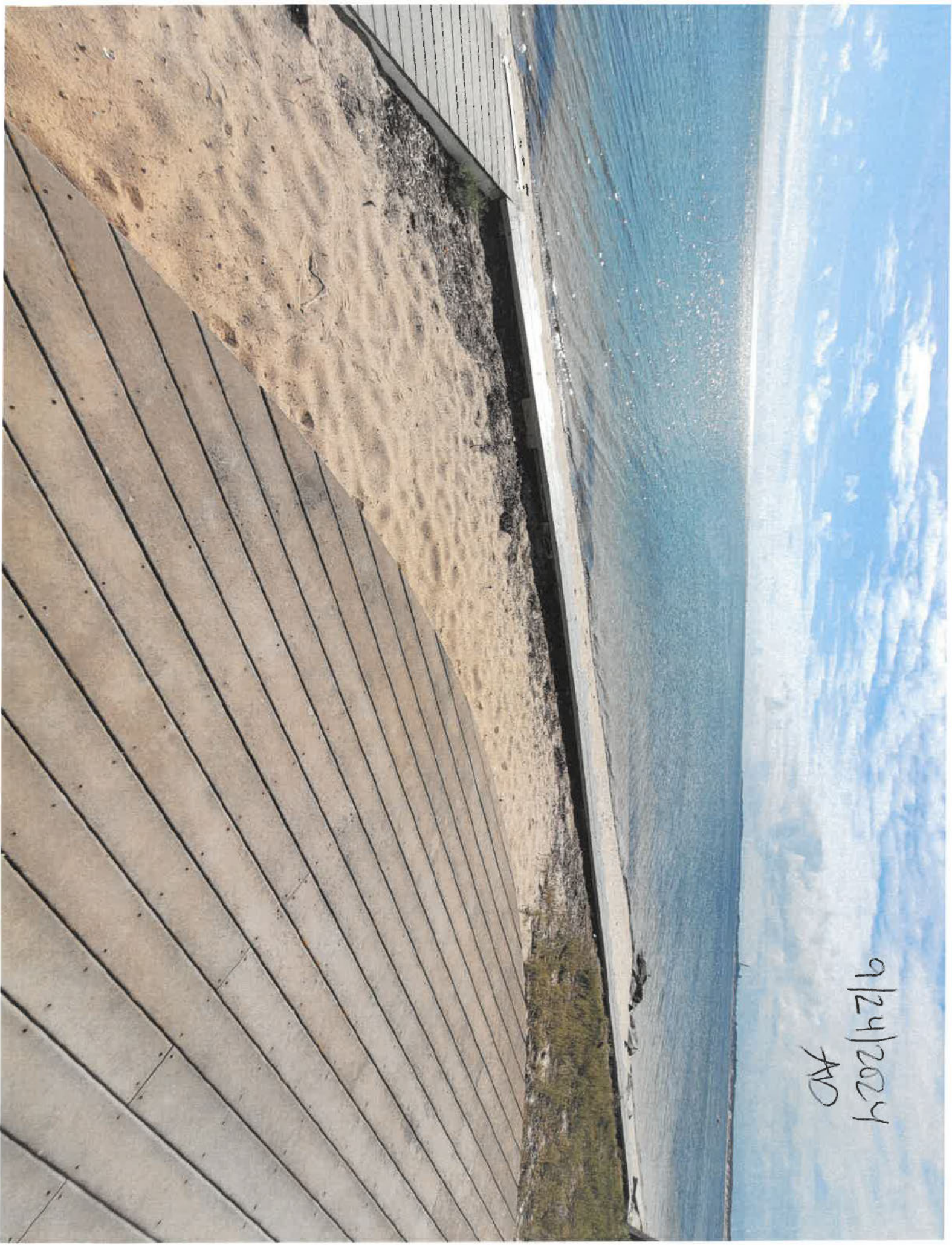
Agent's Comments: see photos. AD

Site Inspection Date: 9/24/24 Application Approved: ☒ Yes ☐ No

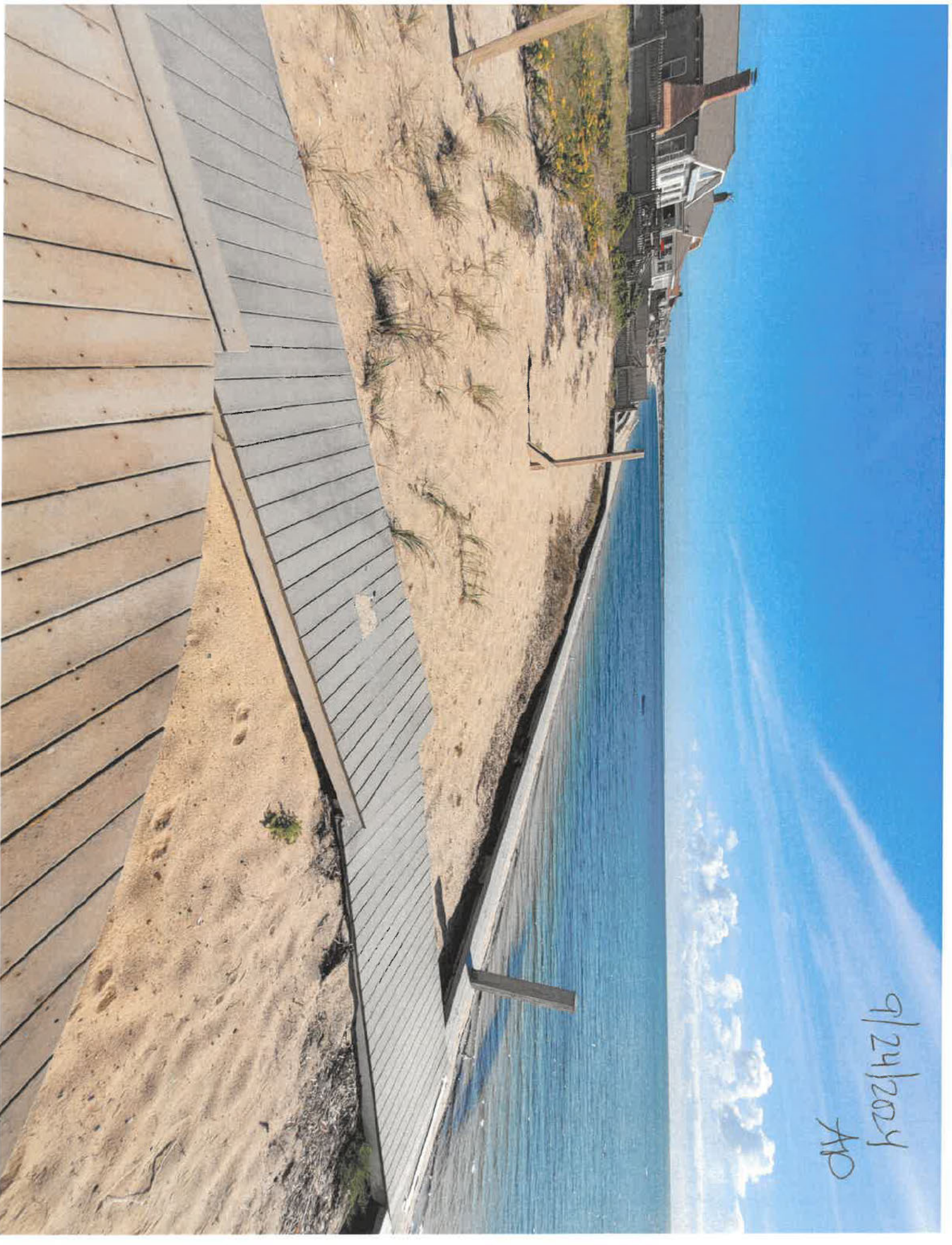
Conservation Commission Review: Meeting Date: 10/7/2024 Permit Approved: ☐ Yes ☐ No
 Conditions: _____

Signature of Commission Chair or Agent: _____ Date: _____

9/24/2024
AD



9/24/2024
AP



PERMIT # 2024-37



TOWN OF TRURO

Conservation Commission

24 Town Hall Road
P.O. Box 2030, Truro MA 02666

PAID
1034

Conservation Commission
TOWN OF TRURO

SEP 24 2024

APPLICATION FOR ADMINISTRATIVE REVIEW PERMIT

PERMIT FEE \$20

Applicant Name: Nick Crawford Telephone: [REDACTED]

Email address: nick@crawfordLM.com

Owner Name: Brian Uy and Doriot Kim Telephone:

(If the applicant is not the owner of the property, written consent to the work MUST be attached to this Application.)

Address of subject property: 25 Bay View Road Map: 39 Parcel: 45

Description of proposed work: Beach nourishment of approximately 130' of shoreline with 65 yards of compatible sand from approved source NOONS via Cold Storage parking area to the North via front end loader all tracks to be smooth out everyday. Clean-up of parking area upon completion.

Proximity to Resource Areas: on coastal beach, 50', 100'

CRITERIA FOR ADMINISTRATIVE REVIEW (AR) PERMITS

Vegetation Projects:

- No removal of vegetation within any inland or coastal wetland resource.
- No uprooting of vegetation.
- No mowing to the ground or clear cutting.
- Any proposed tree removal is demonstrated to be necessary, e.g., to protect existing structures, public safety, traffic visibility, etc.
- Mitigation may be required, i.e., an area to be planted with native species of trees or shrubs.
- Trees for removal must be tagged for inspection.
- No excavation by machinery is required or proposed.

Sheds and Other Construction Projects:

- No construction *within* any wetland resource except for minimal projects with the consent of the Conservation Agent.
- Any proposed new construction is more than 50' from the edge of resource area.
- No excavation by machinery is required or proposed.
- Foundation for structure shall be concrete blocks, sono tubes, diamond piers
- Repairs or replacement of existing structures remain within the same footprint.
- New structures must be less than 160 square feet.
- Only minimal projects such as biomimicry, sand nourishment, beach grass and planting of native species shall be allowed under this permit

Procedure:

- The fee shall be submitted with the Administrative Review Application.
- The Agent shall conduct a site visit, at which time the proposed project must be clearly defined in the field with stakes. Trees shall be flagged.

- If the Agent determines that all of the conditions of this Policy are met, the Agent may approve the Application. If the conditions of this policy are not met; the application is incomplete; or the field ID is inadequate the application is denied.
- **If the Agent approves the application, such approval must be ratified by the Truro Conservation Commission prior to the issuance of this permit and prior to the commencement of any work.**
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- The applicant shall notify the Commission prior to the start of the work, and must complete the work within thirty (30) days of issuance of the permit, unless otherwise permitted by the Commission.
- The Conservation Agent shall inspect the property to verify that the work completed is within the scope of the Approved Application.
- Any work beyond the scope of the approved Administrative Review shall be subject to enforcement action.
- NOTE: Use of town property for beach access or staging of construction materials requires a permit issued by the Board of Selectmen.

By signing this permit application, you are acknowledging that you have read and understand the terms as stated herein. You are also aware that no work shall go forward until the permit has been issued by the Conservation Commission.

(Signature of Applicant)

(Date)

FOR OFFICE USE ONLY:

Agent's Comments _____

Site Inspection Date: 10/3/24 Application Approved: ☒ Yes ☐ No

Conservation Commission Review: Meeting Date: 10/7/2024 Permit Approved: ☐ Yes ☐ No
Conditions: _____

Signature of Commission Chair or Agent: _____

Date: _____



September 23, 2024

Truro Conservation Commission
Attn: Emily Beebe, Conservation Agent
Town of Truro
24 Town Hall Road
Truro, MA 02666

Re: Administrative Review Application(s)

Project Location: 25 Bay View Rd, Truro, MA 02666

Dear Ms. Beebe and Conservation Commissioners,

Crawford Land Management (CLM) respectfully submits the following additional information for review regarding Administrative Review applications submitted for beach nourishment at _____.

The nourishment is proposed to take place from the Cold Storage parking area at the end of Pond Road. It would be the intent that the parking area be the temporary staging area to complete the proposed work included in this Administrative Review (attached).

Prior to using Cold Storage parking area CLM would seek all necessary approvals and provide necessary; bond, insurance, before photos, etc. Parking area would be kept in good condition during the project, and cleaned up to a pre-work condition upon completion of the nourishment work.

The Cold Storage parking area would be used for the delivery of compatible beach sand for beach nourishment. The equipment to be used in the nourishment process would consist of a front end loader (w aired down tires), tracked skid steer, and mini excavator in order to get sand behind existing drift fences as needed. All equipment on site to be in good working condition with no leaks, etc. Upon completion of work each day tracks on the beach to be back dragged and smoothed out. Beach would be left in pre-work conditions upon completion.

Total volume of beach nourishment for 25 Bay View Rd. to include 65 cyds.

If you should have any questions, please don't hesitate to contact me at nick@crawfordlm.com or (508) 477-1346.

Respectfully,

Nick Crawford, CERP
Founder Operator, CRAWFORD LAND MANAGEMENT

PERMIT # 2024-38



TOWN OF TRURO

Conservation Commission

24 Town Hall Road
P.O. Box 2030, Truro MA 02666

Conservation Commission
TOWN OF TRURO

SEP 24 2024

APPLICATION FOR ADMINISTRATIVE REVIEW PERMIT

PERMIT FEE \$20

PAID
1033

Applicant Name: Nick Crawford Telephone: [REDACTED]

Email address: nick@crawfordLM.com

Owner Name: Steve Corkin Telephone:

(If the applicant is not the owner of the property, written consent to the work MUST be attached to this Application.)

Address of subject property: 1 Merryfield Path Map: 39 Parcel: 36

Description of proposed work: Beach nourishment of approximately 130' of shoreline with 65 yards of compatible sand from approved source NOONS via Cold Storage parking area to the North via front end loader all tracks to be smooth out everyday. Clean-up of parking area upon completion.

Proximity to Resource Areas: on coastal beach, 50', 100'

CRITERIA FOR ADMINISTRATIVE REVIEW (AR) PERMITS

Vegetation Projects:

- No removal of vegetation within any inland or coastal wetland resource.
- No uprooting of vegetation.
- No mowing to the ground or clear cutting.
- Any proposed tree removal is demonstrated to be necessary, e.g., to protect existing structures, public safety, traffic visibility, etc.
- Mitigation may be required, i.e., an area to be planted with native species of trees or shrubs.
- Trees for removal must be tagged for inspection.
- No excavation by machinery is required or proposed.

Sheds and Other Construction Projects:

- No construction *within* any wetland resource except for minimal projects with the consent of the Conservation Agent.
- Any proposed new construction is more than 50' from the edge of resource area.
- No excavation by machinery is required or proposed.
- Foundation for structure shall be concrete blocks, sono tubes, diamond piers
- Repairs or replacement of existing structures remain within the same footprint.
- New structures must be less than 160 square feet.
- Only minimal projects such as biomimicry, sand nourishment, beach grass and planting of native species shall be allowed under this permit

Procedure:

- The fee shall be submitted with the Administrative Review Application.
- The Agent shall conduct a site visit, at which time the proposed project must be clearly defined in the field with stakes. Trees shall be flagged.

- If the Agent determines that all of the conditions of this Policy are met, the Agent may approve the Application. If the conditions of this policy are not met; the application is incomplete; or the field ID is inadequate the application is denied.
- **If the Agent approves the application, such approval must be ratified by the Truro Conservation Commission prior to the issuance of this permit and prior to the commencement of any work.**
- Any Property Owner, contractor or other agent of the owner performing any work pursuant to an Administrative Review permit shall have a copy of the permit available at the site at all times during the period that the work is being performed.
- Upon approval and ratification by the Commission, an Administrative Permit shall issue.
- The applicant shall notify the Commission prior to the start of the work, and must complete the work within thirty (30) days of issuance of the permit, unless otherwise permitted by the Commission.
- The Conservation Agent shall inspect the property to verify that the work completed is within the scope of the Approved Application.
- Any work beyond the scope of the approved Administrative Review shall be subject to enforcement action.
- NOTE: Use of town property for beach access or staging of construction materials requires a permit issued by the Board of Selectmen.

By signing this permit application, you are acknowledging that you have read and understand the terms as stated herein. You are also aware that no work shall go forward until the permit has been issued by the Conservation Commission.


(Signature of Applicant)

(Date)

FOR OFFICE USE ONLY:

Agent's Comments _____

Site Inspection Date: 10/3/24 Application Approved: ☒ Yes ☐ No

Conservation Commission Review: Meeting Date: 10/7/2024 Permit Approved: ☐ Yes ☐ No
Conditions: _____

Signature of Commission Chair or Agent: _____ Date: _____



September 23, 2024

Truro Conservation Commission
Attn: Emily Beebe, Conservation Agent
Town of Truro
24 Town Hall Road
Truro, MA 02666

Re: Administrative Review Application(s)

Project Location: 1 Merryfield path, Truro, MA 02666

Dear Ms. Beebe and Conservation Commissioners,

Crawford Land Management (CLM) respectfully submits the following additional information for review regarding Administrative Review applications submitted for beach nourishment at 1 Merryfield path.

The nourishment is proposed to take place from the Cold Storage parking area at the end of Pond Road. It would be the intent that the parking area be the temporary staging area to complete the proposed work included in this Administrative Review (attached).

Prior to using Cold Storage parking area CLM would seek all necessary approvals and provide necessary; bond, insurance, before photos, etc. Parking area would be kept in good condition during the project, and cleaned up to a pre-work condition upon completion of the nourishment work.

The Cold Storage parking area would be used for the delivery of compatible beach sand for beach nourishment. The equipment to be used in the nourishment process would consist of a front end loader (w aired down tires), tracked skid steer, and mini excavator in order to get sand behind existing drift fences as needed. All equipment on site to be in good working condition with no leaks, etc. Upon completion of work each day tracks on the beach to be back dragged and smoothed out. Beach would be left in pre-work conditions upon completion.

Total volume of beach nourishment for 1 Merryfield path to include 65 cyds.

If you should have any questions, please don't hesitate to contact me at nick@crawfordlm.com or (508) 477-1346.

Respectfully,

Nick Crawford, CERP
Founder Operator, CRAWFORD LAND MANAGEMENT

PERMIT # 2024-39



TOWN OF TRURO

Conservation Commission

24 Town Hall Road
P.O. Box 2030, Truro MA 02666

PAIL
1032

Conservation Commission
TOWN OF TRURO

SEP 24 2024

APPLICATION FOR ADMINISTRATIVE REVIEW PERMIT

PERMIT FEE \$20

Applicant Name: Nick Crawford Telephone: [REDACTED]

Email address: nick@crawfordLM.com

Owner Name: Jack and Deb Bessemer Telephone:

(If the applicant is not the owner of the property, written consent to the work MUST be attached to this Application.)

Address of subject property: 24 Bay View Road Map: 39 Parcel: 109

Description of proposed work: Beach nourishment of approximately 10' of shoreline with 5 yards of compatible sand from approved source NOONS via Cold Storage parking area to the beach via front end loader all tracks to be smooth out everyday. Clean up of parking area upon completion.

Proximity to Resource Areas: on coastal beach, 50', 100'

CRITERIA FOR ADMINISTRATIVE REVIEW (AR) PERMITS

Vegetation Projects:

- No removal of vegetation within any inland or coastal wetland resource.
- No uprooting of vegetation.
- No mowing to the ground or clear cutting.
- Any proposed tree removal is demonstrated to be necessary, e.g., to protect existing structures, public safety, traffic visibility, etc.
- Mitigation may be required, i.e., an area to be planted with native species of trees or shrubs.
- Trees for removal must be tagged for inspection.
- No excavation by machinery is required or proposed.

Sheds and Other Construction Projects:

- No construction within any wetland resource except for minimal projects with the consent of the Conservation Agent.
- Any proposed new construction is more than 50' from the edge of resource area.
- No excavation by machinery is required or proposed.
- Foundation for structure shall be concrete blocks, sonotubes, diamond piers
- Repairs or replacement of existing structures remain within the same footprint.
- New structures must be less than 160 square feet.
- Only minimal projects such as biomimicry, sand nourishment, beach grass and planting of native species shall be allowed under this permit

Procedure:

- The fee shall be submitted with the Administrative Review Application.
- The Agent shall conduct a site visit, at which time the proposed project must be clearly defined in the field with stakes. Trees shall be flagged.

- If the Agent determines that all of the conditions of this Policy are met, the Agent may approve the Application. If the conditions of this policy are not met; the application is incomplete; or the field ID is inadequate the application is denied.
- **If the Agent approves the application, such approval must be ratified by the Truro Conservation Commission prior to the issuance of this permit and prior to the commencement of any work.**
- Any Property Owner, contractor or other agent of the owner performing any work pursuant to an Administrative Review permit shall have a copy of the permit available at the site at all times during the period that the work is being performed.
- Upon approval and ratification by the Commission, an Administrative Permit shall issue.
- The applicant shall notify the Commission prior to the start of the work, and must complete the work within thirty (30) days of issuance of the permit, unless otherwise permitted by the Commission.
- The Conservation Agent shall inspect the property to verify that the work completed is within the scope of the Approved Application.
- Any work beyond the scope of the approved Administrative Review shall be subject to enforcement action.
- NOTE: Use of town property for beach access or staging of construction materials requires a permit issued by the Board of Selectmen.

By signing this permit application, you are acknowledging that you have read and understand the terms as stated herein. You are also aware that no work shall go forward until the permit has been issued by the Conservation Commission.

(Signature of Applicant)

(Date)

FOR OFFICE USE ONLY:

Agent's Comments _____

Site Inspection Date: 10/3/24 Application Approved: ☒ Yes ☐ No

Conservation Commission Review: Meeting Date: 10/7/2024 Permit Approved: ☐ Yes ☐ No
Conditions: _____

Signature of Commission Chair or Agent: _____ Date: _____



CRAWFORD
LAND MANAGEMENT

CALL (508) 477-1346
EMAIL info@crawfordlm.com
MAIL 88 Route 6A, Unit 2B | Sandwich, MA 02563

September 23, 2024

Truro Conservation Commission
Attn: Emily Beebe, Conservation Agent
Town of Truro
24 Town Hall Road
Truro, MA 02666

Re: Administrative Review Application(s)

Project Location: , Truro, MA 02666

Dear Ms. Beebe and Conservation Commissioners,

Crawford Land Management (CLM) respectfully submits the following additional information for review regarding Administrative Review applications submitted for beach nourishment at

~~24 Bay View Rd~~ → 0 Bay View Rd

The nourishment is proposed to take place from the Cold Storage parking area at the end of Pond Road. It would be the intent that the parking area be the temporary staging area to complete the proposed work included in this Administrative Review (attached).

Prior to using Cold Storage parking area CLM would seek all necessary approvals and provide necessary; bond, insurance, before photos, etc. Parking area would be kept in good condition during the project, and cleaned up to a pre-work condition upon completion of the nourishment work.

The Cold Storage parking area would be used for the delivery of compatible beach sand for beach nourishment. The equipment to be used in the nourishment process would consist of a front end loader (w aired down tires), tracked skid steer, and mini excavator in order to get sand behind existing drift fences as needed. All equipment on site to be in good working condition with no leaks, etc. Upon completion of work each day tracks on the beach to be back dragged and smoothed out. Beach would be left in pre-work conditions upon completion.

Total volume of beach nourishment for ⁰~~24 Bay View Rd~~ to include ⁵ cyds.

If you should have any questions, please don't hesitate to contact me at nick@crawfordlm.com or (508) 477-1346.

Respectfully,

Nick Crawford, CERP
Founder Operator, CRAWFORD LAND MANAGEMENT



TOWN OF TRURO

Conservation Commission

24 Town Hall Road
P.O. Box 2030, Truro MA 02666

PERMIT # 2024-40

PAID
1031

Conservation Commission
TOWN OF TRURO

SEP 24 2024

APPLICATION FOR ADMINISTRATIVE REVIEW PERMIT

PERMIT FEE \$20

Applicant Name: Nick Crawford

Telephone: [REDACTED]

Email address: nick@crawfordLM.com

Owner Name: Anastasia Song and Susan Flanagan

Telephone: [REDACTED]

(If the applicant is not the owner of the property, written consent to the work MUST be attached to this Application.)

Address of subject property: 17 Bay View Road

Map: 39

Parcel: 233

Description of proposed work: Beach nourishment of approximately 100' of shoreline with 50 yards of compatible sand from approved source NOONS via Cold Storage parking area to the North via front end loader all tracks to be smooth out everyday. Clean-up of parking area upon completion.

Proximity to Resource Areas: on coastal beach, 50', 100'

CRITERIA FOR ADMINISTRATIVE REVIEW (AR) PERMITS

Vegetation Projects:

- No removal of vegetation within any inland or coastal wetland resource.
- No uprooting of vegetation.
- No mowing to the ground or clear cutting.
- Any proposed tree removal is demonstrated to be necessary, e.g., to protect existing structures, public safety, traffic visibility, etc.
- Mitigation may be required, i.e., an area to be planted with native species of trees or shrubs.
- Trees for removal must be tagged for inspection.
- No excavation by machinery is required or proposed.

Sheds and Other Construction Projects:

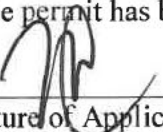
- No construction within any wetland resource except for minimal projects with the consent of the Conservation Agent.
- Any proposed new construction is more than 50' from the edge of resource area.
- No excavation by machinery is required or proposed.
- Foundation for structure shall be concrete blocks, sono tubes, diamond piers
- Repairs or replacement of existing structures remain within the same footprint.
- New structures must be less than 160 square feet.
- Only minimal projects such as biomimicry, sand nourishment, beach grass and planting of native species shall be allowed under this permit

Procedure:

- The fee shall be submitted with the Administrative Review Application.
- The Agent shall conduct a site visit, at which time the proposed project must be clearly defined in the field with stakes. Trees shall be flagged.

- If the Agent determines that all of the conditions of this Policy are met, the Agent may approve the Application. If the conditions of this policy are not met; the application is incomplete; or the field ID is inadequate the application is denied.
- **If the Agent approves the application, such approval must be ratified by the Truro Conservation Commission prior to the issuance of this permit and prior to the commencement of any work.**
- Any Property Owner, contractor or other agent of the owner performing any work pursuant to an Administrative Review permit shall have a copy of the permit available at the site at all times during the period that the work is being performed.
- Upon approval and ratification by the Commission, an Administrative Permit shall issue.
- The applicant shall notify the Commission prior to the start of the work, and must complete the work within thirty (30) days of issuance of the permit, unless otherwise permitted by the Commission.
- The Conservation Agent shall inspect the property to verify that the work completed is within the scope of the Approved Application.
- Any work beyond the scope of the approved Administrative Review shall be subject to enforcement action.
- NOTE: Use of town property for beach access or staging of construction materials requires a permit issued by the Board of Selectmen.

By signing this permit application, you are acknowledging that you have read and understand the terms as stated herein. You are also aware that no work shall go forward until the permit has been issued by the Conservation Commission.


 (Signature of Applicant)

9/23/24
 (Date)

FOR OFFICE USE ONLY:

Agent's Comments _____

Site Inspection Date: 10/3/24 Application Approved: ☒ Yes ☐ No

Conservation Commission Review: Meeting Date: 10/7/2024 Permit Approved: ☐ Yes ☐ No
 Conditions: _____

Signature of Commission Chair or Agent: _____ Date: _____



CRAWFORD
LAND MANAGEMENT

CALL (508) 477-1346
EMAIL info@crawfordlm.com
MAIL 88 Route 6A, Unit 2B | Sandwich, MA 02563

September 23, 2024

Truro Conservation Commission
Attn: Emily Beebe, Conservation Agent
Town of Truro
24 Town Hall Road
Truro, MA 02666

Re: Administrative Review Application(s)

Project Location: 17 Bayview Rd, Truro, MA 02666

Dear Ms. Beebe and Conservation Commissioners,

Crawford Land Management (CLM) respectfully submits the following additional information for review regarding Administrative Review applications submitted for beach nourishment at 17 Bayview Rd.


The nourishment is proposed to take place from the Cold Storage parking area at the end of Pond Road. It would be the intent that the parking area be the temporary staging area to complete the proposed work included in this Administrative Review (attached).

Prior to using Cold Storage parking area CLM would seek all necessary approvals and provide necessary; bond, insurance, before photos, etc. Parking area would be kept in good condition during the project, and cleaned up to a pre-work condition upon completion of the nourishment work.

The Cold Storage parking area would be used for the delivery of compatible beach sand for beach nourishment. The equipment to be used in the nourishment process would consist of a front end loader (w aired down tires), tracked skid steer, and mini excavator in order to get sand behind existing drift fences as needed. All equipment on site to be in good working condition with no leaks, etc. Upon completion of work each day tracks on the beach to be back dragged and smoothed out. Beach would be left in pre-work conditions upon completion.

Total volume of beach nourishment for 17 Bayview Rd to include 50 cyds.

If you should have any questions, please don't hesitate to contact me at nick@crawfordlm.com or (508) 477-1346.

Respectfully, 

Nick Crawford, CERP
Founder Operator, CRAWFORD LAND MANAGEMENT

PERMIT # 2024-41



TOWN OF TRURO

Conservation Commission

24 Town Hall Road
P.O. Box 2030, Truro MA 02666

PAID
1030

Conservation Commission
TOWN OF TRURO

SEP 24 2024

APPLICATION FOR ADMINISTRATIVE REVIEW PERMIT

PERMIT FEE \$20

Applicant Name: Nick Crawford Telephone: [REDACTED]

Email address: nick@crawfordLM.com

Owner Name: Jil Clark Telephone:

(If the applicant is not the owner of the property, written consent to the work MUST be attached to this Application.)

Address of subject property: 29 Bay View Road Map: 39 Parcel: 50

Description of proposed work: Beach nourishment of approximately 130' of shoreline with 65 yards of compatible sand from approved source NOONS via Cold Storage parking area to the North via front end loader all tracks to be smooth out everyday. Clean-up of parking area upon completion.

Proximity to Resource Areas: on coastal beach, 50', 100'

CRITERIA FOR ADMINISTRATIVE REVIEW (AR) PERMITS

Vegetation Projects:

- No removal of vegetation within any inland or coastal wetland resource.
- No uprooting of vegetation.
- No mowing to the ground or clear cutting.
- Any proposed tree removal is demonstrated to be necessary, e.g., to protect existing structures, public safety, traffic visibility, etc.
- Mitigation may be required, i.e., an area to be planted with native species of trees or shrubs.
- Trees for removal must be tagged for inspection.
- No excavation by machinery is required or proposed.

Sheds and Other Construction Projects:

- No construction *within* any wetland resource except for minimal projects with the consent of the Conservation Agent.
- Any proposed new construction is more than 50' from the edge of resource area.
- No excavation by machinery is required or proposed.
- Foundation for structure shall be concrete blocks, sono tubes, diamond piers
- Repairs or replacement of existing structures remain within the same footprint.
- New structures must be less than 160 square feet.
- Only minimal projects such as biomimicry, sand nourishment, beach grass and planting of native species shall be allowed under this permit

Procedure:

- The fee shall be submitted with the Administrative Review Application.
- The Agent shall conduct a site visit, at which time the proposed project must be clearly defined in the field with stakes. Trees shall be flagged.

- If the Agent determines that all of the conditions of this Policy are met, the Agent may approve the Application. If the conditions of this policy are not met; the application is incomplete; or the field ID is inadequate the application is denied.
- **If the Agent approves the application, such approval must be ratified by the Truro Conservation Commission prior to the issuance of this permit and prior to the commencement of any work.**
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- The Conservation Agent shall inspect the property to verify that the work completed is within the scope of the Approved Application.
- Any work beyond the scope of the approved Administrative Review shall be subject to enforcement action.
- NOTE: Use of town property for beach access or staging of construction materials requires a permit issued by the Board of Selectmen.

By signing this permit application, you are acknowledging that you have read and understand the terms as stated herein. You are also aware that no work shall go forward until the permit has been issued by the Conservation Commission.

(Signature of Applicant)

(Date)

FOR OFFICE USE ONLY:

Agent's Comments _____

Site Inspection Date: 10/3/24 Application Approved: ☒ Yes ☐ No

Conservation Commission Review: Meeting Date: 10/7/2024 Permit Approved: ☐ Yes ☐ No
Conditions: _____

Signature of Commission Chair or Agent: _____ Date: _____



September 23, 2024

Truro Conservation Commission
Attn: Emily Beebe, Conservation Agent
Town of Truro
24 Town Hall Road
Truro, MA 02666

Re: Administrative Review Application(s)

Project Location: 29 Bay View Rd, Truro, MA 02666

Dear Ms. Beebe and Conservation Commissioners,

Crawford Land Management (CLM) respectfully submits the following additional information for review regarding Administrative Review applications submitted for beach nourishment at 29 Bay View Rd.

The nourishment is proposed to take place from the Cold Storage parking area at the end of Pond Road. It would be the intent that the parking area be the temporary staging area to complete the proposed work included in this Administrative Review (attached).

Prior to using Cold Storage parking area CLM would seek all necessary approvals and provide necessary; bond, insurance, before photos, etc. Parking area would be kept in good condition during the project, and cleaned up to a pre-work condition upon completion of the nourishment work.

The Cold Storage parking area would be used for the delivery of compatible beach sand for beach nourishment. The equipment to be used in the nourishment process would consist of a front end loader (w aired down tires), tracked skid steer, and mini excavator in order to get sand behind existing drift fences as needed. All equipment on site to be in good working condition with no leaks, etc. Upon completion of work each day tracks on the beach to be back dragged and smoothed out. Beach would be left in pre-work conditions upon completion.

Total volume of beach nourishment for 29 Bay View Rd to include 65 cyds.

If you should have any questions, please don't hesitate to contact me at nick@crawfordlm.com or (508) 477-1346.

Respectfully, 

Nick Crawford, CERP
Founder Operator, CRAWFORD LAND MANAGEMENT

PERMIT # 2024-42



TOWN OF TRURO

Conservation Commission

24 Town Hall Road
P.O. Box 2030, Truro MA 02666

PAID
1029

Conservation Commission
TOWN OF TRURO

SEP 24 2024

APPLICATION FOR ADMINISTRATIVE REVIEW PERMIT

PERMIT FEE \$20

Applicant Name: Nick Crawford Telephone: [REDACTED]

Email address: nick@crawfordLM.com

Owner Name: Lucy Karanfilian Telephone:

(If the applicant is not the owner of the property, written consent to the work MUST be attached to this Application.)

Address of subject property: 19 Bay View Road Map: 39 Parcel: 35

Description of proposed work: Beach nourishment of approximately 100' of shoreline with 50 yards of compatible sand from approved source NOONS via Cold Storage parking area to the North via front end loader all tracks to be smooth out everyday. Clean-up of parking area upon completion.

Proximity to Resource Areas: on coastal beach, 50', 100'

CRITERIA FOR ADMINISTRATIVE REVIEW (AR) PERMITS

Vegetation Projects:

- No removal of vegetation within any inland or coastal wetland resource.
- No uprooting of vegetation.
- No mowing to the ground or clear cutting.
- Any proposed tree removal is demonstrated to be necessary, e.g., to protect existing structures, public safety, traffic visibility; etc.
- Mitigation may be required, i.e., an area to be planted with native species of trees or shrubs.
- Trees for removal must be tagged for inspection.
- No excavation by machinery is required or proposed.

Sheds and Other Construction Projects:


- No construction *within* any wetland resource except for minimal projects with the consent of the Conservation Agent.
- Any proposed new construction is more than 50' from the edge of resource area.
- No excavation by machinery is required or proposed.
- Foundation for structure shall be concrete blocks, sono tubes, diamond piers
- Repairs or replacement of existing structures remain within the same footprint.
- New structures must be less than 160 square feet.
- Only minimal projects such as biomimicry, sand nourishment, beach grass and planting of native species shall be allowed under this permit

Procedure:

- The fee shall be submitted with the Administrative Review Application.
- The Agent shall conduct a site visit, at which time the proposed project must be clearly defined in the field with stakes. Trees shall be flagged.

- If the Agent determines that all of the conditions of this Policy are met, the Agent may approve the Application. If the conditions of this policy are not met; the application is incomplete; or the field ID is inadequate the application is denied.
- **If the Agent approves the application, such approval must be ratified by the Truro Conservation Commission prior to the issuance of this permit and prior to the commencement of any work.**
- Any Property Owner, contractor or other agent of the owner performing any work pursuant to an Administrative Review permit shall have a copy of the permit available at the site at all times during the period that the work is being performed.
- Upon approval and ratification by the Commission, an Administrative Permit shall issue.
- The applicant shall notify the Commission prior to the start of the work, and must complete the work within thirty (30) days of issuance of the permit, unless otherwise permitted by the Commission.
- The Conservation Agent shall inspect the property to verify that the work completed is within the scope of the Approved Application.
- Any work beyond the scope of the approved Administrative Review shall be subject to enforcement action.
- NOTE: Use of town property for beach access or staging of construction materials requires a permit issued by the Board of Selectmen.

By signing this permit application, you are acknowledging that you have read and understand the terms as stated herein. You are also aware that no work shall go forward until the permit has been issued by the Conservation Commission.

 (Signature of Applicant) 9/22/24 (Date)

FOR OFFICE USE ONLY:

Agent's Comments _____

Site Inspection Date: 10/3/24 Application Approved: ☒ Yes ☐ No

Conservation Commission Review: Meeting Date: 10/7/2024 Permit Approved: ☐ Yes ☐ No
Conditions: _____

Signature of Commission Chair or Agent: _____ Date: _____



CRAWFORD
LAND MANAGEMENT

CALL (508) 477-1346
EMAIL info@crawfordlm.com
MAIL 88 Route 6A, Unit 2B | Sandwich, MA 02563

September 23, 2024

Truro Conservation Commission
Attn: Emily Beebe, Conservation Agent
Town of Truro
24 Town Hall Road
Truro, MA 02666

Re: Administrative Review Application(s)

Project Location: 19 Bay View Rd, Truro, MA 02666

Dear Ms. Beebe and Conservation Commissioners,

Crawford Land Management (CLM) respectfully submits the following additional information for review regarding Administrative Review applications submitted for beach nourishment at 19 Bay View Road.

The nourishment is proposed to take place from the Cold Storage parking area at the end of Pond Road. It would be the intent that the parking area be the temporary staging area to complete the proposed work included in this Administrative Review (attached).

Prior to using Cold Storage parking area CLM would seek all necessary approvals and provide necessary; bond, insurance, before photos, etc. Parking area would be kept in good condition during the project, and cleaned up to a pre-work condition upon completion of the nourishment work.

The Cold Storage parking area would be used for the delivery of compatible beach sand for beach nourishment. The equipment to be used in the nourishment process would consist of a front end loader (w aired down tires), tracked skid steer, and mini excavator in order to get sand behind existing drift fences as needed. All equipment on site to be in good working condition with no leaks, etc. Upon completion of work each day tracks on the beach to be back dragged and smoothed out. Beach would be left in pre-work conditions upon completion.

Total volume of beach nourishment for 19 Bay View Rd to include 50 cyds.

If you should have any questions, please don't hesitate to contact me at nick@crawfordlm.com or (508) 477-1346.

Respectfully,

Nick Crawford, CERP
Founder Operator, CRAWFORD LAND MANAGEMENT

PERMIT # 2024-43



TOWN OF TRURO

Conservation Commission

24 Town Hall Road
P.O. Box 2030, Truro MA 02666

PAID
1028

Conservation Commission
TOWN OF TRURO

SEP 24 2024

APPLICATION FOR ADMINISTRATIVE REVIEW PERMIT

PERMIT FEE \$20

Applicant Name: Nick Crawford Telephone: [REDACTED]

Email address: nick@crawfordLM.com

Owner Name: Chris Lyons Telephone: _____

(If the applicant is not the owner of the property, written consent to the work MUST be attached to this Application.)

Address of subject property: 55 Pond Road Map: 38 Parcel: 6

Description of proposed work: Beach nourishment of approximately 50' of shoreline with 25 yards of compatible sand from approved source NOONS via Cold Storage parking area to the North via front end loader all tracks to be smooth out everyday. Clean-up of parking area upon completion.

Proximity to Resource Areas: on coastal beach, 50', 100'
South

CRITERIA FOR ADMINISTRATIVE REVIEW (AR) PERMITS

Vegetation Projects:

- No removal of vegetation within any inland or coastal wetland resource.
- No uprooting of vegetation.
- No mowing to the ground or clear cutting.
- Any proposed tree removal is demonstrated to be necessary, e.g., to protect existing structures, public safety, traffic visibility, etc.
- Mitigation may be required, i.e., an area to be planted with native species of trees or shrubs.
- Trees for removal must be tagged for inspection.
- No excavation by machinery is required or proposed.

Sheds and Other Construction Projects:


- No construction *within* any wetland resource except for minimal projects with the consent of the Conservation Agent.
- Any proposed new construction is more than 50' from the edge of resource area.
- No excavation by machinery is required or proposed.
- Foundation for structure shall be concrete blocks, sono tubes, diamond piers
- Repairs or replacement of existing structures remain within the same footprint.
- New structures must be less than 160 square feet.
- Only minimal projects such as biomimicry, sand nourishment, beach grass and planting of native species shall be allowed under this permit

Procedure:

- The fee shall be submitted with the Administrative Review Application.
- The Agent shall conduct a site visit, at which time the proposed project must be clearly defined in the field with stakes. Trees shall be flagged.

- If the Agent determines that all of the conditions of this Policy are met, the Agent may approve the Application. If the conditions of this policy are not met; the application is incomplete; or the field ID is inadequate the application is denied.
- **If the Agent approves the application, such approval must be ratified by the Truro Conservation Commission prior to the issuance of this permit and prior to the commencement of any work.**
- Any Property Owner, contractor or other agent of the owner performing any work pursuant to an Administrative Review permit shall have a copy of the permit available at the site at all times during the period that the work is being performed.
- Upon approval and ratification by the Commission, an Administrative Permit shall issue.
- The applicant shall notify the Commission prior to the start of the work, and must complete the work within thirty (30) days of issuance of the permit, unless otherwise permitted by the Commission.
- The Conservation Agent shall inspect the property to verify that the work completed is within the scope of the Approved Application.
- Any work beyond the scope of the approved Administrative Review shall be subject to enforcement action.
- NOTE: Use of town property for beach access or staging of construction materials requires a permit issued by the Board of Selectmen.

By signing this permit application, you are acknowledging that you have read and understand the terms as stated herein. You are also aware that no work shall go forward until the permit has been issued by the Conservation Commission.


(Signature of Applicant)

9/29/25
(Date)

FOR OFFICE USE ONLY:

Agent's Comments _____

Site Inspection Date: 10/3/24 Application Approved: ☒ Yes ☐ No

Conservation Commission Review: Meeting Date: 10/7/2024 Permit Approved: ☐ Yes ☐ No
Conditions: _____

Signature of Commission Chair or Agent: _____ Date: _____

September 23, 2024

Truro Conservation Commission
Attn: Emily Beebe, Conservation Agent
Town of Truro
24 Town Hall Road
Truro, MA 02666

Re: Administrative Review Application(s)

Project Location: 55 Pond Rd, Truro, MA 02666

Dear Ms. Beebe and Conservation Commissioners,

Crawford Land Management (CLM) respectfully submits the following additional information for review regarding Administrative Review applications submitted for beach nourishment at

55 Pond Rd

The nourishment is proposed to take place from the Cold Storage parking area at the end of Pond Road. It would be the intent that the parking area be the temporary staging area to complete the proposed work included in this Administrative Review (attached).

Prior to using Cold Storage parking area CLM would seek all necessary approvals and provide necessary; bond, insurance, before photos, etc. Parking area would be kept in good condition during the project, and cleaned up to a pre-work condition upon completion of the nourishment work.

The Cold Storage parking area would be used for the delivery of compatible beach sand for beach nourishment. The equipment to be used in the nourishment process would consist of a front end loader (w aired down tires), tracked skid steer, and mini excavator in order to get sand behind existing drift fences as needed. All equipment on site to be in good working condition with no leaks, etc. Upon completion of work each day tracks on the beach to be back dragged and smoothed out. Beach would be left in pre-work conditions upon completion.

Total volume of beach nourishment for 55 Pond Rd to include 25 cyds.

If you should have any questions, please don't hesitate to contact me at nick@crawfordlm.com or (508) 477-1346.

Respectfully,

A handwritten signature in black ink, appearing to be 'Nick', written over the word 'Respectfully,'.

Nick Crawford, CERP
Founder Operator, CRAWFORD LAND MANAGEMENT

PERMIT # 2024-44



TOWN OF TRURO

Conservation Commission

24 Town Hall Road
P.O. Box 2030, Truro MA 02666

PAID
1027

Conservation Commission
TOWN OF TRURO

SEP 24 2024

APPLICATION FOR ADMINISTRATIVE REVIEW PERMIT

PERMIT FEE \$20

Applicant Name: Nick Crawford Telephone: [REDACTED]

Email address: nick@crawfordLM.com

Owner Name: Sean Flynn Telephone:

(If the applicant is not the owner of the property, written consent to the work MUST be attached to this Application.)

Address of subject property: 4 Bay View Road Path Map: 39 Parcel: 28

Description of proposed work: Beach nourishment of approximately 130' of shoreline with 1/2 yards of compatible sand from approved source NOONS via Cold Storage parking area to the beach via front end loader all tracks to be smooth out everyday. Clean-up of parking area upon completion.

Proximity to Resource Areas: on coastal beach, 50', 100'
South

CRITERIA FOR ADMINISTRATIVE REVIEW (AR) PERMITS

Vegetation Projects:

- No removal of vegetation within any inland or coastal wetland resource.
- No uprooting of vegetation.
- No mowing to the ground or clear cutting.
- Any proposed tree removal is demonstrated to be necessary, e.g., to protect existing structures, public safety, traffic visibility; etc.
- Mitigation may be required, i.e., an area to be planted with native species of trees or shrubs.
- Trees for removal must be tagged for inspection.
- No excavation by machinery is required or proposed.

Sheds and Other Construction Projects:

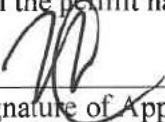
- No construction within any wetland resource except for minimal projects with the consent of the Conservation Agent.
- Any proposed new construction is more than 50' from the edge of resource area.
- No excavation by machinery is required or proposed.
- Foundation for structure shall be concrete blocks, sonotubes, diamond piers
- Repairs or replacement of existing structures remain within the same footprint.
- New structures must be less than 160 square feet.
- Only minimal projects such as biomimicry, sand nourishment, beach grass and planting of native species shall be allowed under this permit

Procedure:

- The fee shall be submitted with the Administrative Review Application.
- The Agent shall conduct a site visit, at which time the proposed project must be clearly defined in the field with stakes. Trees shall be flagged.

- If the Agent determines that all of the conditions of this Policy are met, the Agent may approve the Application. If the conditions of this policy are not met; the application is incomplete; or the field ID is inadequate the application is denied.
- **If the Agent approves the application, such approval must be ratified by the Truro Conservation Commission prior to the issuance of this permit and prior to the commencement of any work.**
- Any Property Owner, contractor or other agent of the owner performing any work pursuant to an Administrative Review permit shall have a copy of the permit available at the site at all times during the period that the work is being performed.
- Upon approval and ratification by the Commission, an Administrative Permit shall issue.
- The applicant shall notify the Commission prior to the start of the work, and must complete the work within thirty (30) days of issuance of the permit, unless otherwise permitted by the Commission.
- The Conservation Agent shall inspect the property to verify that the work completed is within the scope of the Approved Application.
- Any work beyond the scope of the approved Administrative Review shall be subject to enforcement action.
- NOTE: Use of town property for beach access or staging of construction materials requires a permit issued by the Board of Selectmen.

By signing this permit application, you are acknowledging that you have read and understand the terms as stated herein. You are also aware that no work shall go forward until the permit has been issued by the Conservation Commission.


 (Signature of Applicant)

9/23/24
 (Date)

FOR OFFICE USE ONLY:

Agent's Comments _____

Site Inspection Date: 10/3/24 Application Approved: ☒ Yes ☐ No

Conservation Commission Review: Meeting Date: 10/7/2024 Permit Approved: ☐ Yes ☐ No
 Conditions: _____

Signature of Commission Chair or Agent: _____ Date: _____



September 23, 2024

Truro Conservation Commission
Attn: Emily Beebe, Conservation Agent
Town of Truro
24 Town Hall Road
Truro, MA 02666

Re: Administrative Review Application(s)

Project Location: 4 Bay View Rd, Truro, MA 02666

Dear Ms. Beebe and Conservation Commissioners,

Crawford Land Management (CLM) respectfully submits the following additional information for review regarding Administrative Review applications submitted for beach nourishment at 4 Bay View Rd.

The nourishment is proposed to take place from the Cold Storage parking area at the end of Pond Road. It would be the intent that the parking area be the temporary staging area to complete the proposed work included in this Administrative Review (attached).

Prior to using Cold Storage parking area CLM would seek all necessary approvals and provide necessary; bond, insurance, before photos, etc. Parking area would be kept in good condition during the project, and cleaned up to a pre-work condition upon completion of the nourishment work.

The Cold Storage parking area would be used for the delivery of compatible beach sand for beach nourishment. The equipment to be used in the nourishment process would consist of a front end loader (w aired down tires), tracked skid steer, and mini excavator in order to get sand behind existing drift fences as needed. All equipment on site to be in good working condition with no leaks, etc. Upon completion of work each day tracks on the beach to be back dragged and smoothed out. Beach would be left in pre-work conditions upon completion.

Total volume of beach nourishment for 4 Bay View Rd to include 85 cyds.

If you should have any questions, please don't hesitate to contact me at nick@crawfordlm.com or (508) 477-1346.

Respectfully,

Nick Crawford, CERP
Founder Operator, CRAWFORD LAND MANAGEMENT

PERMIT # 2024-45



TOWN OF TRURO

Conservation Commission

24 Town Hall Road
P.O. Box 2030, Truro MA 02666

PAID
1026

Conservation Commission
TOWN OF TRURO

SEP 24 2024

APPLICATION FOR ADMINISTRATIVE REVIEW PERMIT

PERMIT FEE \$20

Applicant Name: Nick Crawford Telephone: [REDACTED]

Email address: nick@crawfordLM.com

Owner Name: Matthew and Paula McCue Telephone: _____

(If the applicant is not the owner of the property, written consent to the work MUST be attached to this Application.)

Address of subject property: 23 Bay View Road Map: 39 Parcel: 311

Description of proposed work: Beach nourishment of approximately 130' of shoreline with 65 yards of compatible sand from approved source NOONS via Cold Storage parking area to the North via front end loader all tracks to be smooth out everyday. Clean-up of parking area upon completion.

Proximity to Resource Areas: on coastal beach, 50', 100'

South

CRITERIA FOR ADMINISTRATIVE REVIEW (AR) PERMITS

Vegetation Projects:

- No removal of vegetation within any inland or coastal wetland resource.
- No uprooting of vegetation.
- No mowing to the ground or clear cutting.
- Any proposed tree removal is demonstrated to be necessary, e.g., to protect existing structures, public safety, traffic visibility, etc.
- Mitigation may be required, i.e., an area to be planted with native species of trees or shrubs.
- Trees for removal must be tagged for inspection.
- No excavation by machinery is required or proposed.

Sheds and Other Construction Projects:

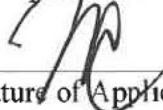
- No construction *within* any wetland resource except for minimal projects with the consent of the Conservation Agent.
- Any proposed new construction is more than 50' from the edge of resource area.
- No excavation by machinery is required or proposed.
- Foundation for structure shall be concrete blocks, sono tubes, diamond piers.
- Repairs or replacement of existing structures remain within the same footprint.
- New structures must be less than 160 square feet.
- Only minimal projects such as biomimicry, sand nourishment, beach grass and planting of native species shall be allowed under this permit

Procedure:

- The fee shall be submitted with the Administrative Review Application.
- The Agent shall conduct a site visit, at which time the proposed project must be clearly defined in the field with stakes. Trees shall be flagged.

- If the Agent determines that all of the conditions of this Policy are met, the Agent may approve the Application. If the conditions of this policy are not met; the application is incomplete; or the field ID is inadequate the application is denied.
- **If the Agent approves the application, such approval must be ratified by the Truro Conservation Commission prior to the issuance of this permit and prior to the commencement of any work.**
- Any Property Owner, contractor or other agent of the owner performing any work pursuant to an Administrative Review permit shall have a copy of the permit available at the site at all times during the period that the work is being performed.
- Upon approval and ratification by the Commission, an Administrative Permit shall issue.
- The applicant shall notify the Commission prior to the start of the work, and must complete the work within thirty (30) days of issuance of the permit, unless otherwise permitted by the Commission.
- The Conservation Agent shall inspect the property to verify that the work completed is within the scope of the Approved Application.
- Any work beyond the scope of the approved Administrative Review shall be subject to enforcement action.
- NOTE: Use of town property for beach access or staging of construction materials requires a permit issued by the Board of Selectmen.

By signing this permit application, you are acknowledging that you have read and understand the terms as stated herein. You are also aware that no work shall go forward until the permit has been issued by the Conservation Commission.


(Signature of Applicant)

9/23/24
(Date)

FOR OFFICE USE ONLY:

Agent's Comments _____

Site Inspection Date: 10/3/24 Application Approved: ☒ Yes ☐ No

Conservation Commission Review: Meeting Date: 10/7/2024 Permit Approved: ☐ Yes ☐ No
Conditions: _____

Signature of Commission Chair or Agent: _____ Date: _____



CRAWFORD
LAND MANAGEMENT

CALL (508) 477-1346
EMAIL info@crawfordlm.com
MAIL 88 Route 6A, Unit 2B | Sandwich, MA 02563

September 23, 2024

Truro Conservation Commission
Attn: Emily Beebe, Conservation Agent
Town of Truro
24 Town Hall Road
Truro, MA 02666

Re: Administrative Review Application(s)

Project Location: 23 Bay View Rd Truro, MA 02666

Dear Ms. Beebe and Conservation Commissioners,

Crawford Land Management (CLM) respectfully submits the following additional information for review regarding Administrative Review applications submitted for beach nourishment at

23 Bay View Rd.

The nourishment is proposed to take place from the Cold Storage parking area at the end of Pond Road. It would be the intent that the parking area be the temporary staging area to complete the proposed work included in this Administrative Review (attached).

Prior to using Cold Storage parking area CLM would seek all necessary approvals and provide necessary; bond, insurance, before photos, etc. Parking area would be kept in good condition during the project, and cleaned up to a pre-work condition upon completion of the nourishment work.

The Cold Storage parking area would be used for the delivery of compatible beach sand for beach nourishment. The equipment to be used in the nourishment process would consist of a front end loader (w aired down tires), tracked skid steer, and mini excavator in order to get sand behind existing drift fences as needed. All equipment on site to be in good working condition with no leaks, etc. Upon completion of work each day tracks on the beach to be back dragged and smoothed out. Beach would be left in pre-work conditions upon completion.

Total volume of beach nourishment for 23 Bay View Rd to include 65 cyds.

If you should have any questions, please don't hesitate to contact me at nick@crawfordlm.com or (508) 477-1346.

Respectfully,

Nick Crawford, CERP
Founder Operator, CRAWFORD LAND MANAGEMENT

PERMIT # 2024-46



TOWN OF TRURO

Conservation Commission

24 Town Hall Road
P.O. Box 2030, Truro MA 02666

PAID
1025

Conservation Commission
TOWN OF TRURO

SEP 24 2024

APPLICATION FOR ADMINISTRATIVE REVIEW PERMIT

PERMIT FEE \$20

Applicant Name: Nick Crawford Telephone: [REDACTED]

Email address: nick@crawfordLM.com

Owner Name: Gary and Kathy Sharpless Telephone: _____

(If the applicant is not the owner of the property, written consent to the work MUST be attached to this Application.)

Address of subject property: 2 Bay View Road Path Map: 39 Parcel: 34

Description of proposed work: Beach nourishment of approximately 100' of shoreline with 50 yards of compatible sand from approved source NOONS via Cold Storage parking area to the beach via front end loader all tracks to be smooth out everyday. Clean-up of parking area upon completion.

Proximity to Resource Areas: on coastal beach, 50', 100'

CRITERIA FOR ADMINISTRATIVE REVIEW (AR) PERMITS

Vegetation Projects:

- No removal of vegetation within any inland or coastal wetland resource.
- No uprooting of vegetation.
- No mowing to the ground or clear cutting.
- Any proposed tree removal is demonstrated to be necessary, e.g., to protect existing structures, public safety, traffic visibility, etc.
- Mitigation may be required, i.e., an area to be planted with native species of trees or shrubs.
- Trees for removal must be tagged for inspection.
- No excavation by machinery is required or proposed.

Sheds and Other Construction Projects:

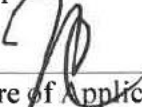
- No construction within any wetland resource except for minimal projects with the consent of the Conservation Agent.
- Any proposed new construction is more than 50' from the edge of resource area.
- No excavation by machinery is required or proposed.
- Foundation for structure shall be concrete blocks, sono tubes, diamond piers
- Repairs or replacement of existing structures remain within the same footprint.
- New structures must be less than 160 square feet.
- Only minimal projects such as biomimicry, sand nourishment, beach grass and planting of native species shall be allowed under this permit

Procedure:

- The fee shall be submitted with the Administrative Review Application.
- The Agent shall conduct a site visit, at which time the proposed project must be clearly defined in the field with stakes. Trees shall be flagged.

- If the Agent determines that all of the conditions of this Policy are met, the Agent may approve the Application. If the conditions of this policy are not met; the application is incomplete; or the field ID is inadequate the application is denied.
- **If the Agent approves the application, such approval must be ratified by the Truro Conservation Commission prior to the issuance of this permit and prior to the commencement of any work.**
- Any Property Owner, contractor or other agent of the owner performing any work pursuant to an Administrative Review permit shall have a copy of the permit available at the site at all times during the period that the work is being performed.
- Upon approval and ratification by the Commission, an Administrative Permit shall issue.
- The applicant shall notify the Commission prior to the start of the work, and must complete the work within thirty (30) days of issuance of the permit, unless otherwise permitted by the Commission.
- The Conservation Agent shall inspect the property to verify that the work completed is within the scope of the Approved Application.
- Any work beyond the scope of the approved Administrative Review shall be subject to enforcement action.
- NOTE: Use of town property for beach access or staging of construction materials requires a permit issued by the Board of Selectmen.

By signing this permit application, you are acknowledging that you have read and understand the terms as stated herein. You are also aware that no work shall go forward until the permit has been issued by the Conservation Commission.



 (Signature of Applicant)

9/13/24

 (Date)

FOR OFFICE USE ONLY:

Agent's Comments _____

Site Inspection Date: 10/3/24 Application Approved: ☒ Yes ☐ No

Conservation Commission Review: Meeting Date: 10/7/2024 Permit Approved: ☐ Yes ☐ No
 Conditions: _____

Signature of Commission Chair or Agent: _____ Date: _____



September 23, 2024

Truro Conservation Commission
Attn: Emily Beebe, Conservation Agent
Town of Truro
24 Town Hall Road
Truro, MA 02666

Re: Administrative Review Application(s)

Project Location: 2 Bay View Rd, Truro, MA 02666

Dear Ms. Beebe and Conservation Commissioners,

Crawford Land Management (CLM) respectfully submits the following additional information for review regarding Administrative Review applications submitted for beach nourishment at 2 Bay View Rd.

The nourishment is proposed to take place from the Cold Storage parking area at the end of Pond Road. It would be the intent that the parking area be the temporary staging area to complete the proposed work included in this Administrative Review (attached).

Prior to using Cold Storage parking area CLM would seek all necessary approvals and provide necessary; bond, insurance, before photos, etc. Parking area would be kept in good condition during the project, and cleaned up to a pre-work condition upon completion of the nourishment work.

The Cold Storage parking area would be used for the delivery of compatible beach sand for beach nourishment. The equipment to be used in the nourishment process would consist of a front end loader (w aired down tires), tracked skid steer, and mini excavator in order to get sand behind existing drift fences as needed. All equipment on site to be in good working condition with no leaks, etc. Upon completion of work each day tracks on the beach to be back dragged and smoothed out. Beach would be left in pre-work conditions upon completion.

Total volume of beach nourishment for 2 Bay View Rd to include 50 cyds.

If you should have any questions, please don't hesitate to contact me at nick@crawfordlm.com or (508) 477-1346.

Respectfully,

Nick Crawford, CERP
Founder Operator, CRAWFORD LAND MANAGEMENT

9-24-24

Bay View Dune Preservation Group Sand Nourishment and Planting Project

The Bay View Dune Preservation Group listed below and represent by Gary Sharpless at 2 Bay View Path, North Truro, Ma 02652 has authorized Crawford Land Management (Nick Crawford & Staff) to represent our interested with the Town of Truro Conservation and Select Board for the purposes of providing relevant information, forms, fees and attending mtgs for the proposed project of Sand Nourishment in the fall of 2024 and subsequent planting beach grass in the spring 2025 (if the sand is sufficiently still intact). This would be approximately from the Cold Storage Beach area along the beach near the beginning of Shearwater Association beach area.

Chris Lyons

[REDACTED]
55 Pond Rd (note this is a parcel on the shore line next to Cold Storage public landing with two small cottages)
Map 38 Parcel 6

Sean Flynn (& Kathy)

[REDACTED]
4 Bay View Path, North Truro, Ma 02652
Map 39, Parcel 28

Gary Sharpless (& Kathy)

[REDACTED]
2 Bay View Path, North Truro, Ma 02652
Map 39, Parcel 34

Anastasia Song d [REDACTED]
Susan Flanagan [REDACTED]
17 Bay View Rd, North Truro, Ma 02652
Map 39, Parcel 233

Lucy Karanfilian

[REDACTED]
19 Bay View Rd, North Truro, Ma 02652
Map 39, Parcel 35

Steve Corkin
1 Merryfield Path

[REDACTED]
Map 39, Parcel 36

Matthew and Paula McCue
23 Bay View Road

[REDACTED]
Map 39, Parcel 311

Jack and Deb Bessemer (*note only have 10ft wide of beach stairs on the shoreline*)
24 Bay View Road (they own the narrow stairwell)

[REDACTED]
Map 39, Parcel 109

Brian Uy and Doriot Kim
25 Bay View Road

[REDACTED]
Map 39, Parcel 45

Jil Clark
27 Bay View Road

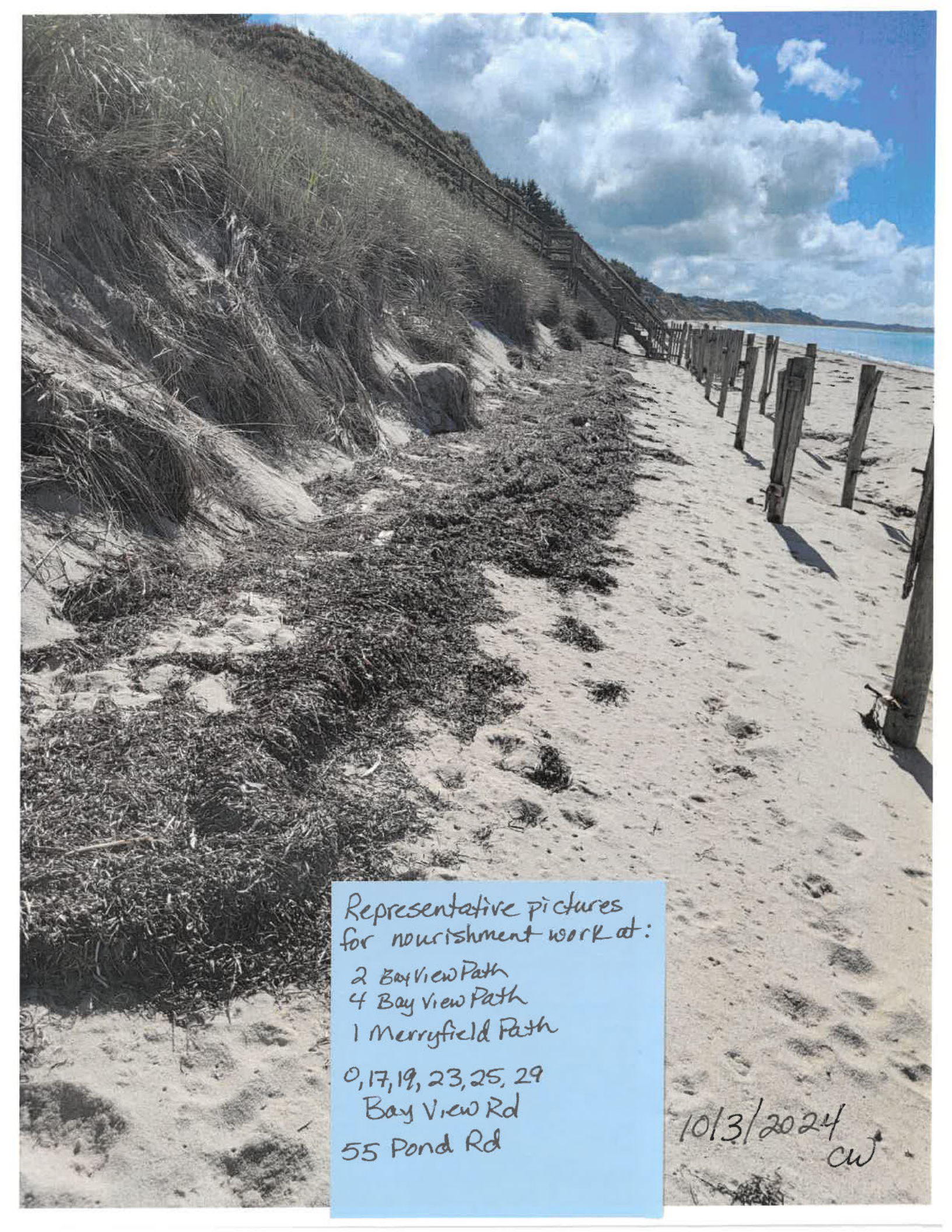
[REDACTED]
Map 39, Parcel 50

These individuals above have consented in writing to have Gary Sharpless be their authorized agent and therefor I authorize Crawford Land Management to represent us with the Town of Truro on our behalf.

Gary Sharpless

Date: 9-24-24

Gary Sharpless



Representative pictures
for nourishment work at:

2 Bay View Path
4 Bay View Path
1 Merryfield Path

0, 17, 19, 23, 25, 29
Bay View Rd
55 Pond Rd

10/3/2024
CW

10/3/2024 CW



10/3/2024 CW



10/3/2024



SEP 24 2024

PERMIT # 2024-47



TOWN OF TRURO

Conservation Commission

24 Town Hall Road
P.O. Box 2030, Truro MA 02666

PAID
8/20

APPLICATION FOR ADMINISTRATIVE REVIEW PERMIT

PERMIT FEE \$20

Applicant Name: Gordon Peabody Telephone: [REDACTED]
Email address: [REDACTED]
Owner Name: Michael Grossman Telephone: [REDACTED]
(If the applicant is not the owner of the property, written consent to the work MUST be attached to this Application.)
Address of subject property: 1 Circuit Way Map: 58 Parcel: 14
Description of proposed work: Eliminate some bare ground areas with stabilizing native veg. providing linkage to scale.
Proximity to Resource Areas: In resource area and within 100BZ

CRITERIA FOR ADMINISTRATIVE REVIEW (AR) PERMITS

Vegetation Projects:

- No removal of vegetation within any inland or coastal wetland resource.
- No uprooting of vegetation.
- No mowing to the ground or clear cutting.
- Any proposed tree removal is demonstrated to be necessary, e.g., to protect existing structures, public safety, traffic visibility, etc.
- Mitigation may be required, i.e., an area to be planted with native species of trees or shrubs.
- Trees for removal must be tagged for inspection.
- No excavation by machinery is required or proposed.

Sheds and Other Construction Projects:

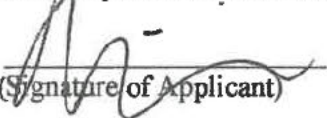
- No construction *within* any wetland resource except for minimal projects with the consent of the Conservation Agent.
- Any proposed new construction is more than 50' from the edge of resource area.
- No excavation by machinery is required or proposed.
- Foundation for structure shall be concrete blocks, sono tubes, diamond piers
- Repairs or replacement of existing structures remain within the same footprint.
- New structures must be less than 160 square feet.
- Only minimal projects such as biomimicry, sand nourishment, beach grass and planting of native species shall be allowed under this permit

Procedure:

- The fee shall be submitted with the Administrative Review Application.
- The Agent shall conduct a site visit, at which time the proposed project must be clearly defined in the field with stakes. Trees shall be flagged.

- If the Agent determines that all of the conditions of this Policy are met, the Agent may approve the Application. If the conditions of this policy are not met; the application is incomplete; or the field ID is inadequate the application is denied.
- **If the Agent approves the application, such approval must be ratified by the Truro Conservation Commission prior to the issuance of this permit and prior to the commencement of any work.**
- Any Property Owner, contractor or other agent of the owner performing any work pursuant to an Administrative Review permit shall have a copy of the permit available at the site at all times during the period that the work is being performed.
- Upon approval and ratification by the Commission, an Administrative Permit shall issue.
- The applicant shall notify the Commission prior to the start of the work, and must complete the work within thirty (30) days of issuance of the permit, unless otherwise permitted by the Commission.
- The Conservation Agent shall inspect the property to verify that the work completed is within the scope of the Approved Application.
- Any work beyond the scope of the approved Administrative Review shall be subject to enforcement action.
- NOTE: Use of town property for beach access or staging of construction materials requires a permit issued by the Board of Selectmen.

By signing this permit application, you are acknowledging that you have read and understand the terms as stated herein. You are also aware that no work shall go forward until the permit has been issued by the Conservation Commission.

 9/28/24
(Signature of Applicant) (Date)

FOR OFFICE USE ONLY:

Agent's Comments planting of bare areas

Site Inspection Date: 9/24/24 Application Approved: ☒ Yes ☐ No

Conservation Commission Review: Meeting Date: 10/7/2024 Permit Approved: ☐ Yes ☐ No
Conditions: _____

Signature of Commission Chair or Agent: _____ Date: _____

SAFE HARBOR

ENVIRONMENTAL MANAGEMENT
HABITAT RESTORATION



Request For Admin. Review: limited native ground cover stabilization planting

Date: September 23, 2024

To: Town of Truro Conservation Commission

Attn: Emily Beebe, Conservation Agent

Cc: Arozana Davis ; Courtney Warren

From: Gordon Peabody, Safe Harbor Environmental

Office: 95 Commercial St. Room 211, Wellfleet, MA, 02667

Mail: P.O. Box 880, Wellfleet, MA, 02667

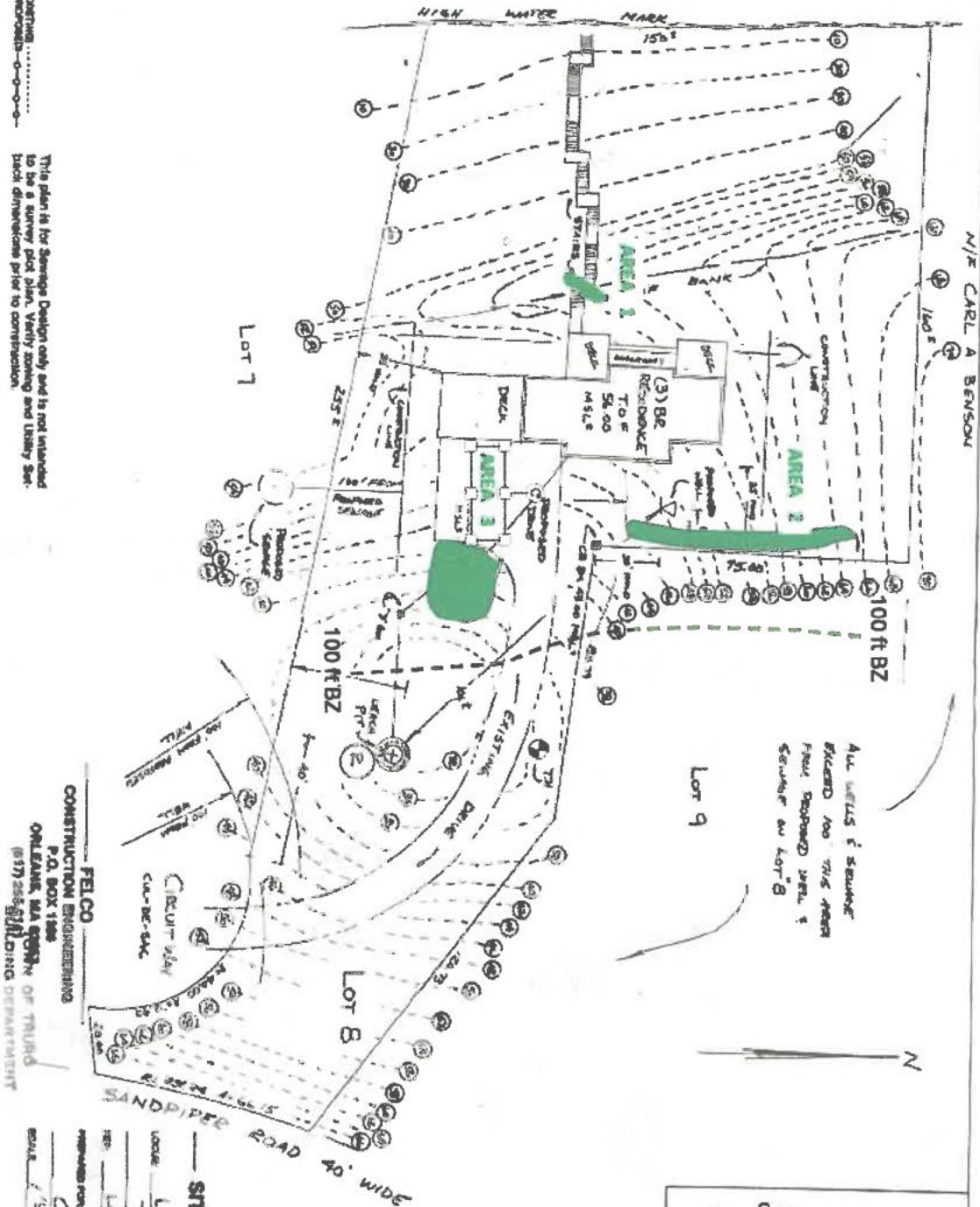
Contact: email gordonpeabody@gmail.com Phone: 508-237-3724

RE: 1 Circuit Way, Truro - Map 58, Parcel 14

The property owner wishes to eliminate some bare ground areas with stabilizing native vegetation, providing linkage to scale: Area 1 is a small American Beach Grass Planting; Area 2 is to be seeded with native ground cover grasses; Area 3 slope would be seeded in a similar fashion with the addition of jute netting, secured with cornstarch ground staples. All work would be done by hand, using trained Safe Harbor workers.



CAPE COD BAY



CONTENTS

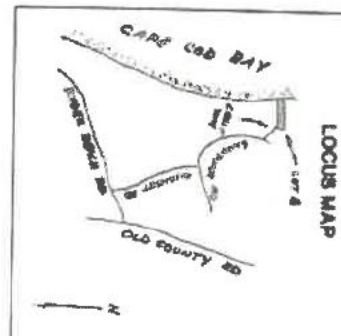
This plan is for Sewerage Design only and is not intended to be a survey plot plan. Verify zoning and Utility Set-back dimensions prior to construction.

FELCO
CONSTRUCTION ENGINEERING
P.O. BOX 1366
ORLEANS, MA 01956
(617) 258-5211
BUILDING DEPARTMENT

SITE and SEWAGE PLAN
 LOCUS: Lot 8, SUNDRIER ROAD
 Twpd. MA
 HSE: LCP 2648, E. SUNDT COURT
 PREPARED FOR: HEATING CONSTRUCTION
 OR LEAS, MA
 DATE: 1/2/80 10/28/85



Franklin D. Roosevelt
1882-1945






Date:

To: Town of Truro Conservation Commission
24 Town Hall Rd, Truro, MA 02666

Re: Michael Grossman, 1 Circuit Way, Truro, MA, 02667
Map 58 Parcel 14

To Whom It May Concern:

 I, Michael Grossman, owner(s) of the
abovementioned property, hereby authorize Safe Harbor Environmental
Services to act as the Representative of Record before the Wellfleet
Conservation Commission.

If you have any questions, please call me at .

Sincerely

cc: Safe Harbor Environmental

Homeowner Mailing Address (please print):

1 Ringgold St
Boston MA 02118



TOWN OF TRURO CONSERVATION COMMISSION

P.O. Box 2030
Truro MA 02666-0630

Conservation Commission Meeting Minutes: July 1, 2024

Commissioners Present: Vice Chair Linda Noons-Rose, Commissioners Bob White, Diane Messinger, and Clint Kershaw. **Absent:** Chair Carol Girard-Irwin, **Others**

Present: Emily Beebe, Conservation Agent; Courtney Warren Assistant Conservation Agent

This was a hybrid meeting with both in-person and remote participants. Vice Chair Linda Noons-Rose called the meeting and public hearings to order at 5:00 pm and provided the virtual meeting instructions.

Request for Determination of Applicability: 43 Pond Road, Mariorie & Marston

Hodgin: beach stair repair; Coastal Bank & Coastal Beach. (Map 38, Parcel 1) (*continued from 6/3/2024*) Gordon Peabody from Safe Harbor represented homeowners Tony and Marne Hodgin and thanked the Agent for meeting on site with the contractor. At the last hearing, the Commissioners noted that because conditions at the site have changed, a 1:1 replacement no longer makes sense. Instead, they now propose to install a robust system of 4 x 6 posts dug in 36" to handle wave action. The lower part of the original stairs extended into the flood zone, but the new steps will end just above the flood zone. **Motion:** Commissioner Clint Kershaw moved for a negative 3 determination; **Second:** Commissioner Bob White; **Vote:** 4-0-0; the motion carried.

Notice of Intent: 10 Thornley Meadow Road, Roland & Lucia Letendre: after-the-fact filing for beach stair replacement and beach grass trimming; Coastal Bank & Coastal Dune. (Map 53, Parcel 87) (*continued from 5/6/2024*) The Applicant has requested a continuance until the September 9th, 2024 meeting. **Motion:** Commissioner Clint Kershaw to continue the hearing until September 9, 2024; **Second:** Commissioner Bob White; **Vote:** 4-0-0; the motion carried.

Request for Determination of Applicability: 4 Second Landing Way, Estate of Elias

& Laura Manuelidis: cesspool upgrade; Buffer Zone to a Coastal Bank. (Map 45, Parcel 45) Bob Freeman from Schofield Brothers described the project as a cesspool upgrade for an existing four-bedroom house. Many site constraints exist including nearby wells, topography, and the presence of a coastal bank. He noted that the limit of work would be ~60' from the top of the coastal bank and that all disturbed areas would be revegetated with American beach grass. Commissioner Bob White asked what would happen to the existing cesspool. Bob Freeman stated that it would be pumped and removed. **Motion:** Commissioner Diane Messinger moved for a negative 3 determination; **Second:** Commissioner Bob White; **Vote:** 3-1-0 with Commissioner Kershaw voting in the negative; the motion carried.

Request for Determination of Applicability: 72 Depot Rd, Anne Blythe Robertson & Mary Perkins: installation of benches, gravel, and a fire pit; Buffer Zone to a Coastal Bank; Riverfront Area. (Map 50, Parcel 24) Theresa Sprague from Blue Flax Design represented the project. The homeowners have an existing order of conditions for a demo/rebuild of the structure. Construction on that project has started and the owners propose to build an attached bench with a fire pit inside the u-shaped deck. This previously disturbed area would have a pea gravel base. Commissioner Linda Noons-Rose asked if there would be any regrading. Theresa Sprague replied that there would be no regrading and that all disturbed areas within the limit of work would be revegetated. **Motion:** Commissioner Clint Kershaw moved for a negative 3 determination; **Second:** Commissioner Bob White; **Vote:** 4-0-0; the motion carried.

Extension Request: 7 Hughes Road (SE#75-1124); 39 Bay View Road (SE#75-1115); 41 Bay View Road (SE#75-1116; 4 Heron Lane (SE#75-1114); 379 Shore Road (SE#75-1090) **Motion:** Commissioner Linda Noons-Rose moved for to grant three year extensions for 7 Hughes Road, 39 Bay View Road, 41 Bay View Road, 4 Heron Lane, and 379 Shore Road; **Second:** Commissioner Diane Messinger; **Vote:** 4-0-0; the motion carried.

Administrative Review Applications: 1) 43 Pond Road: removal of metal debris from beach; 2) 544 Shore Road: deck addition for handicap access

1. **Motion:** Commissioner Bob White moved to ratify the administrative review permit for 43 Pond Rd previously approved by the Chair.; **Second:** Commissioner Diane Messinger; **Vote:** 4-0-0, the motion carried.

2. **544 Shore Road** – The Agent stated that this was a unique administrative review because the work has already been done. The deck extension allows wheelchair access to the deck and is not for beach access. Her recommendation is that the deck be allowed to remain through the summer and removed by a date in the fall. A Notice of Intent should then be filed for any future construction in this area. Commissioner Linda Noons-Rose noted that the pieces looked substantial and wondered where they would be stored. Lotte Diomedes from Smile Mass was on the call and stated that before the beach erosion, the organization accomplished the same goal by use of a mobi-mat in the sand. The unit is rented from April to November and about 95% of the renters are wheelchair users. The deck is supported by pavers and the four pieces fit together like a puzzle that are made to be removed and will be stored inside the unit for the winter. Commissioner Linda Noons-Rose asked if the deck was just in front of their unit or if it extended to other units. Lotte replied that the deck is just under 16' long and is 5' wide and is within the exclusive use area for the unit. The Agent noted that this is a particularly vulnerable area. The condo association has existing approval for snow fencing, sand nourishment, and beach grass planting and that approval requires beach access from all units be made via the center path. This new deck extension impacts other unit owners and the pre-existing approvals. The Agent noted that the deck needs a railing to keep a chair from rolling off. Lotte Diomedes stated that the extension is code compliant. Commissioner Clint Kershaw said that everything the Commission is discussing is to protect the building. Commissioner Bob White noted that this year is predicted to be a particularly bad hurricane season and emphasized the importance of having a written hurricane plan. Since September 10th is historically the date with the

highest amount of hurricane activity, he recommended the deck be removed by September 1st. **Motion:** Commissioner Clint Kershaw moved to approve the AR permit with the condition that the deck be removed by September 1, 2024 and earlier if a hurricane is forecasted to impact the area; Additionally, a Notice of Intent for the structure be filed by November 1, 2024.; **Second:** Commissioner Bob White; **Vote:** 4-0-0; the motion carried.

Discussion on Long Nook Beach access

Longnook Beach is closed until further notice due to unstable conditions. The Town has been in communication with the Park and is continuing to evaluate options. Mark Borelli, coastal geologist from the Center for Coastal Studies, will be on site tomorrow to evaluate the situation. The beach is posted as closed on the state bathing beach website since it was not able to be tested. The Agent will keep the Commission informed if there are any changes.

Commissioner Clint Kershaw would like to discuss the possibility of going paperless and asked for that to be added to a future agenda.

Commissioner Clint Kershaw moved to adjourn the meeting; Second: Commissioner Bob White; Vote: 4-0-0; the motion carried.

The meeting was adjourned at 5:59 PM.

Respectfully Submitted by Courtney Warren



TOWN OF TRURO CONSERVATION COMMISSION

P.O. Box 2030
Truro MA 02666-0630

Conservation Commission Meeting Minutes: August 5, 2024

Commissioners Present: Chair Carol Girard-Irwin, Vice Chair Linda Noons-Rose, Commissioners Diane Messinger, Clint Kershaw, and Connie Mather. **Absent:** Commissioner Bob White **Others Present:** Emily Beebe, Conservation Agent; Courtney Warren Assistant Conservation Agent; Select Board member Nancy Medoff

This was a hybrid meeting with both in-person and remote participants. Chair Carol Girard-Irwin called the meeting and public hearings to order at 5:00 pm and provided the virtual meeting instructions.

Request for Determination of Applicability: 4 Katharine Road, John & Joan Marshall: replace existing deck, moving footprint towards the rear of the house; Coastal Bank. (Map 59, Parcel 58)

Motion: Commissioner Clint Kershaw moved for a negative 3 determination; **Second:** Commissioner Linda Noons-Rose; **Vote:** 5-0-0; the motion carried.

Request for Determination of Applicability: 263 Shore Road, U:2, Mark Scott: 8'x4' shed; Barrier Beach, Coastal Dune, Land Subject to Coastal Storm Flowage. (Map 17, Parcel 1.2) Homeowner Mark Scott represented the request to install a pre-fab storage shed. He stated that when the home was recently raised, a plastic storage container was removed. They propose to replace it with a shed. The Agent noted that the shed should be raised (9") and that hazardous materials not be stored in it. Commissioner Clint Kershaw thanked the homeowner for the beach grass plantings that were done. **Motion:** Commissioner Linda Noons-Rose Kershaw moved for a negative 3 determination with the condition that the shed be raised 9" and that there be no storage of hazardous materials in the shed.; **Second:** Commissioner Diane Messinger; **Vote:** 5-0-0; the motion carried.

Administrative Review Applications: 1.) 20 Mill Pond Road: cut locust tree; 2.) 0 Old County/0Abby Lane/14 Abby Lane: osprey pole; 3.) 510 Shore Road, U:C: replace 2nd story deck with new stair location; 4.) 432 Shore Road: ratify sand nourishment; 5.) 482 Shore Road: sand nourishment behind bulkhead – 60 day request; 6.) 93 North Pamet Road: cut 2 pine trees; 7.) 14 Great Hills Road: four 2" monitoring wells; 8.) 127 Slough Pond Road: small shed; 9.) 37 Knowles Heights Road: replace treads on beach stairs **Motion:** Commissioner Diane Messinger moved to approve the Administrative Review permits for 20 Mill Pond Rd, 0 Old County Rd/0Abby Ln/14 Abby Ln, 510 Shore Rd, U:C, 432 Shore Rd, 482 Shore Rd, 93 North Pamet Rd, and 14 Great Hills Rd; **Second:** Commissioner Linda Noons-Rose; **Vote:** 5-0-0; the motion carried. **Motion:** Chair Carol Girard-Irwin moved to approve the Administrative Review permit for 127 Slough Pond Rd with the condition that no hazardous materials be stored in the shed; **Second:** Commissioner Connie Mather; **Vote:** 5-0-0; the motion carried.

Motion: Chair Carol Girard-Irwin moved to approve the Administrative Review

permit for 37 Knowles Heights Rd; Second: Commissioner Diane Messinger; Vote: 5-0-0; the motion carried.

Request for extension to AR at 544 Shore Road: a temporary, removable deck extension that was constructed without prior review or permit application was approved on 7/1/2024; Chair Carol Girard-Irwin was absent from the meeting where this was initially discussed but has watched the video. New Commissioner Connie Mather was in the audience for the last meeting. Jane Sheehan from the board of SMILE Mass represented the request to allow their deck extension to remain in place until the end of the rental season. The Chair expressed concern that the deck did not have prior approval and there is extreme erosion in that area. Jane Sheehan explained the function of the structure, which includes a ramp that allows a wheelchair to get up over the lip of the sliding door and extends to the edge of the deck. The deck extension allows the wheelchair space (5') to maneuver and turn around. The Chair noted that the deck is in a velocity flood zone and should not be on the sand. There are permits that the association already have in place allow for sand nourishment and the Chair asked if nourishment combined with a mobi-mat would work instead of a deck structure. The Commissioners discussed other possible options for addressing this issue with less impact to the resource area. The Commissioners were also concerned that the deck pieces though removeable would just be stacked up on the patio and become a battering ram in a storm event. The Agent refocused the conversation on the request before them which was to leave the deck extension in place until November.

Motion: Commissioner Clint Kershaw moved to deny the request to allow the deck extension to remain in place until November 1st. Second: Chair Carol Girard-Irwin Jane Sheehan was concerned about the potential loss of rental income if the deck were unavailable because that income is a large part of the organization's budget.

Vote: 3-2-0 with Chair Carol Girard-Irwin and Commissioners Clint Kershaw and Linda Noons-Rose voting to deny the extension. Commissioners Diane Messinger and Connie Mather voted to allow the extension.

Appointment to Community Preservation Committee

Motion: Commissioner Diane Messinger moved to appoint Clint Kershaw as the Commission's representative to the Community Preservation Committee.; Second: Chair Carol Girard-Irwin; Vote: 5-0-0; the motion carried.

Minutes: June 3, 2024 Motion: Chair Carol Girard-Irwin moved to approve the minutes from June 3, 2024 as presented; Second: Commissioner Clint Kershaw; Vote: 5-0-0; the motion carried.

Commissioner Clint Kershaw suggested three topics for future discussion:

- The possibility of going to paperless packets
- Discourage the use of green roofs as mitigation due to the maintenance required
- A by-law change to define the amount of required mitigation

Chair Carol Girard-Irwin moved to adjourn the meeting; Second: Commissioner Clint Kershaw; Vote: 5-0-0; the motion carried.

The meeting was adjourned at 6:09 PM.

Respectfully Submitted by Courtney Warren