



# Truro Conservation Commission

Monday August 5, 2024

Hybrid Meeting start at 5:00 PM  
Truro Town Hall, 24 Town Hall Rd

## PUBLIC MEETING AGENDA

This will be a hybrid meeting. Citizens can view the meeting on Channel 8 in Truro and on the Town's website on the "Truro TV Channel 8" button under "Helpful Links" on the homepage. Once the meeting has started, click on the green "Watch" button in the upper right of the page. **To provide comment during the meeting, you can call in or email. To call-in toll-free dial 1-646-558-8656 and enter the following Meeting ID when prompted: 881 4221 5586**

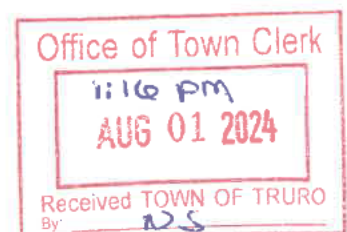
You can join this Zoom meeting from your computer, tablet or smartphone at <https://us02web.zoom.us/j/88142215586>. Please note that there may be a slight delay (15-30 seconds) between the meeting and the live stream (and television broadcast). If you are watching the meeting and calling in, please lower the volume on your computer or television during public comment so that you may be heard clearly. We ask that you identify yourself when calling in; citizens may also provide public comment for this meeting by emailing the Conservation Agent at [ebeebe@truro-ma.gov](mailto:ebeebe@truro-ma.gov) with your comments.

**I. PUBLIC HEARINGS:** The Truro Conservation Commission holds these public hearings in accordance with the provisions of MGL Ch. 131, s. 40, MA Wetlands Protection Act and the Truro Conservation Bylaw, Chapter 8:

1. **Request for Determination of Applicability: 263 Shore Rd, U:2, Mark Scott:** 8'x4' shed; Barrier Beach, Coastal Dune, Land Subject to Coastal Storm Flowage. (Map 17, Parcel 1.2)
2. **Request for Determination of Applicability: 4 Katharine Rd, John & Joan Marshall:** replace existing deck, moving footprint towards the rear of the house; Coastal Bank. (Map 59, Parcel 58)
3. **Administrative Review Applications:** 1.) 20 Mill Pond Rd: cut locust tree; 2.) 0 Old County/0Abby Ln/14 Abby Ln: osprey pole; 3.) 510 Shore Rd, U:C: replace 2<sup>nd</sup> story deck with new stair location; 4.) 432 Shore Rd: ratify sand nourishment; 5.) 482 Shore Rd: sand nourishment behind bulkhead – 60 day request; 6.) 93 North Pamet Rd: cut 2 pine trees; 7.) 14 Great Hills Rd: four 2" monitoring wells; 8.) 127 Slough Pond Rd: small shed; 9.) 37 Knowles Heights Rd: replace treads on beach stairs
4. **Request for extension to AR at 544 Shore Rd:** a temporary, removable deck extension was approved on 7/1/2024
5. **Appointment to CPC**
6. **Minutes**

**Site visits:** Commissioners will meet at Town Hall on Monday, August 5, 2024, at 9:00 AM and proceed to:

(1) 4 Katharine Rd; (2) 263 Shore Rd, U:2 (3) 544 Shore Rd



JUL 22 2024

**Request for Determination**

Project address: 263 Shore Rd, Unit 2, North Truro, MA 02652

Map 17

Parcel 1-2

- Is the project located in a resource area or buffer zone Yes
- Resource Area Type(s): Barrier Beaches, Land Subject to Coastal Storm Flowage
- If Buffer Zone what is the distance from Resource Area: -

**Description of project:** (list all activities and describe methodology for construction or installation including equipment type if applicable) Construction of a 4'x8' wooden shed from a kit (manufactured components) in the back corner of the cottage's partially fenced-in yard. This shed would replace a plastic storage container in the same location, and would serve the same purpose - storage of trash barrels, grille, etc.

**Attached site plan titles/dates, and any other plan or narratives title/dates:**

SP - Site Plan (proposed shed). PH - Site Photographs (previous condition and current condition), cut sheet of proposed shed product

**Describe the best management practices/mitigation that will be used on the site:** No removal or fill of soil; on-site labor limited to assembly of components; no disturbance of planted areas; no change to grade or profile of land; replacement of previous storage structure.

**Special Conditions required by the Conservation Include:**

The proposed project is approved subject to the conditions included herein.

The use of town property for beach access or staging of construction materials requires a permit issued by the Board of Selectmen. The owner and applicant/representative are responsible for obtaining this permit prior to work start.

The owner and applicant/representative shall, avoid and otherwise minimize any activities in the buffer zone or in resource areas by use of best management practices on the site, such as:

- Placement of an agreed upon work limit;
- Proper placement of construction materials in developed or already disturbed areas;
- Proper installation/maintenance of erosion control;
- Good housekeeping that includes at a minimum daily trash pickup; no dumping of paint, plaster or concrete on the site but rather, disposing of it properly.

Approval of the project as described herein includes only the scope and specifications reviewed by the Conservation Commission; any changes to this project shall require additional review by the Conservation Commission prior to the work being done. Expansion of the scope of work may result in the applicant being required to file a full notice of intent. Any work done that exceeds the scope defined in the approved application shall be subject to issuance enforcement action; Violation of these conditions may result in issuance of an enforcement Order; non-criminal violation citations to the owner and/or applicant/representative accompanied by fines that accrue per offense and may accrue daily.

By reading and signing this letter of agreement the applicant acknowledges that they have read and understand the terms as stated herein; the scope of this approval is limited to the work described herein; and your signature on this conditional approval is acknowledgement that no work shall go forward until the RDA conditions have been issued by the Conservation Commission.

Applicant/Representative printed name and signature: Mark Brady Scott

Owners printed name and signature: Mark Brady Scott

Digitally signed by Mark Brady Scott  
DN: cn=Mark Brady Scott, o=00, email=mark.scott@gmail.com, c=US  
Date: 2024.07.12 22:08:46 -0400

Digitally signed by Mark Brady Scott  
DN: cn=Mark Brady Scott, o=00, email=mark.scott@gmail.com, c=US  
Date: 2024.07.12 22:09:04 -0400





Massachusetts Department of Environmental Protection  
Bureau of Water Resources - Wetlands

**WPA Form 1- Request for Determination of Applicability** Truro, MA  
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40 Municipality

**A. General Information**

**Important:**  
When filling out  
forms on the  
computer, use only  
the tab key to move  
your cursor - do not  
use the return key.



1. Applicant:

Mark	Scott
First Name	Last Name
2 Ravenscroft Rd	
Address	
Winchester	MA
	State
	01890
	Zip Code

2. Property Owner (if different from Applicant):

First Name	Last Name
Address	
City/Town	State
	Zip Code
Phone Number	Email Address (if known)

3. Representative (if any)

First Name	Last Name
Company Name	
Address	
City/Town	State
	Zip Code
Phone Number	Email Address (if known)

**B. Project Description**

1. a. Project Location (use maps and plans to identify the location of the area subject to this request):

263 Shore Rd #2	North Truro
Street Address	City/Town
42.04789	-70.11428
Latitude (Decimal Degrees Format with 5 digits after decimal e.g. XX.XXXXX)	Longitude (Decimal Degrees Format with 5 digits after decimal e.g. -XX.XXXXX)
17	1-2
Assessors' Map Number	Assessors' Lot/Parcel Number

[How to find Latitude  
and Longitude](#)

[and how to convert  
to decimal degrees](#)

b. Area Description (use additional paper, if necessary):

The property is one of three condominiums on the landward side of Shore Road.

c. Plan and/or Map Reference(s): (use additional paper if necessary)

Site Plan - Proposed Shed & Cut Sheets for Shed	07/05/2024
Title	Date
Photographs - Prior and Current Condition	07/05/2024
Title	Date



**Massachusetts Department of Environmental Protection**

Bureau of Water Resources - Wetlands

**WPA Form 1- Request for Determination of Applicability** Truro, MA

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Municipality

**B. Project Description (cont.)**

2. a. Activity/Work Description (use additional paper and/or provide plan(s) of Activity, if necessary):

Installation of a shed kit for the storage of trash barrels, grille, and gardening tools in the place previously occupied by a large plastic storage bin. The installation requires only hand tools, no excavation, and involves no disturbance of planted areas. Refer to attached photos for the prior and current conditions.

- b. Identify provisions of the Wetlands Protection Act or regulations which may exempt the applicant from having to file a Notice of Intent for all or part of the described work (use additional paper, if necessary).

The only activity (per 10.04) that could apply is "the erection ... of any structure." The location has been selected to be on bare sand in a spot previously occupied by a large storage bin.

3. a. If this application is a Request for Determination of Scope of Alternatives for work in the Riverfront Area, indicate the one classification below that best describes the project.

- ☐ Single family house on a lot recorded on or before 8/1/96
- ☐ Single family house on a lot recorded after 8/1/96
- ☐ Expansion of an existing structure on a lot recorded after 8/1/96
- ☐ Project, other than a single-family house or public project, where the applicant owned the lot before 8/7/96
- ☐ New agriculture or aquaculture project
- ☐ Public project where funds were appropriated prior to 8/7/96
- ☐ Project on a lot shown on an approved, definitive subdivision plan where there is a recorded deed restriction limiting total alteration of the Riverfront Area for the entire subdivision
- ☐ Residential subdivision; institutional, industrial, or commercial project
- ☐ Municipal project
- ☐ District, county, state, or federal government project
- ☐ Project required to evaluate off-site alternatives in more than one municipality in an Environmental Impact Report under MEPA or in an alternatives analysis pursuant to an application for a 404 permit from the U.S. Army Corps of Engineers or 401 Water Quality Certification from the Department of Environmental Protection.

- b. Provide evidence (e.g., record of date subdivision lot was recorded) supporting the classification above (use additional paper and/or attach appropriate documents, if necessary.)



Massachusetts Department of Environmental Protection  
Bureau of Water Resources - Wetlands

**WPA Form 1- Request for Determination of Applicability** Truro, MA  
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40 Municipality

**C. Determinations**

1. I request the Truro, MA make the following determination(s). Check any that apply:  
Conservation Commission

- ☐ a. whether the **area** depicted on plan(s) and/or map(s) referenced above is an area subject to jurisdiction of the Wetlands Protection Act.
- ☐ b. whether the **boundaries** of resource area(s) depicted on plan(s) and/or map(s) referenced above are accurately delineated.
- ☒ c. whether the **Activities** depicted on plan(s) referenced above is subject to the Wetlands Protection Act and its regulations.
- ☐ d. whether the area and/or Activities depicted on plan(s) referenced above is subject to the jurisdiction of any **municipal wetlands' ordinance or bylaw** of:

Name of Municipality

- ☐ e. whether the following **scope of alternatives** is adequate for Activities in the Riverfront Area as depicted on referenced plan(s).

**D. Signatures and Submittal Requirements**

I hereby certify under the penalties of perjury that the foregoing Request for Determination of Applicability and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge.

I further certify that the property owner, if different from the applicant, and the appropriate DEP Regional Office were sent a complete copy of this Request (including all appropriate documentation) simultaneously with the submittal of this Request to the Conservation Commission.

Failure by the applicant to send copies in a timely manner may result in dismissal of the Request for Determination of Applicability.

Signatures:

I also understand that notification of this Request will be placed in a local newspaper at my expense in accordance with Section 10.05(3)(b)(1) of the Wetlands Protection Act regulations.

Mark Brady Scott

Signature of Applicant

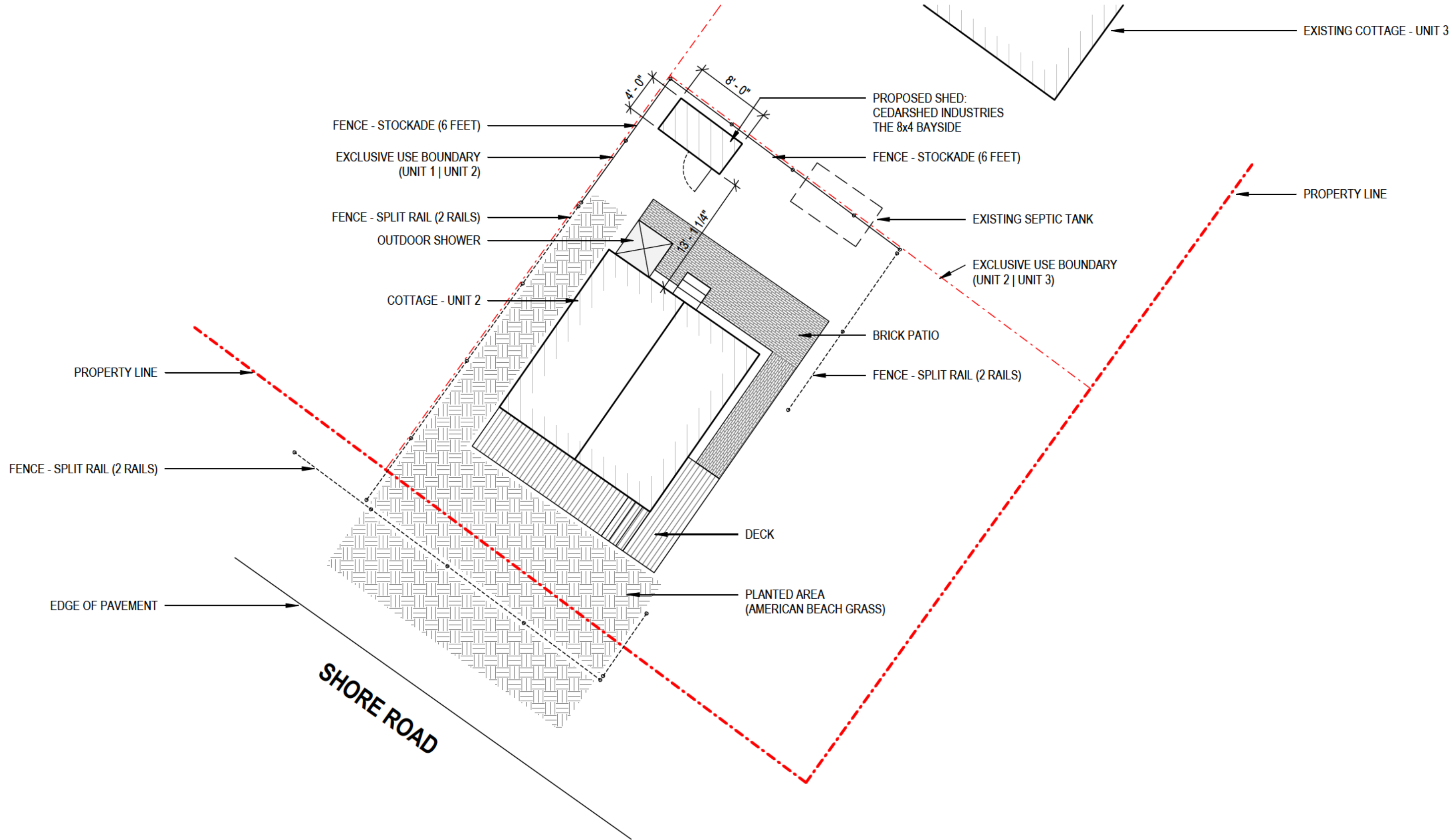
07/13/2024

Date

Signature of Representative (if any)

Date





<div>WARD 2</div> <div>2 Ravenscroft Rd Winchester, MA 01890 617-429-1349</div> <div>Architect</div>	<div>SHED</div> <div>263 Shore Road #2 North Truro, MA 02652</div> <div>Project</div>		Date Issued 07/05/2024	<div>SP</div>
			Drawing Scale 1" = 10'-0"	
			SITE PLAN	





PREVIOUS CONDITION: LARGE PLASTIC STORAGE BIN



CURRENT CONDITION: TRASH BARRELS STORED ON PAVERS

**WARD 2**

2 Ravenscroft Rd  
Winchester, MA 01890  
617-429-1349

Architect

**SHED**

263 Shore Road #2  
North Truro, MA 02652

Project

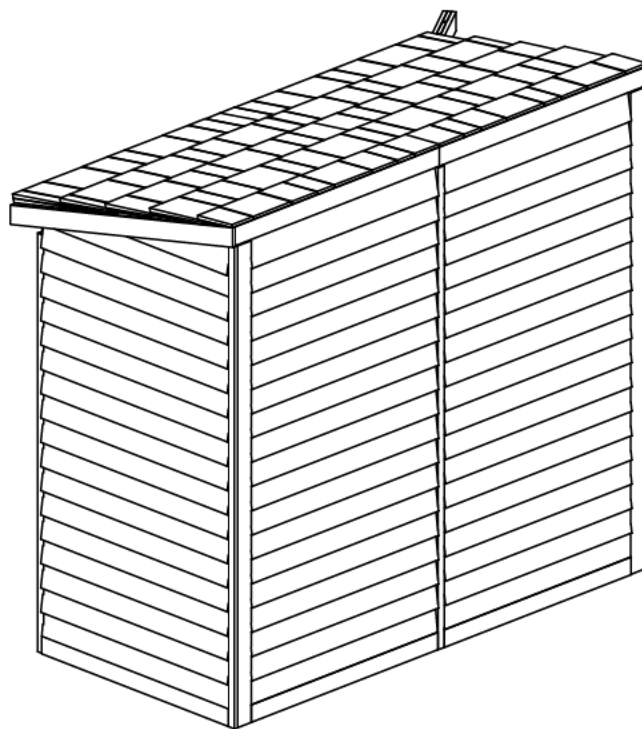
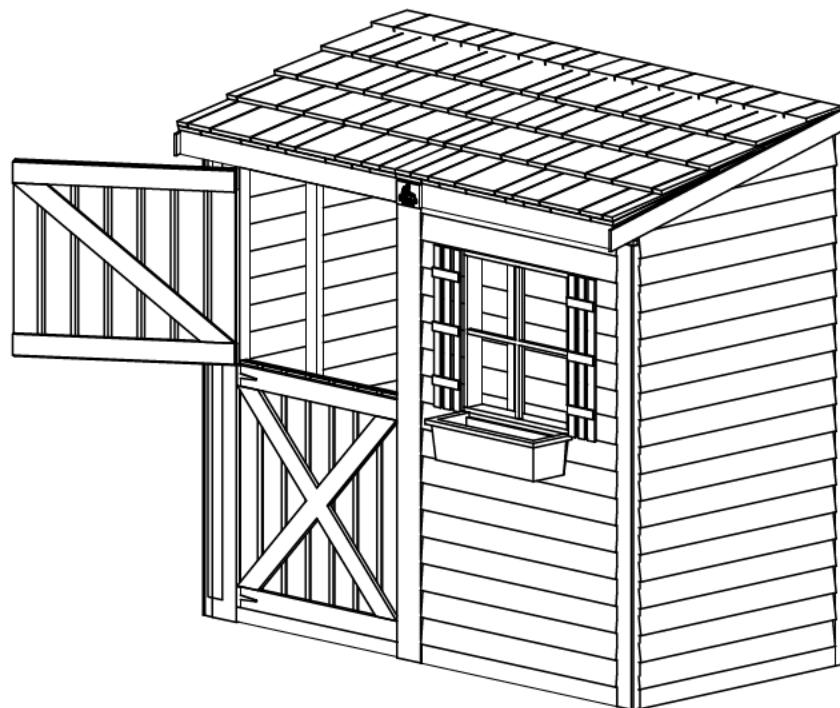
Date Issued  
07/05/2024

Drawing Scale

**PHOTOGRAPHS**

**PH**





## *Cedarshed Industries 'The 8 x 4 Bayside'*

*Cedarshed Products are made of Western Red Cedar, a beautiful, decorative and durable wood that will enhance your leisure space and provide you with years of enjoyment. When exposed to the elements, natural unfinished Western Red Cedar will weather to a beautiful silvery grey. If you prefer to maintain the natural wood colors, ask your Authorized Cedarshed Dealer to recommend a quality stain to apply after assembly.*





# 'The 8 x 4 Bayside'

## ASSEMBLY INSTRUCTIONS:

1. Foundation Preparation.....page...7 to 8
2. Floor Assembly.....page...9 to 11
3. Wall Assembly.....page...12 to 15
4. Roof Assembly.....page...16 to 17
5. Trim.....page...18 to 22
6. Hardware.....page...23 to 24

## TOOLS YOU NEED:

Garden tools for foundation leveling work  
 Power drill & drill bits  
 4 Step ladders (8' Min.)  
 36" carpenters Level  
 Hammer, saw, tape measure, pencil etc.  
 $\frac{1}{16}$ " drill bit

## MATERIALS REQUIRED:

8 foundation or concrete foundation pads  
 1 tube of outdoor rated latex caulking

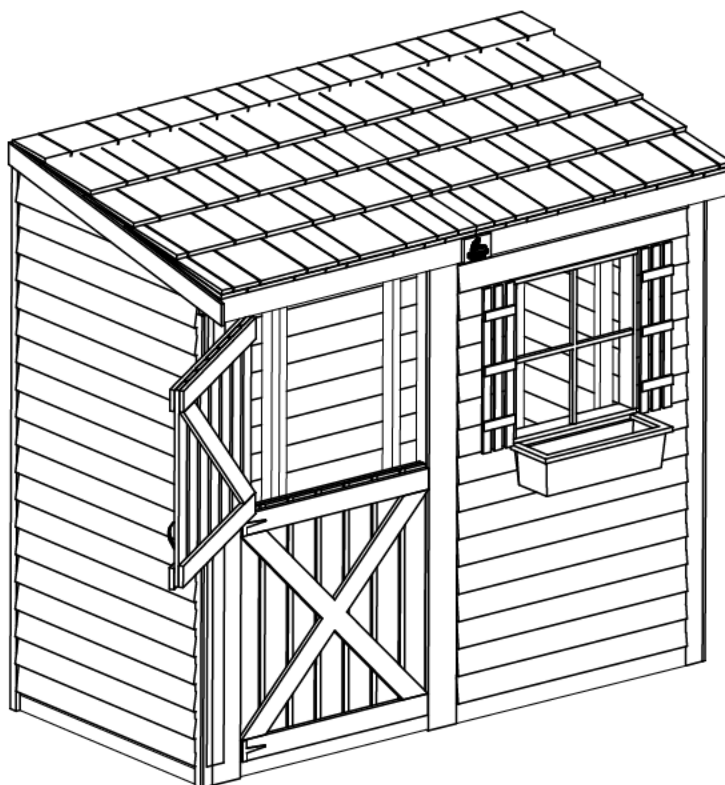
## ASSISTANCE REQUIRED:

A minimum of two people will be required to construct the Garden Shed,  
 a third person will be helpful when working on the roof structure.

## NOTE

Assembly of building will require the use of power tools and a ladder. Please take precautions at all times.  
 Obtaining necessary permits is the sole responsibility of the purchaser.

Please visit our website at [www.cedarshed.com](http://www.cedarshed.com) for additional safety tips and other considerations to promote safe and enjoyable usage of your Cedarshed Product for years to come.





## 'The 8 x 4 Bayside'

### *Do I Need A Building Permit?*

Check with your local permit office for the regulations for your area. Generally, structures under 100 square feet do not require building permits. If a permit is required, your local permit office will have an application form. Obtaining necessary permits is the sole responsibility of the purchaser.

All Cedarshed products are constructed of Western Red Cedar. All framing components are a nominal 2" x 3" size. Wall and corner posts consist of 2" x 3"s. Floor framing 2" x 4".

#### Safety Points and Other Considerations

As a proud owner of a Cedarshed gazebo, garden shed or outdoor furnishing(s), we want you to safely enjoy it for many years to come. Our products are built for use based on proper installation on level ground and normal residential use. Please follow the Assembly Manual when building the structure, and keep this manual as a reference for future maintenance.

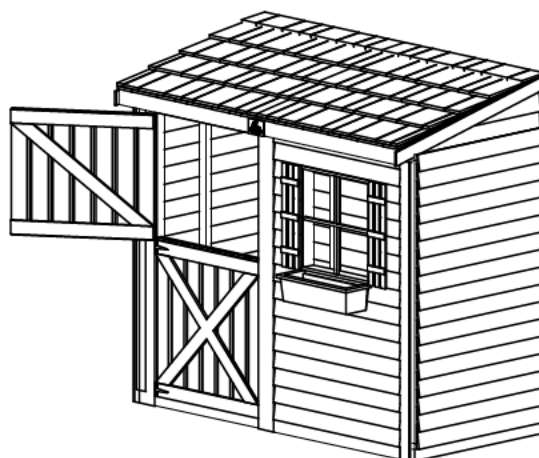
When using power tools, ladders or any other tool, observe all safety precautions recommended by the manufacturer. Always use appropriate safety equipment, including eye protection.

Customers agree to hold Cedarshed Industries (1992) Inc. and any Authorized Dealers free of any liability for improper installation, maintenance and repair of any Cedarshed product.

#### Some Safety Tips to Consider Include:

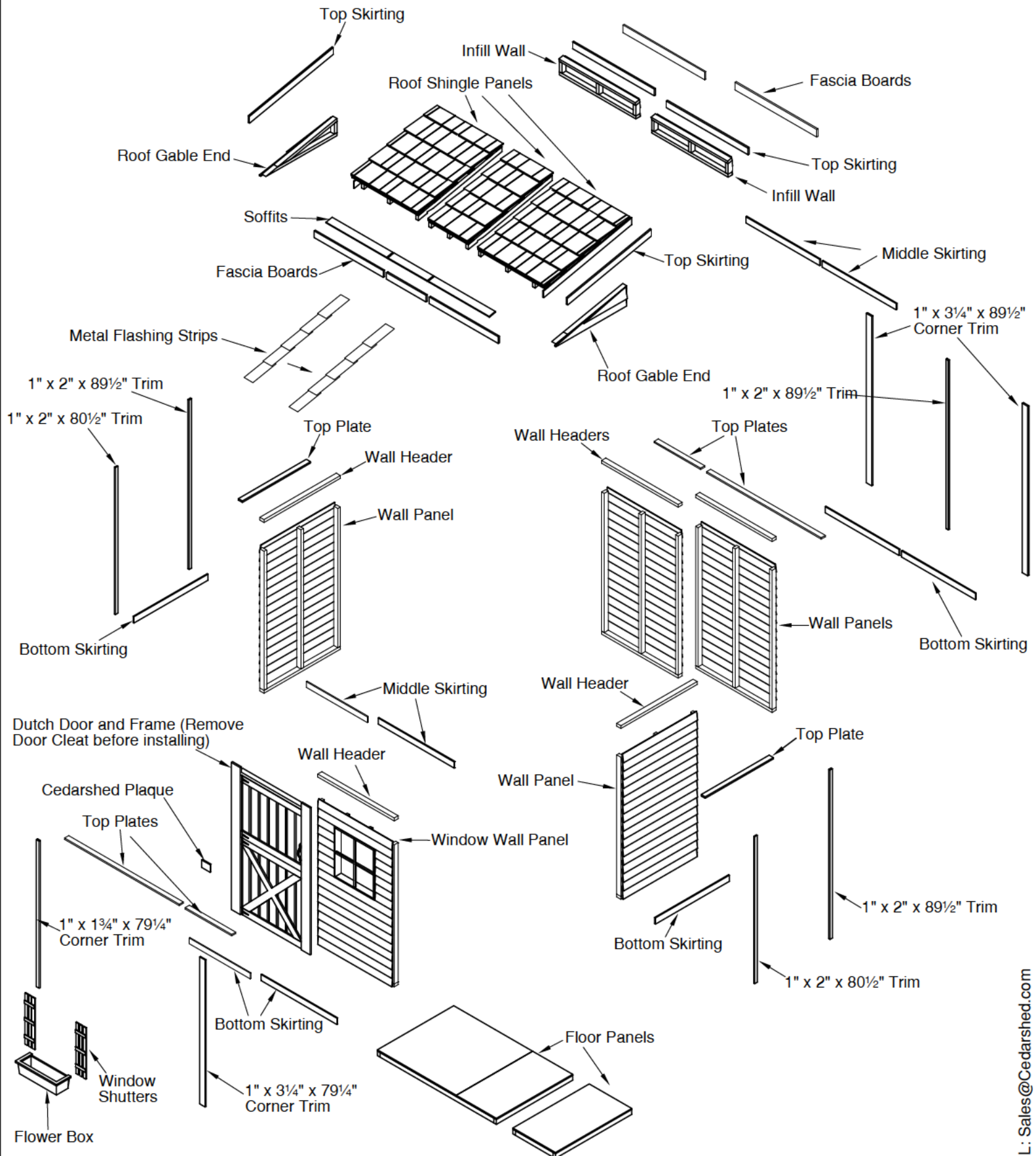
1. Roof Snow Load Ratings vary by geographical location. If a heavy or wet snowfall occurs, it is advisable to clear the snow off the roof.
2. If the structure is elevated above ground, local Building Code requirements are solely the owners responsibility, and should be abided by.
3. In high or gusty wind conditions it is advisable not to use the structure, and it may be advisable to keep the structure securely grounded
4. Have a regular maintenance plan to ensure floors, walls, doors, windows, roofing members etc. are secure and ready for adverse weather conditions.
5. In some geographical regions, our products are not rated for human occupancy. Please check with local authorities if this is the intended use.
6. It is important to properly prepare the foundation to ensure the proper construction of Cedarshed products. Please review the information in this Assembly Manual or our web site or alternatively, consult with a professional with knowledge on properly preparing a foundation.

Our customers love telling us their Cedarshed stories and we are proud to hear them. Local conditions, personal construction abilities and other factors may affect the construction of any Cedarshed product, so it is possible that your experience may differ from those presented in this manual, in our catalogue or on our website.



# Exploded View of 'The 8 x 4 Bayside'

B84

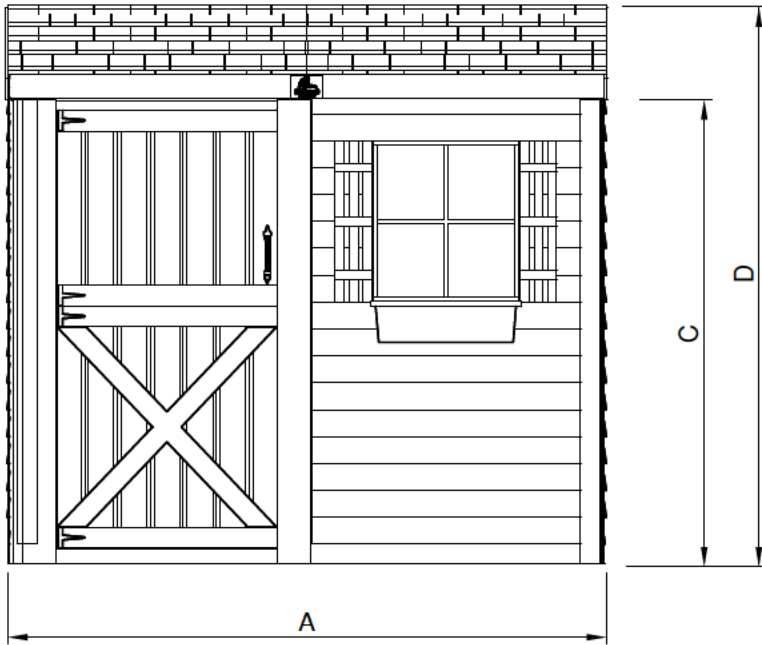




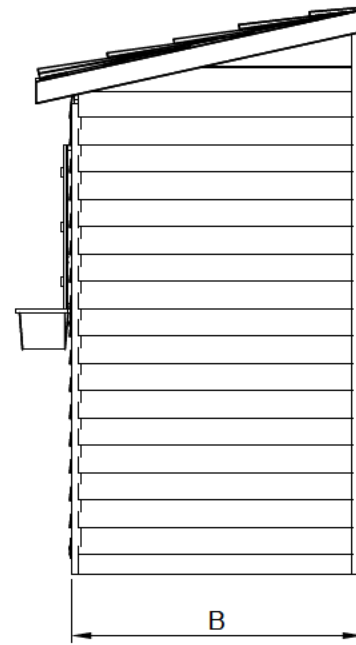
# Specifications for 'The 8 x 4 Bayside'

B84

- Your Cedarshed Product is constructed of Western Red Cedar Exterior.
- Wall and Roof framing is 2 x 3 SPF, Floor is 2 x 4 Cedar with  $\frac{5}{8}$ " plywood.



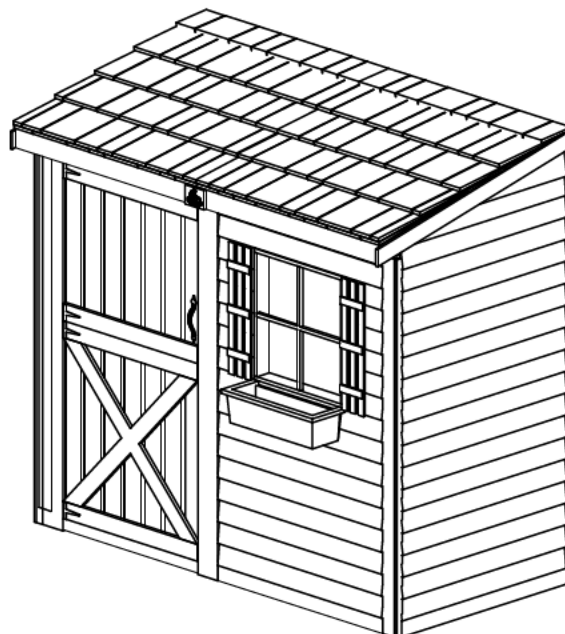
FRONT VIEW



SIDE VIEW

## Measurements for Bayside B84

Area	31.5 Sq. Ft.
Dimension	
A	98"
B	46 ½"
C	84"
D	94 ¾"
F - Dutch Door	36" x 73"
Weight	702 lbs

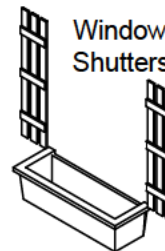




Door  
Handle

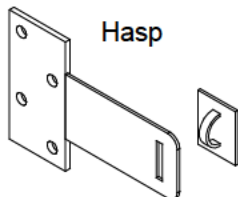


Cedarshed Plaque

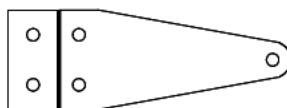


Window  
Shutters

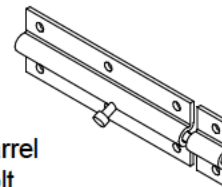
Planter  
Box



Hasp



Hinges



Barrel  
Bolt

## FASTENERS



1  $\frac{1}{8}$ "  
Nails



1  $\frac{3}{4}$ "  
Nails



2"  
Nails



2"  
Screws



3"  
Screws

Part Number	Description	Size or Type	# of Pcs.
<b>ACCESSORIES</b>			
P-H-PLAQL	Cedershed plaque		1
P-SH-001	Window shutter		2
P-FW-001	Flower box		1
P-H-MFLASS	Metal roof flashing	3" x 12"	10
<b>FASTENERS</b>			
P-H-SC2	2" Screws	Bag	54
P-H-SC3	3" Screws	Bag	150
P-H-SC3	3" Green/Brown screws for floor joist	Bag	35
P-H-SC3	3" Brass color screws for wall and roof	Bag	115
P-H-NL 1.75	1 $\frac{3}{4}$ " Finishing nails	Bag	160
<b>DOOR HARDWARE</b>			
C-DR-003	Dutch door		1
P-H-HASP	Hasp		1
P-H-DHAND	Door handle		1
P-H-THING6	Door hinges		4
P-H-BBLT4	Barrel bolt		1
Instruction manual, questionnaire and driver bit			

\* Door trim-narrow to be used when door is located on 8ft side /  
wide to be used when door is located on 4ft side.

To confirm you have received all materials, sort them according to this list. Call or e-mail us if you are missing any items and we will courier or ship as soon as possible.

Toll Free Customer Support Line: 1-800-830-8033

E-mail: sales@cedarshed.com

Protect your building materials from wet weather by covering them when necessary.

# Foundation Preparation for 'The 8 x 4 Bayside'

B84

## WHAT SHOULD I DO TO PREPARE THE SITE?

Before you begin assembly, clear the construction area. Remove all debris; roots, grass, rocks etc. Make sure the ground slopes away from the site at least 10 feet in all directions. If necessary, build up the soil in the center of the site and slope away from the high point to provide drainage. Fill in any low spots within the perimeter of the site. GRADE A SLOPE OF 1/8" PER FOOT, enough to prevent water accumulation. We recommend excavating the site 4" deep and laying gravel or crushed rock where drainage may be a concern.

## WHAT TYPE OF FOUNDATION SHOULD I USE?

### Concrete Patio Stone Foundation (Option 1):

If the ground is stable and has sufficient drainage, you can set patio stones directly on firm compacted soil. If not, lay the Patio Stones on gravel or crushed rock. Place the Patio Stones at the load bearing points of the floor and under each doorway post. You may wish to slide the exterior Patio Stones a few inches under the Floor Joist System to reduce a tripping hazard.

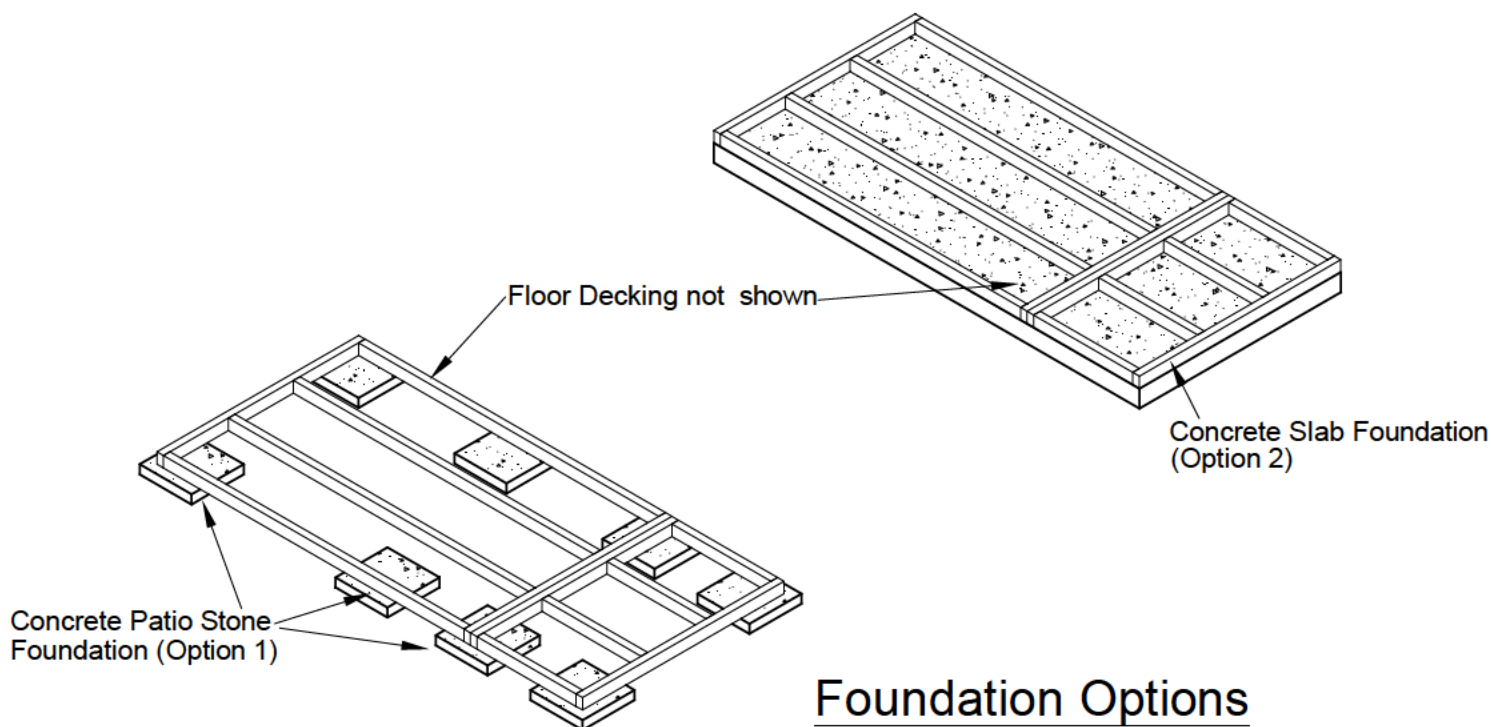
With all of the Patio Stones in place, you are now ready to level the Patio Stone Foundation.

Using a shovel, add or remove soil beneath each Patio Stone to adjust the level. Use a carpenter's level on a long straight piece of lumber on end to level from one Patio Stone to another for all the Patio Stones. Remember to compact (soil/sand/gravel) as much as possible under each Patio Stone. It is recommended that you level the outside Patio Stones first and then work your way inward.

### Concrete Slab Foundation (Option 2)

Typically a slab 3"-4" thick laid over a subbase of 4" of gravel or crushed rock is sufficient but may vary (consult your local Cedarshed supplier). Either mix your own concrete or have it delivered to your site. A 10' x 10' x 4" slab will require approximately 1 cubic yard of concrete. In any case, make sure you excavate the slab area to a depth of 6", use 4" of gravel as your subbase, Welded Wire Mesh as reinforcing (optional) and 4" of concrete (trowel to allow for drainage away from the center high point).

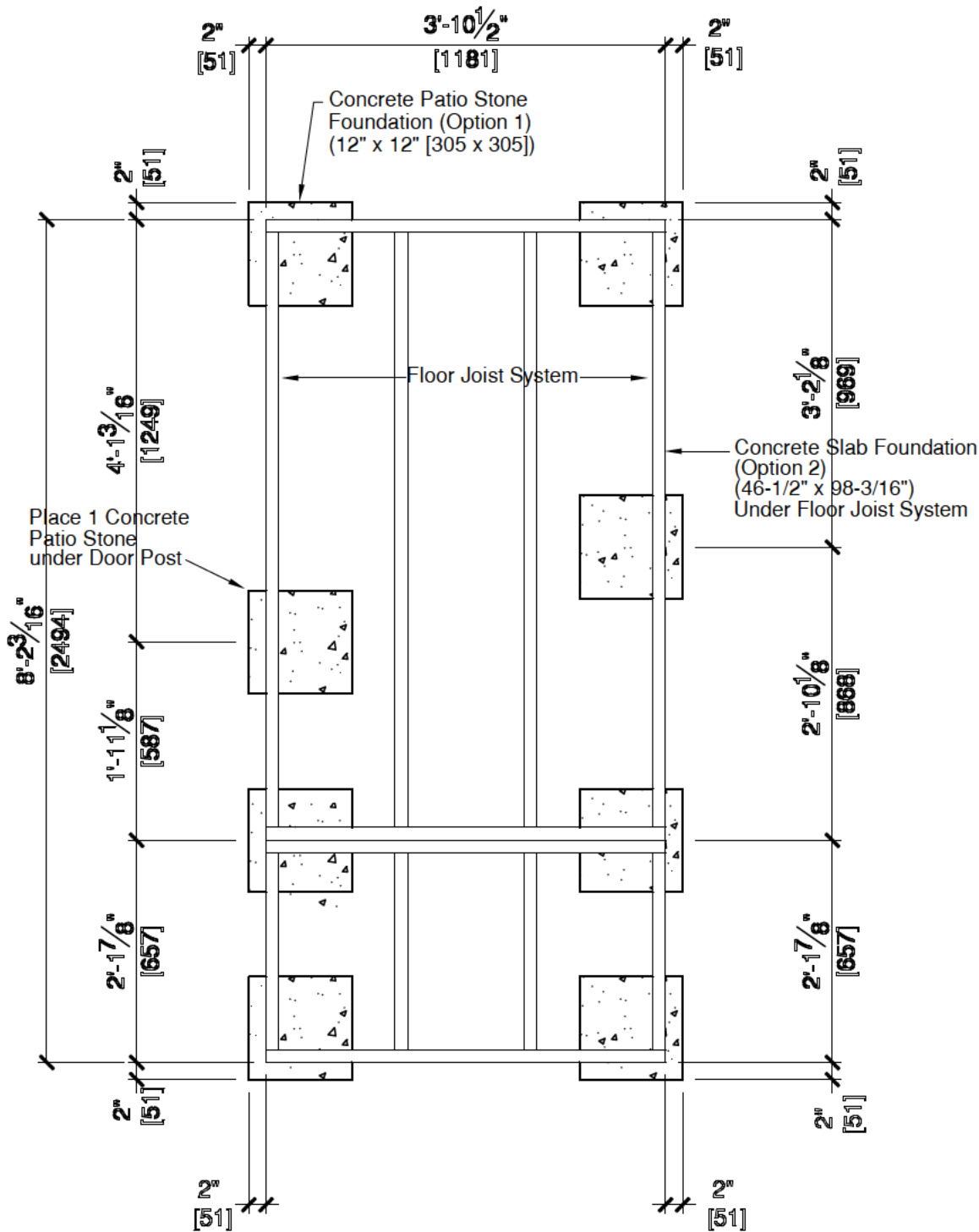
THE CONSTRUCTION OF 'THE GARDEN SHED' MUST BE DONE ON A LEVEL FOUNDATION AND BE IN ITS FINAL LOCATION. PLACE ADDITIONAL FOUNDATION PADS AS YOU FEEL NECESSARY TO STABILIZE THE FLOOR SYSTEM. YOU MUST HAVE A LEVELED FOUNDATION BEFORE PROCEEDING TO LAY FLOOR ASSEMBLY.



## Foundation Options

Refer to following sheets for dimensions





Foundation Plan

[Metric Dimensions shown in brackets]

# Floor Assembly

## Joist Box Assembly

Lay the joist parts out as per Fig P-11-1 Using 2 - 3" screws per joist. Assembly the joist box together as per Fig P-11-2  
The completed joist box is pictured in Fig. P11-3.

46 1/2" x 72" Joist Box - P11

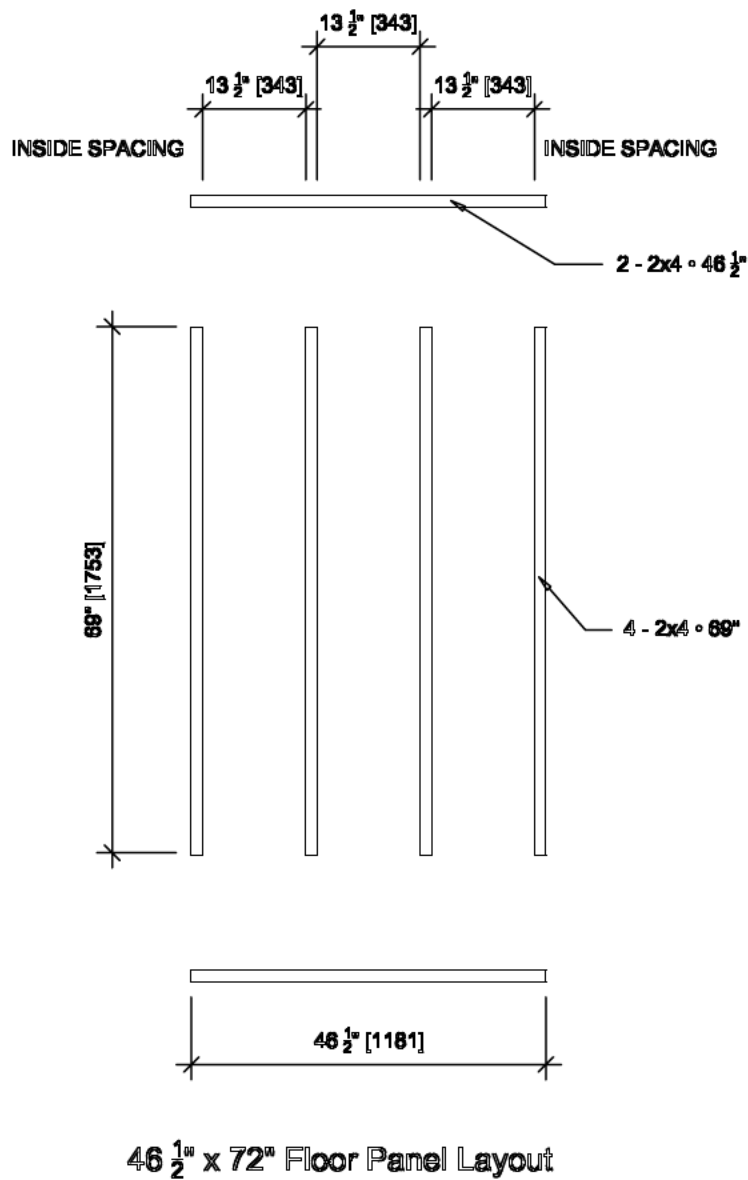


FIG. P11-1

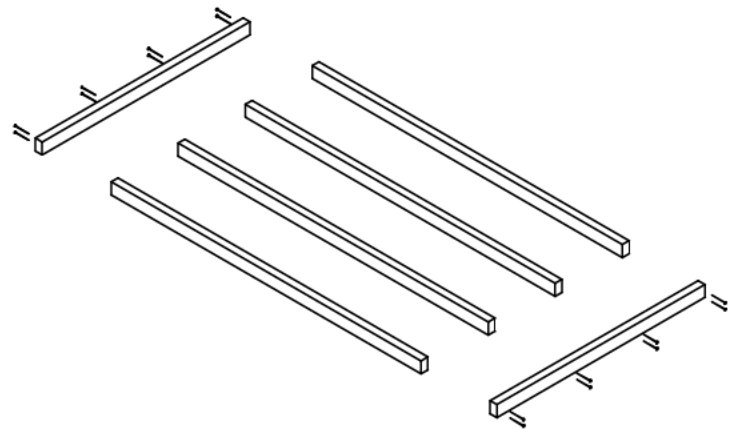


FIG. P11-2

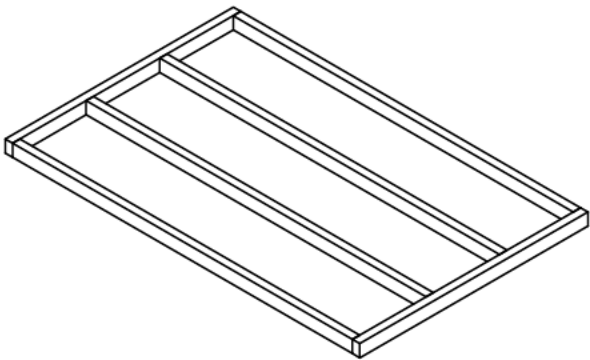


FIG. P11-3

Part Number	Description	Size or Type	# of Pcs.	CODE
FLOOR PARTS				
P - 2423	Floor joist	2 x 4 x 23"	4	P-2423
P - 2446G	Floor joist	2 x 4 x 46 1/2"	4	P-2446G
P - 2469	Floor joist	2 x 4 x 69"	4	P-2469
P - PL - 12446G	Plywood sheet	5/8" x 24 x 46 1/2"	3	P-PL-12446G
P - PL - 12464G	Plywood sheet	5/8" x 26 x 46 1/2"	1	P-PL-12464G

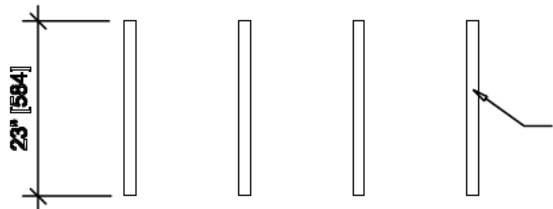
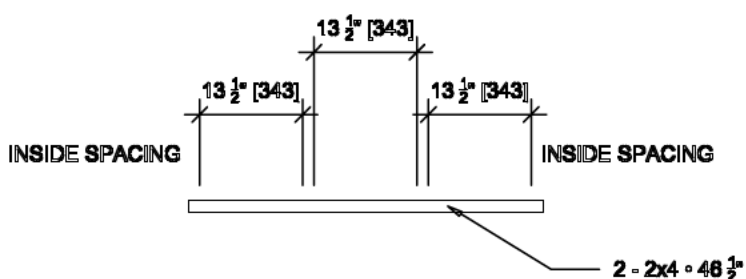
# Floor Assembly

## Joist Box Assembly

B84

Lay the joist parts out as per Fig P-12-1. Using 2 - 3" screws per joist. Assembly the joist box together as per Fig P12-2. The completed joist box is pictured in Fig. P12-3.

46 1/2" x 26" Joist Box - P12



46 1/2" x 26" Floor Panel Layout

FIG. P12-1

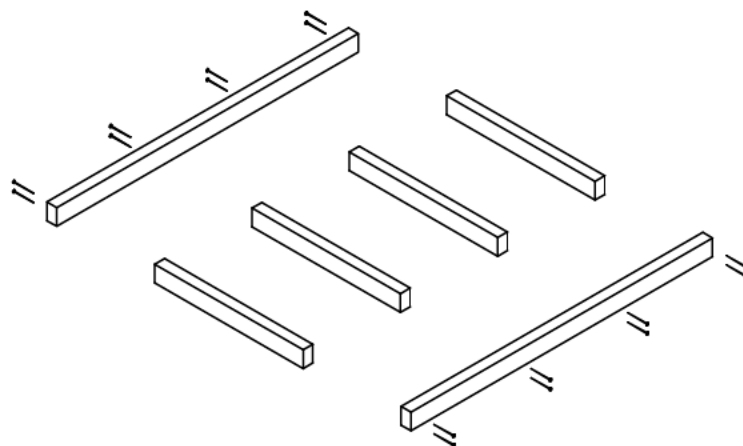


FIG. P11-2

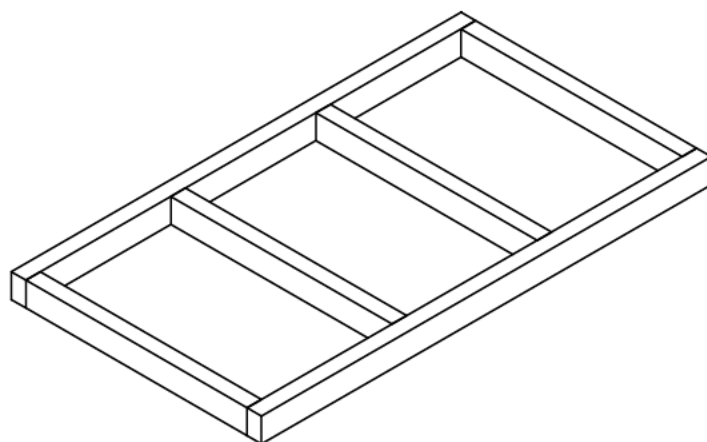


FIG. P12-3

# Floor Assembly

Attach P11 and P12 joist boxes together using 6 - 3" screws. Please refer to F-1 and F-2.

FIG. F-1

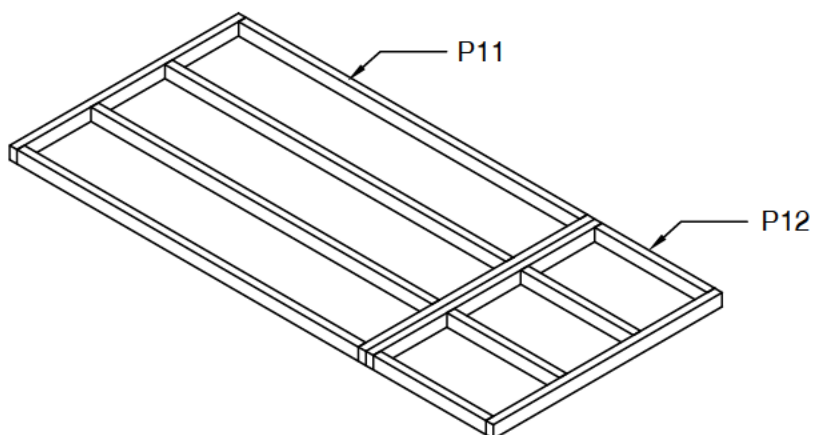


FIG. F-2

Affix the plywood panels as per Fig. F-3 using 2" screws on 12" and affixing the plywood to each row of joist. The finished floor is shown in Fig. F-4.

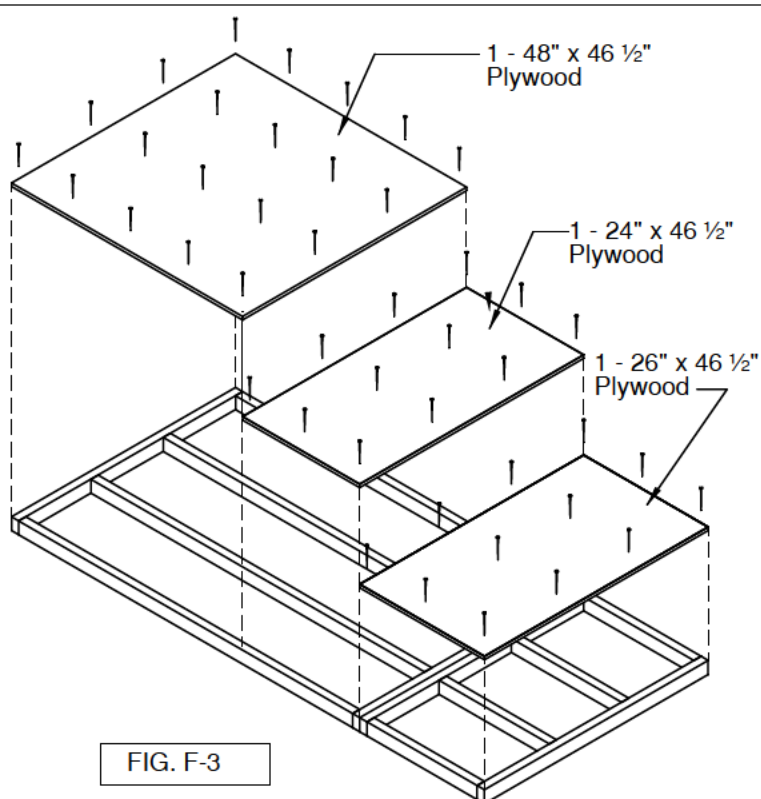


FIG. F-3

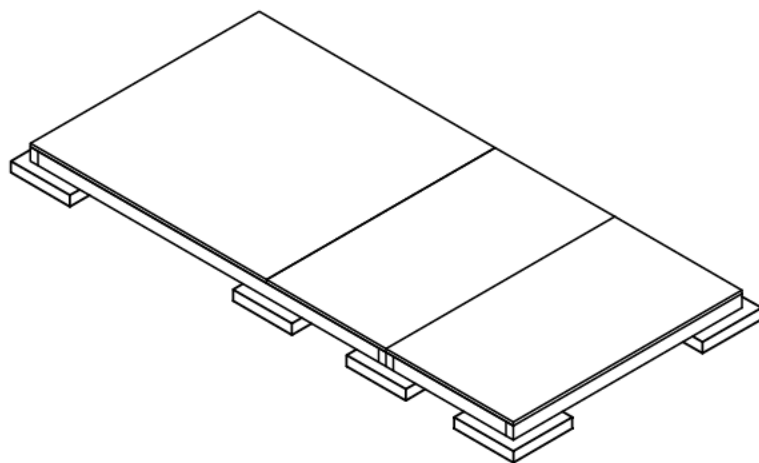


FIG. F-4



# Wall Assembly

- Before beginning to mount the wall panels onto the floor, a decision has to be made as to the location of the door and window. Once these are determined then we can proceed with mounting the wall in there desired positions.
- For our instruction example we have chosen to have the window and door located on the wide (8 ft [2.4m] low wall side.
- Layout all wall and door panels flat on the ground around the completed floor system as shown (FIGURE S1).
- Attach 2" x 3" Wall Headers to the 4 solid wall panels that do not have one with 3 - 3" screws as shown (FIGURE S2).
- Starting from a rear corner, raise and attach an end wall panel to the floor with 3 - 3" screws (FIGURE S3).

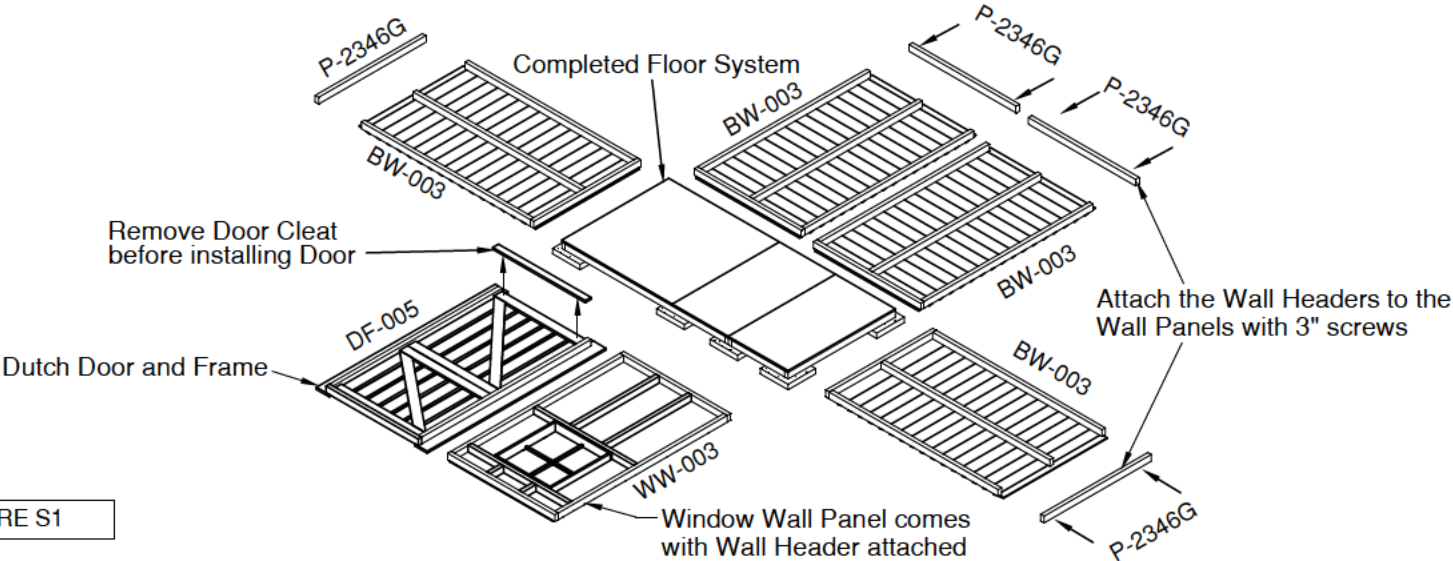


FIGURE S1

Part Number	Description	Size or Type	# of Pcs.	CODE
WALL PARTS AND PANELS				
P-2346G	Headers	2 x 3 x 46 1/2"	4	Not shown
BW - 003	Solid wall panels	46 1/2" x 73 1/4"	4	B-003
WW - 003	Window wall panel	46 1/2" x 74 3/4"	1	W-003
DF - 005	Door frame	48" x 73 1/4"	1	DF-005

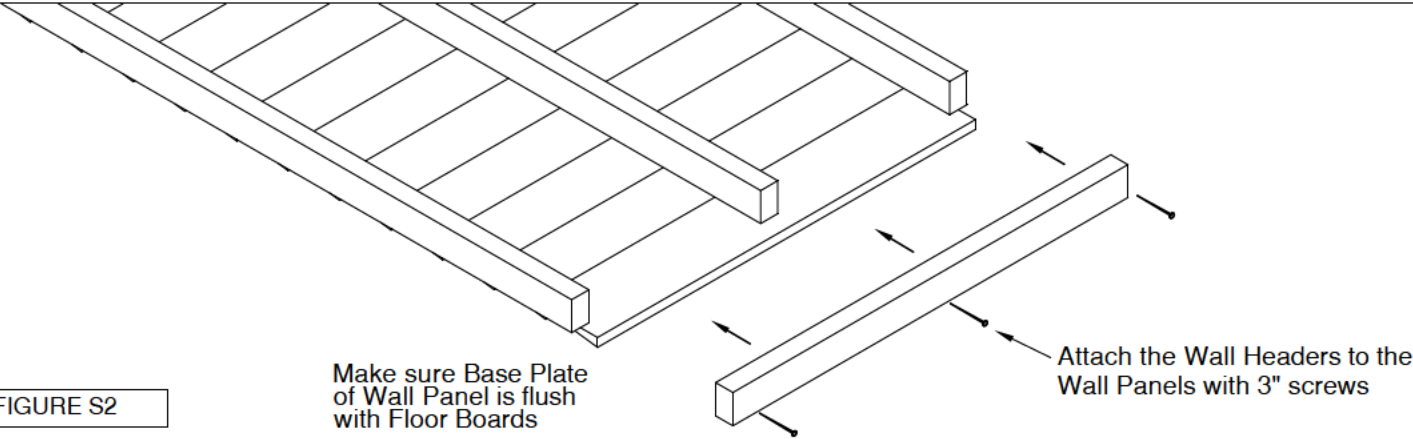


FIGURE S2

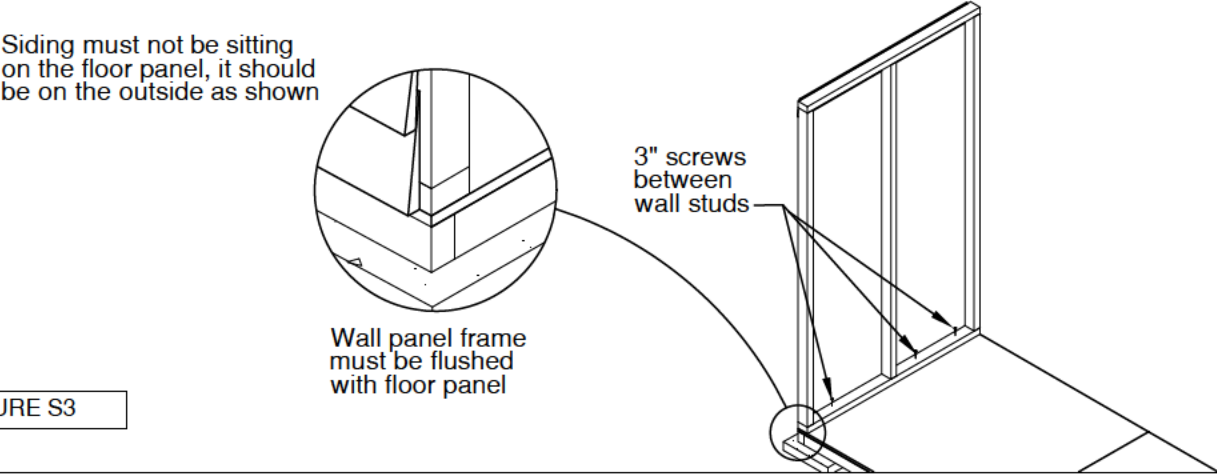


FIGURE S3

# Wall Assembly

B84

- Continuing installing all panels except for the door panel, in desired positions using 5 - 3" screws to attach each of the panels together and 3 - 3" screws to attach to the floor.

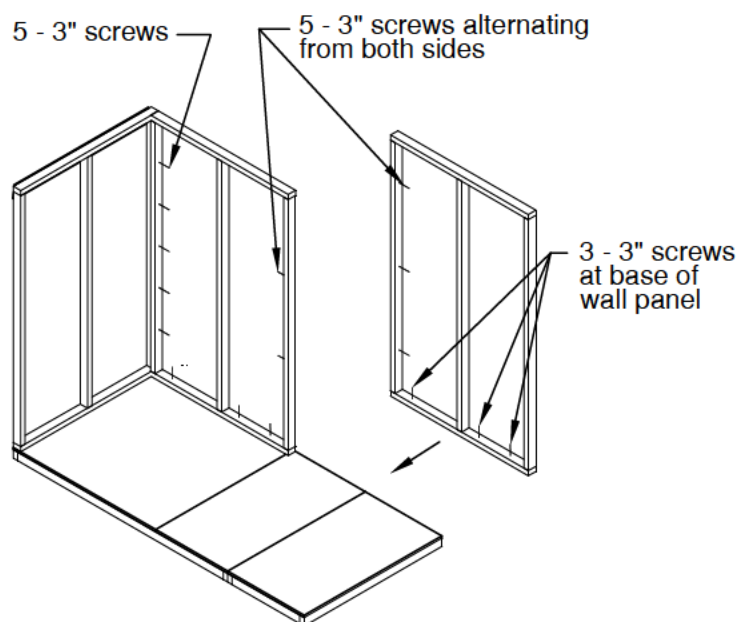


FIGURE S4

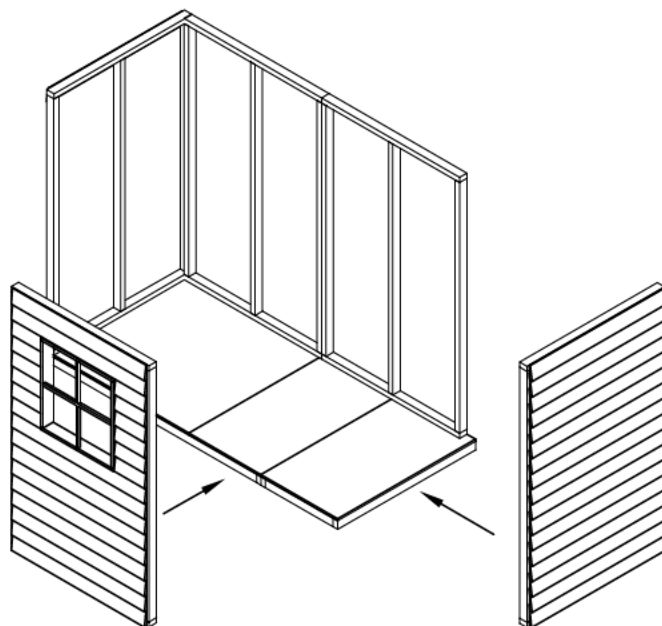
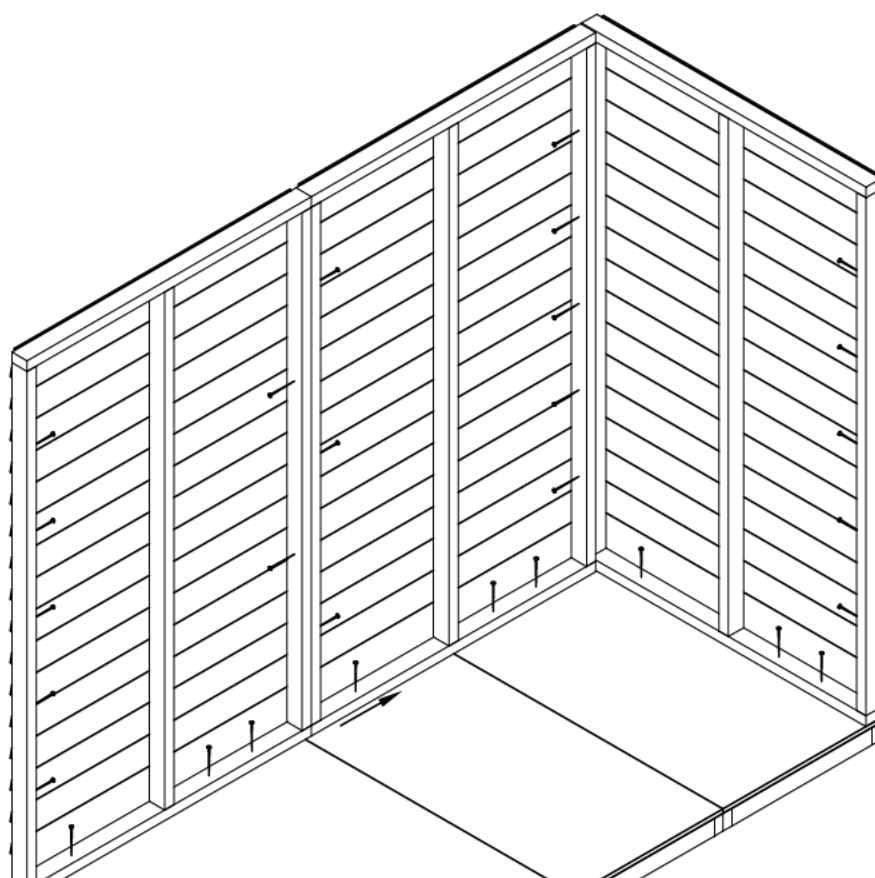


FIGURE S5



Screw pattern  
wall to wall  
and to floor

FIGURE S6

- Before installing door panel, the hinges need to be mounted. The Dutch Door is made as a right or left hand opening. Attach the hinges accordingly. In the illustration below we have chosen a left hand opening configuration. Make sure there is an  $\frac{1}{8}$ " [3mm] gap at the top of the door, between the top and bottom halves of the Dutch doors, and of the non hinge vertical edge of the door. See Figure 8 below for details. These gaps will allow the door to open freely. Use the  $\frac{1}{16}$ " drill bit to pre-drill the holes before installing the hinges.
- Now remove the door cleat and affix door panel into place using 10 - 3" screws to attach the adjoining panels.

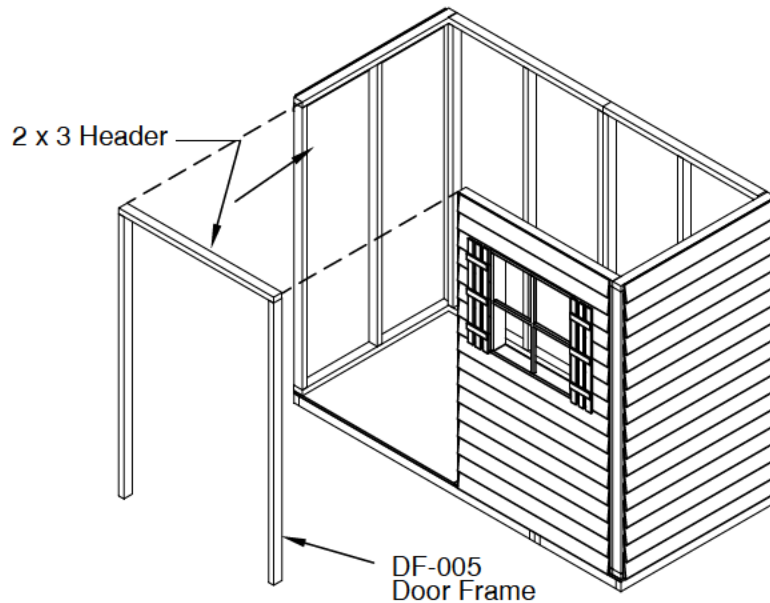


FIGURE S7

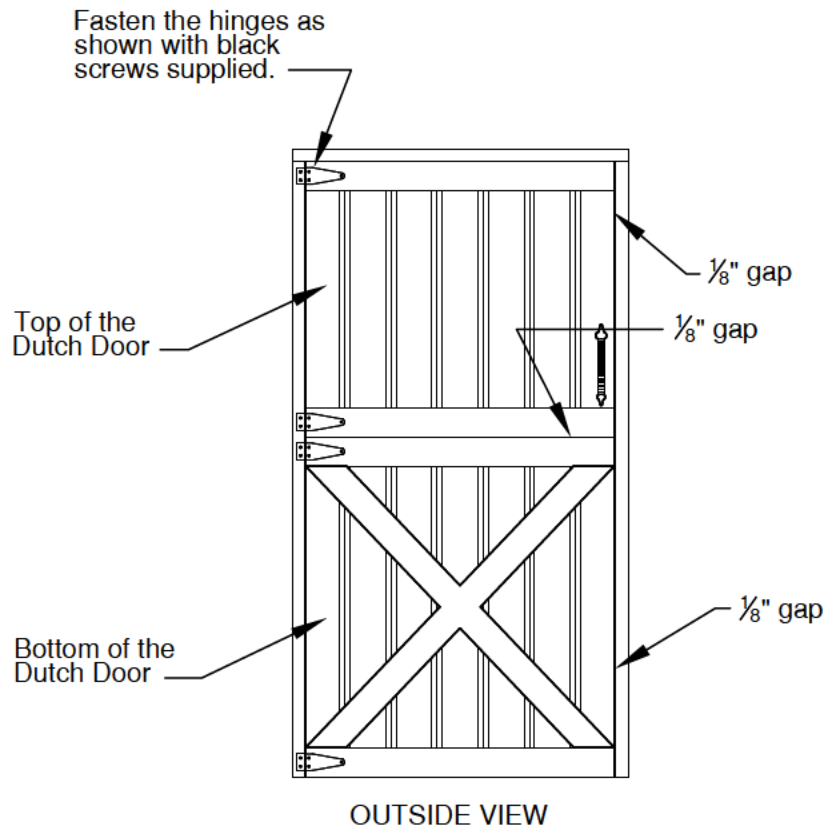


FIGURE S8

# Top Plate & Infill Walls

B84

- When all the Door and Wall Panels are standing, you will now attach the 2" x 3" Top Plates (FIGURE S10 & FIGURE S11)
- When all the Walls and Top Plates are in place, you will now attach the two Roof Gables and the two Infill Walls with 3" screws (FIGURE S12 and FIGURE S13). Use 2 - 3" screws to attach gable and infill walls together at each joint and use 3 - 3" screws to attach each gable and infill wall to top of the walls,

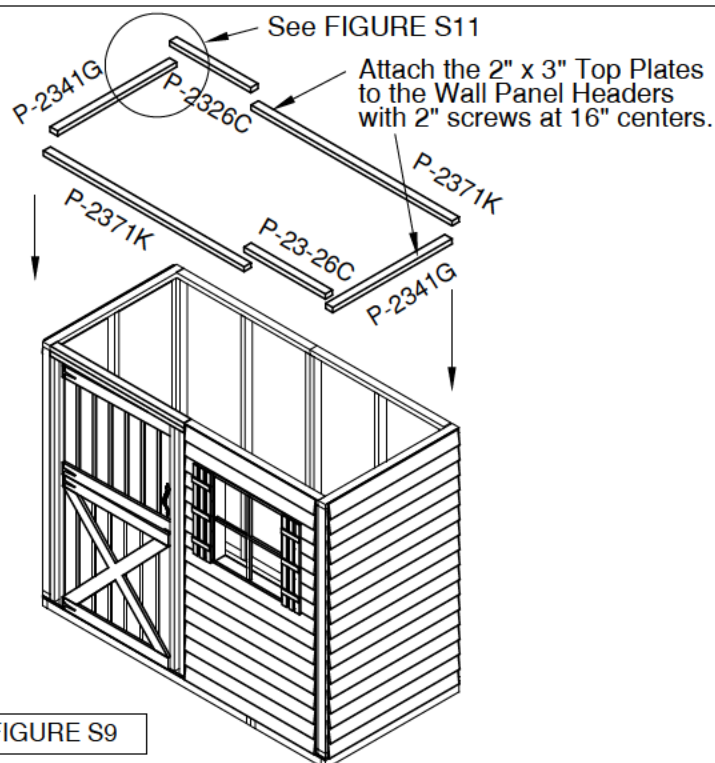


FIGURE S9

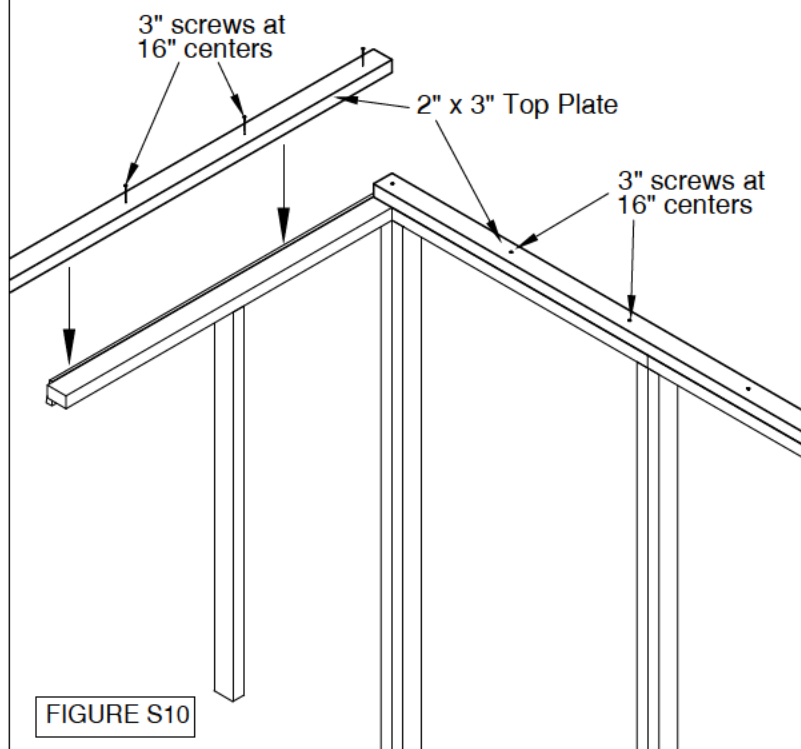


FIGURE S10

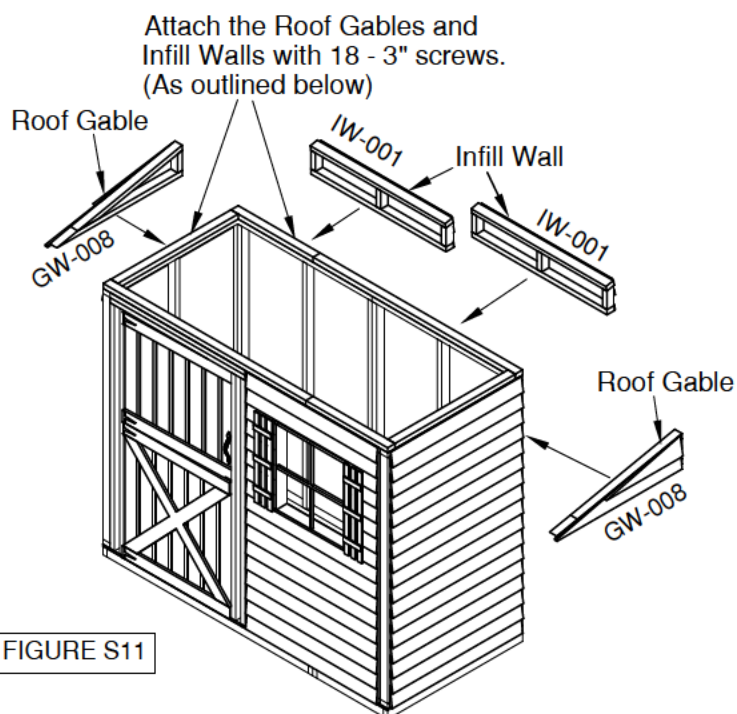


FIGURE S11

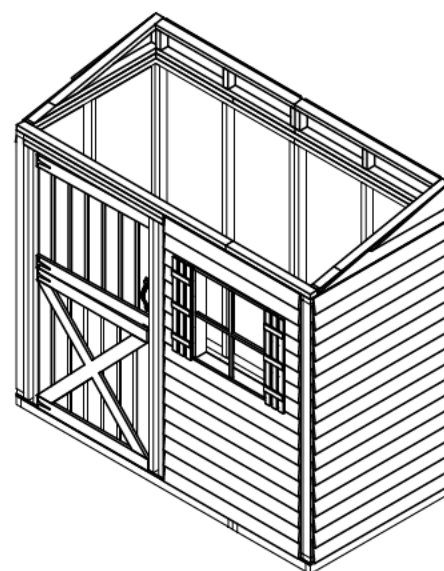


FIGURE S12

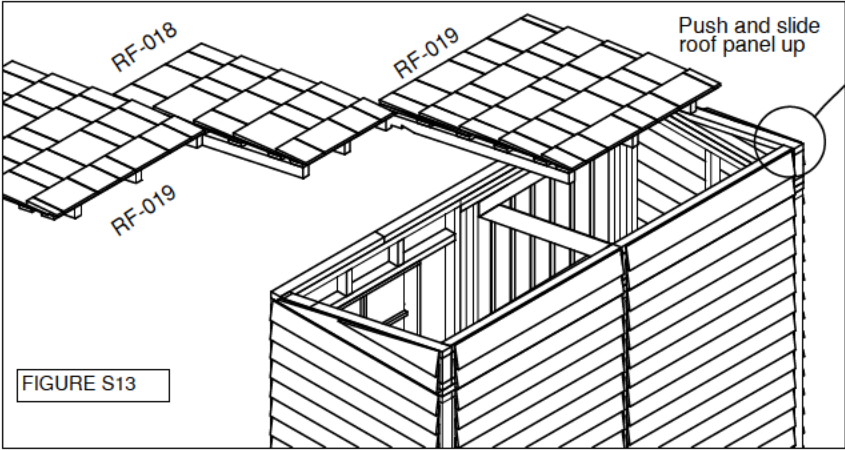
Part Number	Description	Size or Type	# of Pcs.	CODE
TOP PLATES				
P - 2371K	Top plates	2 x 3 x 71 3/4"	2	P-2371K
P - 2326C	Top plates	2 x 3 x 26 1/4"	2	P-2326C
P - 2341G	Top plates	2 x 3 x 41 1/2"	2	P-2341G
GABLE PANELS				
GW - 008	Gable panels	9 x 51 5/8"	2	GW-008
IW - 001	Infill wall panels	46 1/2" x 9 1/4"	2	IW-001



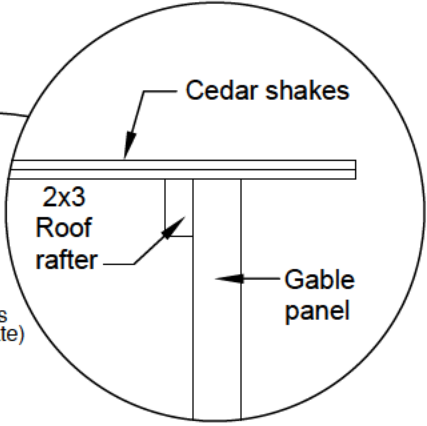
# Roof Assembly

- Slide first roof panel into place. Use 3 - 3" screws to attach to gable wall.
- Slide next roof panel into place, using 3 - 3" screws attach to opposite gable wall and an additional 3 - 3" screws to attach to adjoining roof panel.

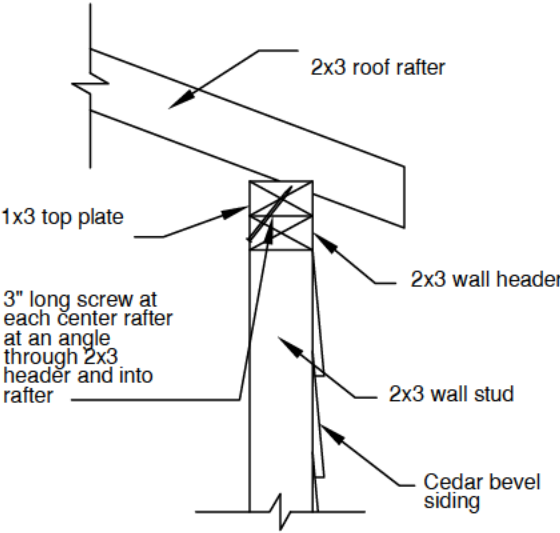
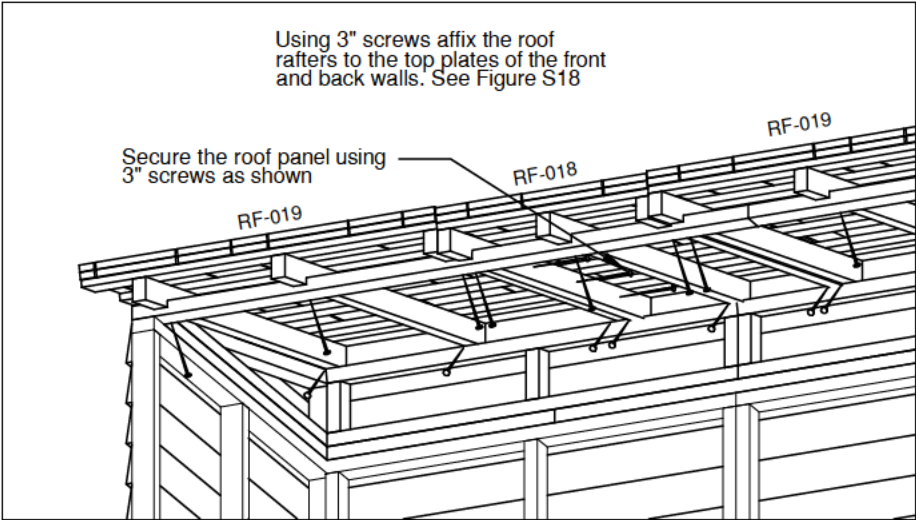
**NOTE:**  
The end gable fascia boards indicates the left and right of each roof panel. You may need to adjust the panels until the fascia line up properly.



FIRST ROOF PANEL PUSHED INTO PLACE. (Adhesive between rafters and on seat cut to top plate)



Part Number	Description	Size or Type	# of Pcs.	CODE
ROOF PANELS				
RF - 019	Roof panels	42 3/4" x 51 5/8"	2	RF-019
RF - 018	Roof panel	24" x 51 5/8"	1	RF-018



- When complete, take the Metal Flashing Shingles and slide them one by one between the rows of Cedar Shingles along the Roof Panels Joints (FIGURE S15)

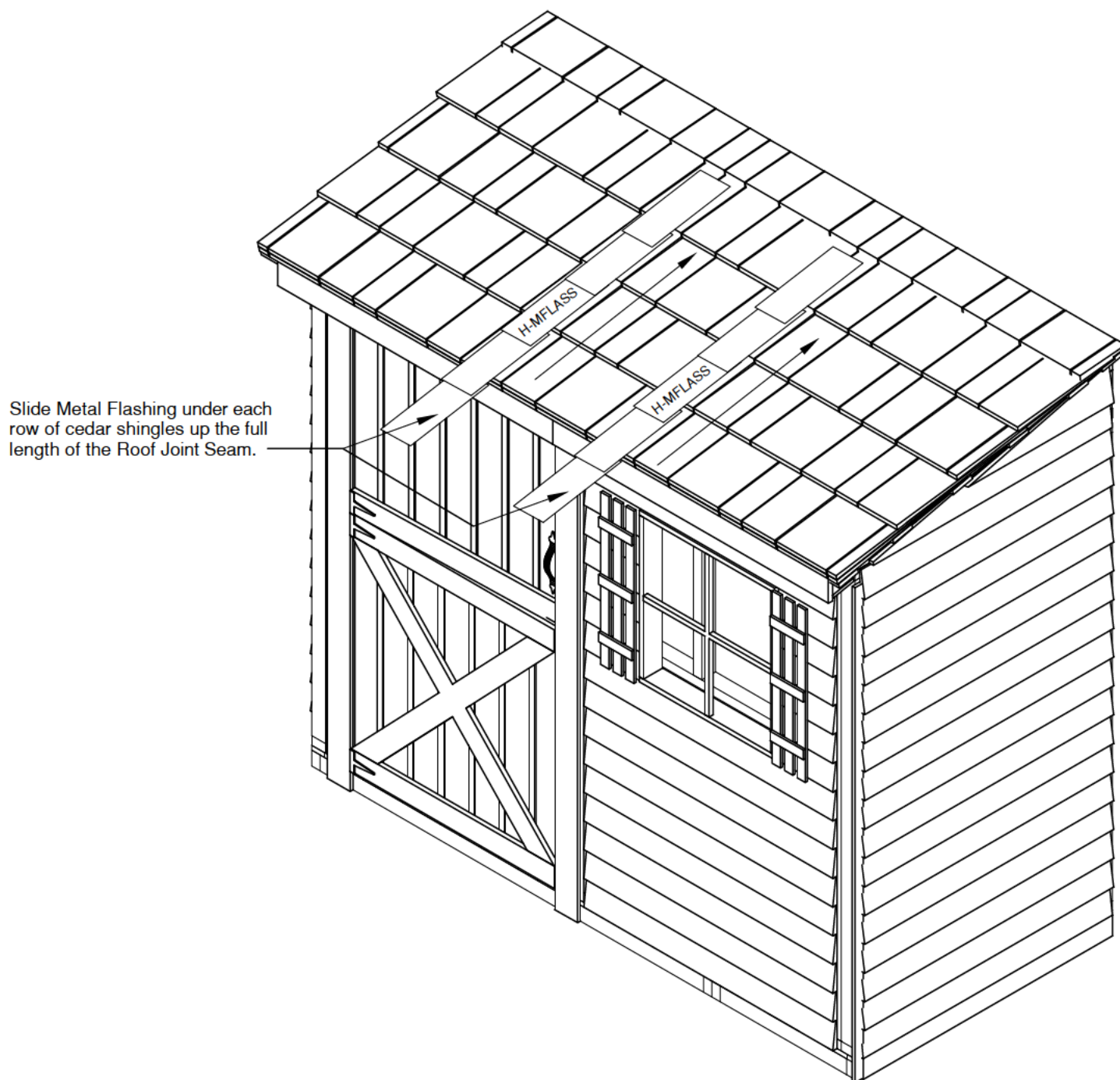


FIGURE S16

## Trim Board Installation

1. Shown here is a cross-section diagram showing how the soffits and fascia would appear after they have been applied.
2. All trim is minor bundled for easy identification.
3. ALL TRIM BOARDS SHOULD BE APPLIED WITH THE ROUGH (OR WHAT IS NORMALLY REFERRED TO AS THE RESAWN FACE) FACE EXPOSED. As you will note the cedar plywood face of the shed is also a resawn texture. This is done to allow the cedar fibre to better accept the stain. so to better protect your trim pieces they should also have the resawn exposed.
4. IT IS ALSO RECOMMENDED THAT A GOOD LATEX CAULK BE APPLIED TO THE SEAMS BETWEEN WALL PANELS. THIS HELPS TO KEEP ANY WATER OUT THAT MAY SOAK IN UNDER THE TRIM BOARDS.
5. Depending on the choice of the door location there may be some trimming of the trim boards required. Altering trim boards if door is on the 4 ft [1219mm] narrow side of the high wide side of the shed.

1 - 1 x 2 x 88" (P-1289G) trim board needs to be cut to 1 - 80 1/2" (P-1208G) and 1 - 10 1/2" pieces. The P-1208G trim will be used as a trim board on the wide low side of the shed. The 10 1/2" will be used on the gable panel above the door (refer to future steps for in trim details B & C.)

Altering trim boards if door is located on the wide high side of the shed.

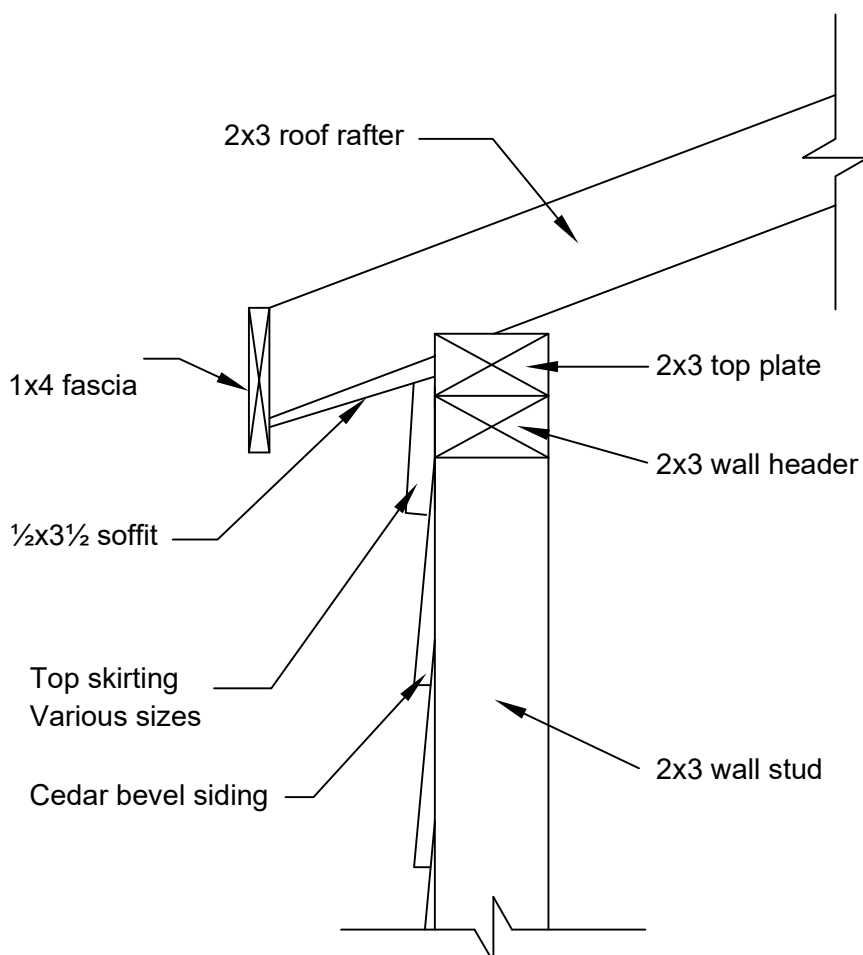
This trim board cutting is in addition to the noted cut required.

1 - 1 x 3 1/4" x 89 1/2" (P-13C89G) trim board needs to be cut to 1 - 79 1/4" (P-13C79C) and 1 - 10 1/2" pieces. The P-13C79C trim will be used as a corner trim on the narrow low wall. The 10 1/2" piece will be used on the high wall gable (refer to a future step in trim detail C.)

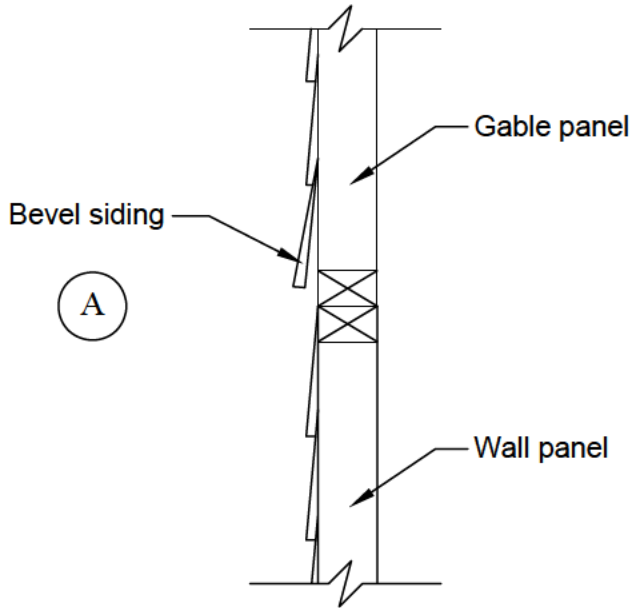
*Here is the order they should be applied,*

1. Soffit (smooth both sides)
2. Corner trim (resawn face out)
3. Gable trim (resawn face out)
4. Fascia (resawn face out)

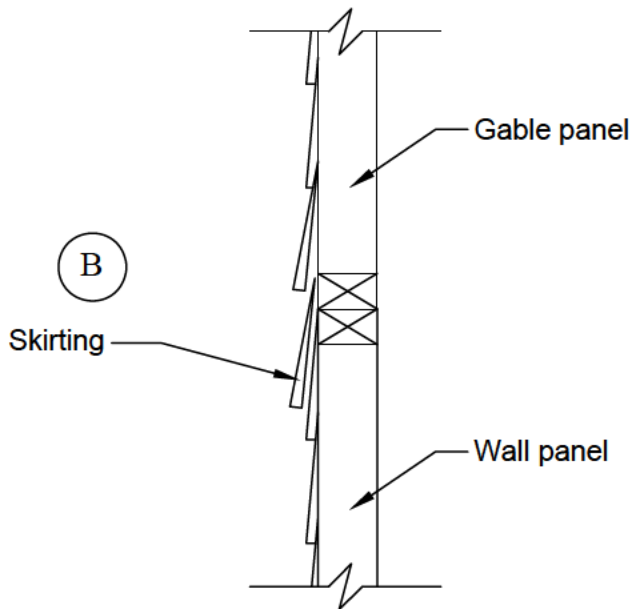
(Detailed diagrams on following pages)



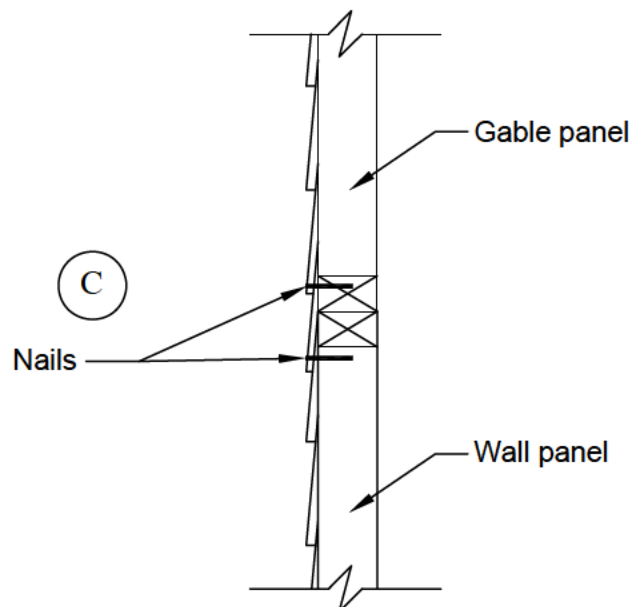
## INSTALLING THE TOP SKIRTING AT GABLE AND HIGH WALL PANELS



Pry the last horizontal bevel siding piece on the bottom of the gable panel slightly. Do not use too much force or the bevel siding will break.



Slide in the skirting, behind the bevel siding as shown on diagram (B)



Nail the skirting piece through the bottom of the above piece of the bevel siding and through the bottom of the skirting piece as shown on diagram (C)



- There are three pieces of soffit to be attached on the low wide side of the shed. Using 2 - 1 3/4" nails for each end of the soffit and 1 - 1 3/4" nail for the center of each soffit attach the soffit to the underside of the rafter ends. For details refer to Figure S20 below.

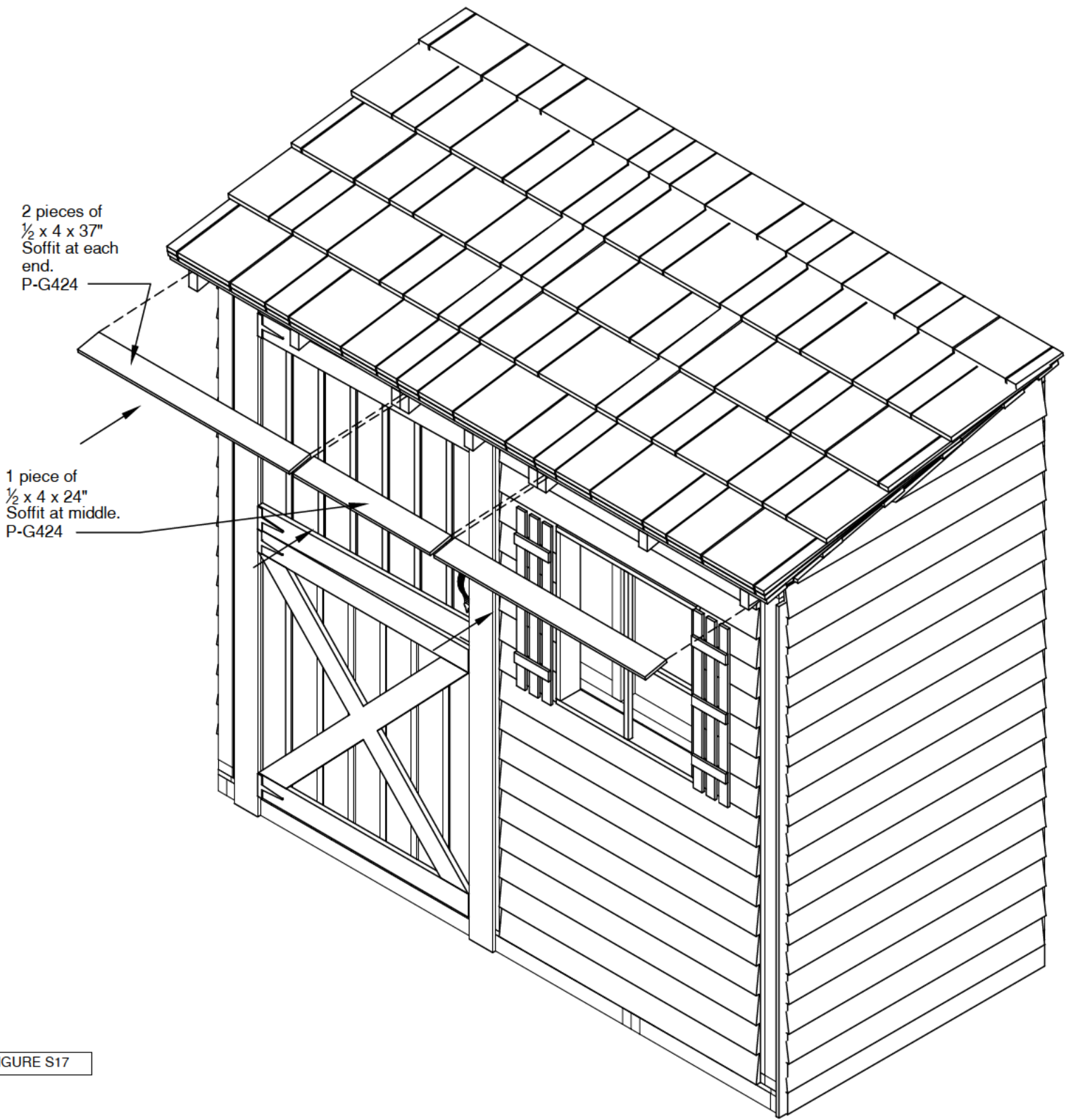


FIGURE S17

Part Number	Description	Size or Type	# of Pcs.	CODE
SOFFITS				
P - G437	Soffits	1/2 x 4 x 37"	2	P-G437
P - G424	Soffit	1/2 x 4 x 24"	1	P-G242

# Top and Bottom Skirting

- Install all Exterior Trim, Corner Boards, Top and Bottom Skirting, Cedarshed Plaque, Soffit Boards, Fascia etc. with 1-3/4" finish nails at 12" centers (FIGURE 17 and FIGURE 18).

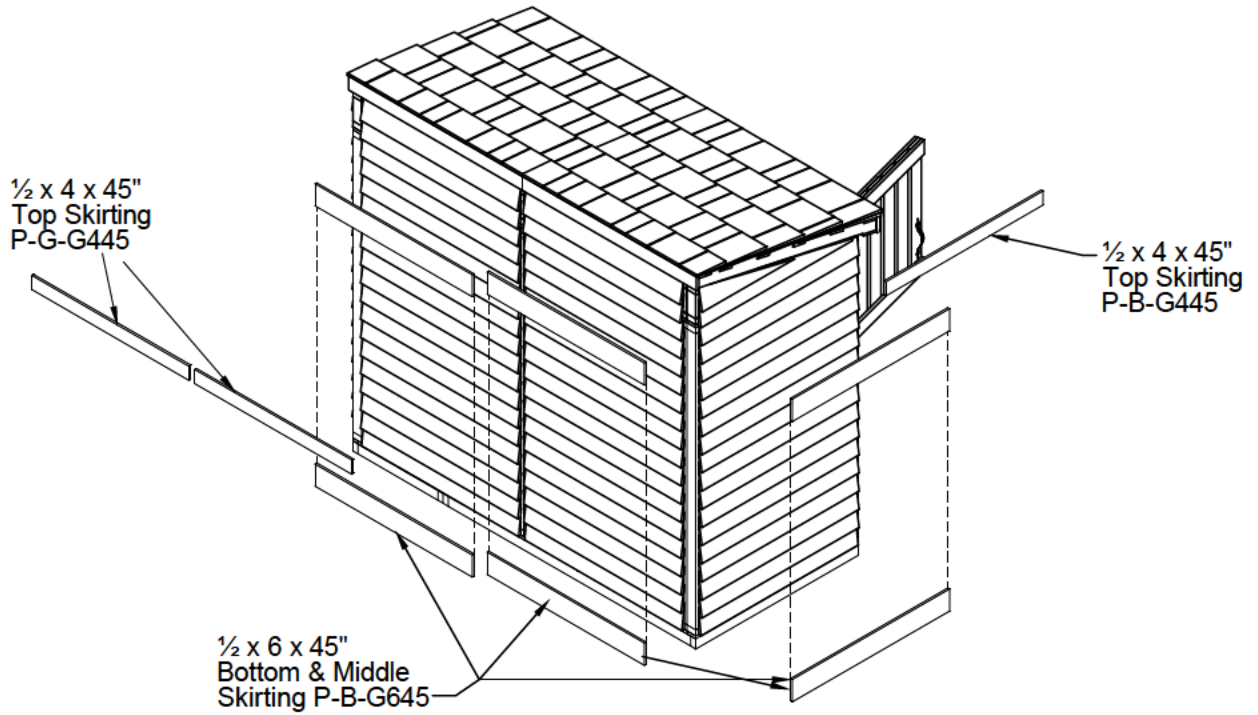


FIGURE S18

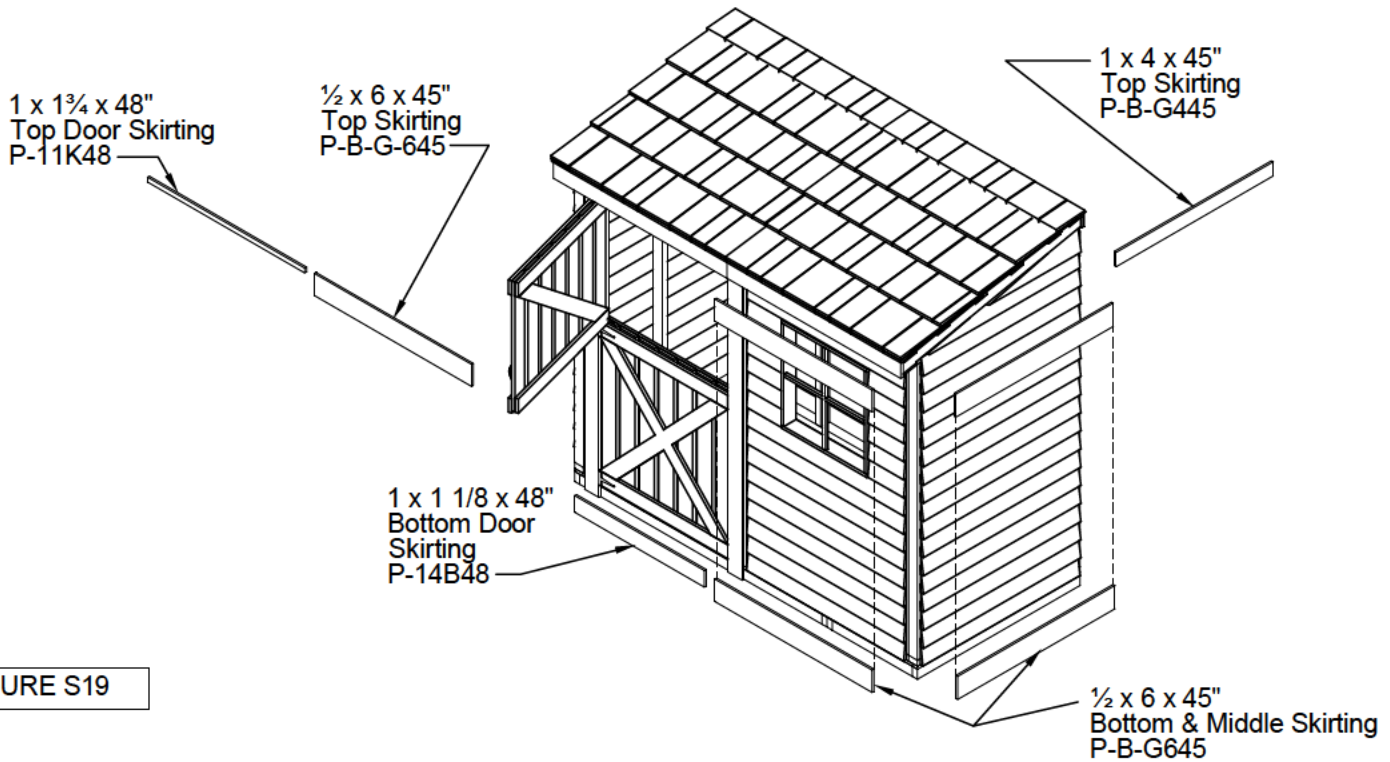


FIGURE S19

Part Number	Description	Size or Type	# of Pcs.	CODE
SKIRTING				
P - B - G645	Skirting	1/2 x 6 x 45"	9	P-B-G645
P - B - G445	Skirting	1/2 x 4 x 45"	3	P-B-G445
P - 14B48	Door Skirting	1 x 4 1/8 x 48"	1	P-14B48

- Installing the 8 pieces of fascia. Use 2 - 1 $\frac{3}{4}$ " nails to affix each end of the fascia boards and 1 -  $\frac{3}{4}$ " nail to affix the middle of the fascia boards to the rafter ends.

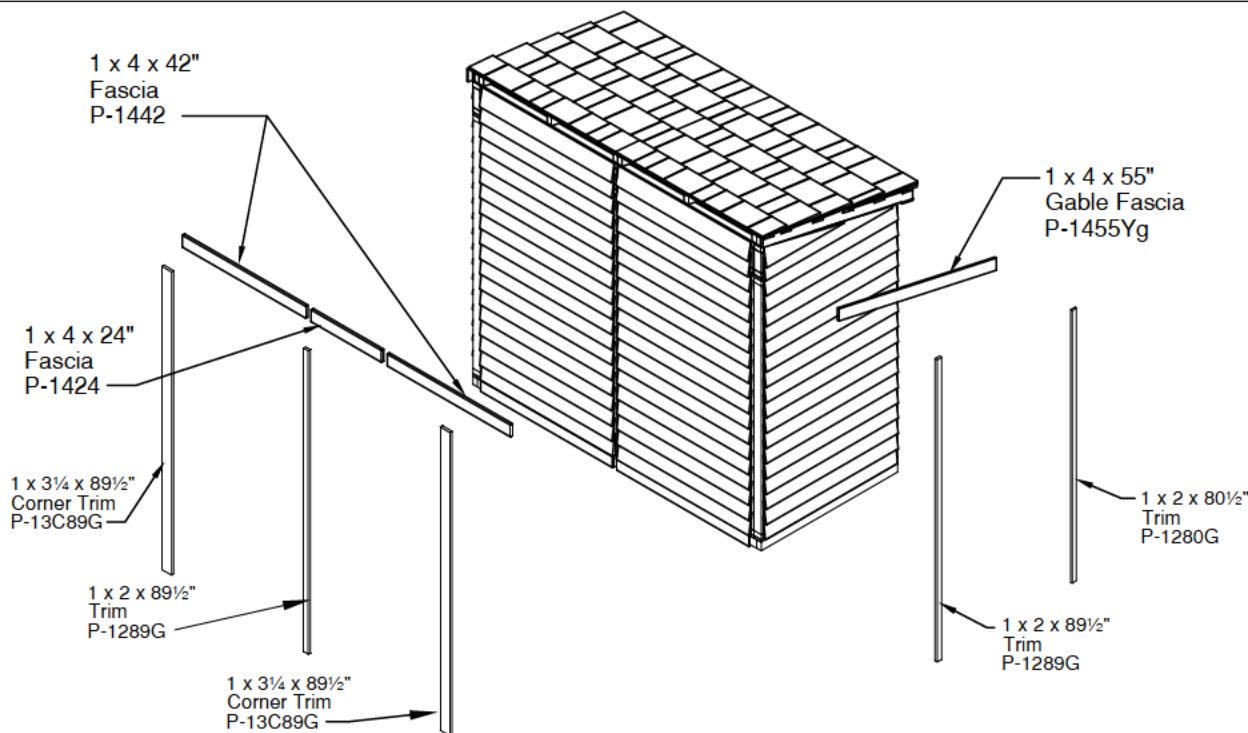


FIGURE S20

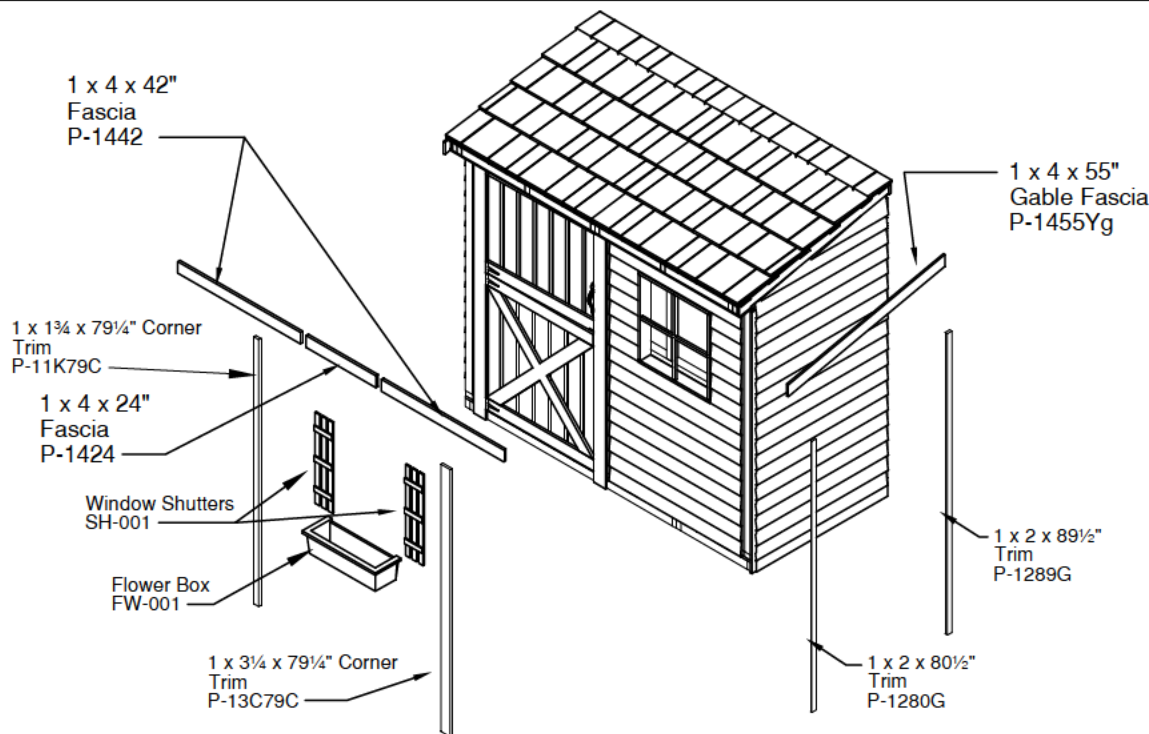


FIGURE S21



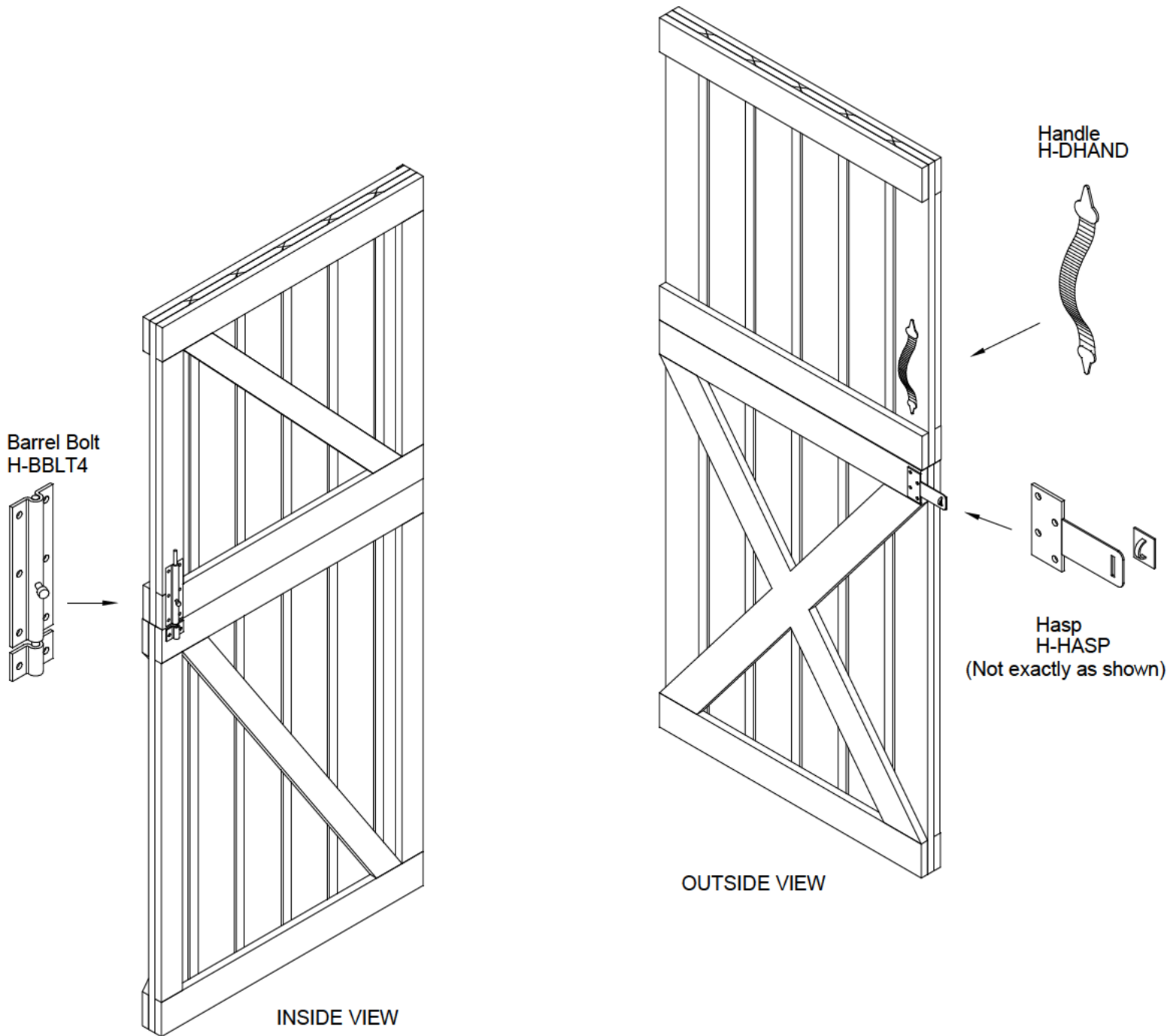
'Cedarshed' Plaque  
on Fascia  
H-PLAQL

Part Number	Description	Size or Type	# of Pcs.	CODE
FASCIA				
P - 1442	Fascia	1 x 4 x 42"	4	P-1442
P - 1424	Fascia	1 x 4 x 24"	2	P-1424
P - 1455Yg	Gable Fascia	1 x 4 x 55"	2	P-1455Yg
TRIMS PARTS				
P - 1280G	Trim (Short)	1 x 2 x 80 $\frac{1}{2}$ "	2	P-1280G
P - 11K79C	Trim (Short)	1 x 1 $\frac{3}{4}$ x 79 $\frac{1}{4}$ "	1	P-11K79C
P - 13C79C	Trim (Short)	1 x 3 $\frac{1}{4}$ x 79 $\frac{1}{4}$ "	1	P-13C79C
P - 1289G	Trim (Long)	1 x 2 x 89 $\frac{1}{2}$ "	3	P-1289G
P - 13C89G	Trim (Long)	1 x 3 $\frac{1}{4}$ x 89 $\frac{1}{2}$ "	2	P-13C89G
P - 11K48	Top Door Trim (Narrow)*	1 x 1 $\frac{3}{4}$ x 48"	1	P-11K48
P - 1348	Top Door Trim (Wide)*	1 x 3F x 48"	1	No Code

\*Door trim - narrow to be used when door is located on 8ft side / wide to be used when door is located on 4 ft. side



- Pre-drill the holes before mounting the handles, barrel bolts and hasp, using  $\frac{1}{16}$ " drill bit. There is a barrel bolt supplied for you to mount on the inside which allow you to keep both halves together.



- Attach the shutters with 1  $\frac{3}{4}$ " finishing nails. Predrill the shutters with the 1/16" drill bit. See Figure S23.
- The planter box is fasten with 3" screws which are affixed through the 1x2 batten trim under the window and into the stud. See Figure S25 for details.
- Attach plaque with finishing nails. Rectangle shape plaques is attached to front fascia. See Figure S24.

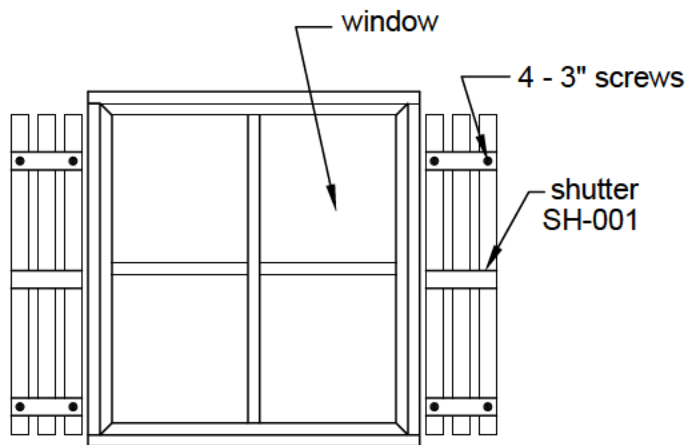


FIGURE S23

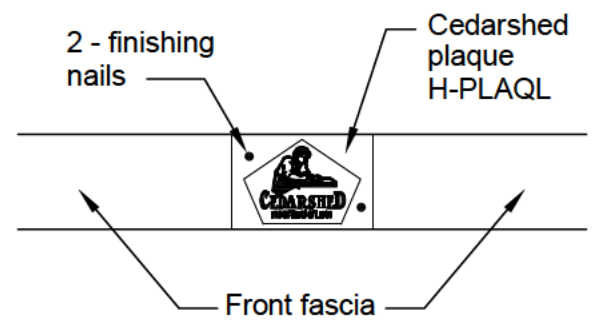


FIGURE S24

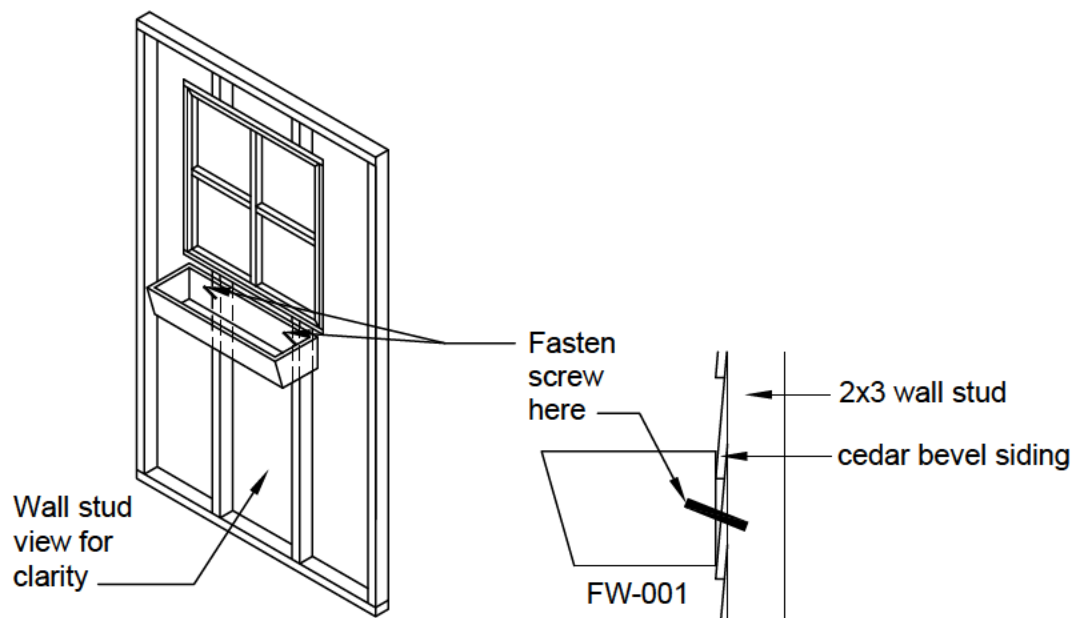


FIGURE S25

**CONGRATULATIONS**

You have just successfully completed the construction of your Cedarshed Building. Thank you for choosing a Cedarshed Product. We hope that your entire experience was a rewarding one and that you will have years of enjoyment with our product.

By completing our questionnaire and mailing a picture of your finished Cedarshed product, we will send you a personalized plaque free of charge that you can mount on your building (max. 36 letters). Don't forget to enter our 'Best Picture Contest'. Refer to Questionnaire for details.

Please refer to the questionnaire or call Cedarshed if you require additional information.

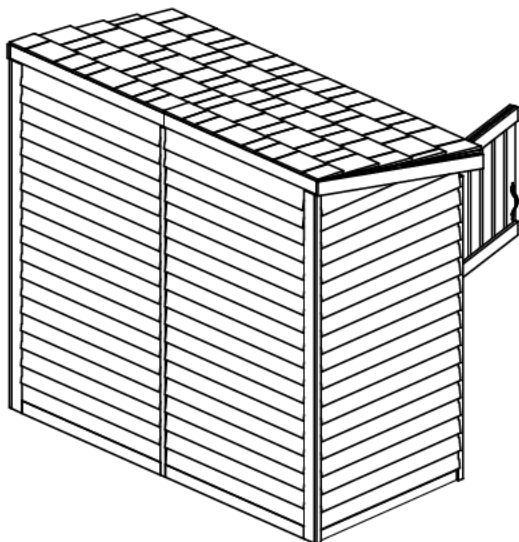
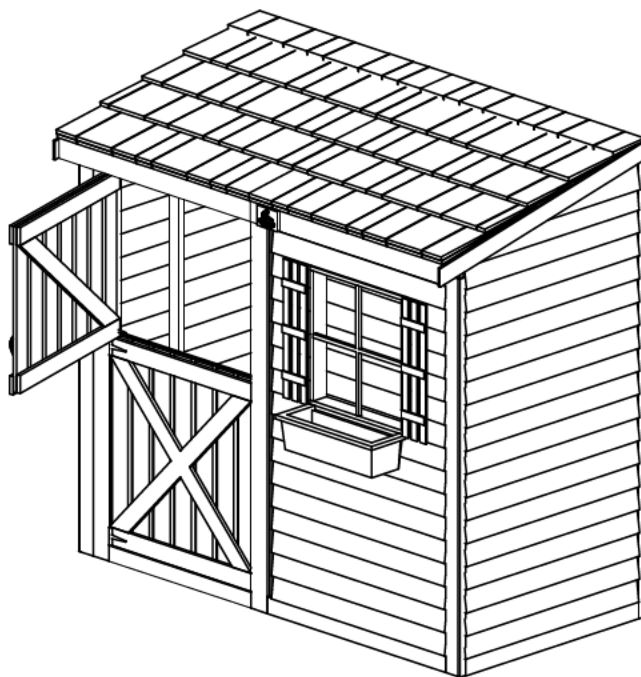
TOLL FREE CUSTOMER SUPPORT: 1-800-830-8033

e-Mail: sales@cedarshed.com

Visit our Website: www.cedarshed.com

Mailing Address:

CS Manufacturing Inc.  
P.O. BOX 1019  
Vernon, B.C. V1T 6N2  
Canada





Massachusetts Department of Environmental Protection  
Bureau of Water Resources - Wetlands

Conservation Commission  
TOWN OF TRURO

**WPA Form 1- Request for Determination of Applicability**

**JUL 16 2024**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Municipality

**A. General Information**

**PAID**  
343

**Important:**  
When filling out  
forms on the  
computer, use only  
the tab key to move  
your cursor - do not  
use the return key.



1. Applicant:

Josh  
First Name

Grandel  
Last Name

6 Lily lane  
Address

Truro  
City/Town

MA.  
State

02666  
Zip Code

2. Property Owner (if different from Applicant):

John and Joan  
First Name

Marshall  
Last Name

4 Katherine rd.  
Address

Truro  
City/Town

MA.  
State

02666  
Zip Code

3. Representative (if any)

Josh  
First Name

Grandel  
Last Name

Grandel Const.  
Company Name

6 Lily lane  
Address

Truro  
City/Town

MA.  
State

02666  
Zip Code

**B. Project Description**

1. a. Project Location (use maps and plans to identify the location of the area subject to this request):

4 Katherine rd.  
Street Address

Truro  
City/Town

Latitude (Decimal Degrees Format with 5 digits after decimal  
e.g. XX.XXXXX)

Longitude (Decimal Degrees Format with 5 digits after  
decimal e.g. -XX.XXXXX)

Assessors' Map Number

Assessors' Lot/Parcel Number

b. Area Description (use additional paper, if necessary):

The hill that the deck area will be on seems "Solid"  
State

c. Plan and/or Map Reference(s): (use additional paper if necessary)

Title

Date

Title

Date

[How to find Latitude  
and Longitude](#)

[and how to convert  
to decimal degrees](#)





Massachusetts Department of Environmental Protection  
Bureau of Water Resources - Wetlands

**WPA Form 1- Request for Determination of Applicability**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Municipality \_\_\_\_\_

**B. Project Description (cont.)**

2. a. Activity/Work Description (use additional paper and/or provide plan(s) of Activity, if necessary):

Strip and replace existing Deck. However the existing length going away towards street will be 12' less "Please see plans"

- b. Identify provisions of the Wetlands Protection Act or regulations which may exempt the applicant from having to file a Notice of Intent for all or part of the described work (use additional paper, if necessary).

3. a. If this application is a Request for Determination of Scope of Alternatives for work in the Riverfront Area, indicate the one classification below that best describes the project.

- ☐ Single family house on a lot recorded on or before 8/1/96
- ☐ Single family house on a lot recorded after 8/1/96
- ☐ Expansion of an existing structure on a lot recorded after 8/1/96
- ☐ Project, other than a single-family house or public project, where the applicant owned the lot before 8/7/96
- ☐ New agriculture or aquaculture project
- ☐ Public project where funds were appropriated prior to 8/7/96
- ☐ Project on a lot shown on an approved, definitive subdivision plan where there is a recorded deed restriction limiting total alteration of the Riverfront Area for the entire subdivision
- ☐ Residential subdivision; institutional, industrial, or commercial project
- ☐ Municipal project
- ☐ District, county, state, or federal government project
- ☐ Project required to evaluate off-site alternatives in more than one municipality in an Environmental Impact Report under MEPA or in an alternatives analysis pursuant to an application for a 404 permit from the U.S. Army Corps of Engineers or 401 Water Quality Certification from the Department of Environmental Protection.

- b. Provide evidence (e.g., record of date subdivision lot was recorded) supporting the classification above (use additional paper and/or attach appropriate documents, if necessary.)



Massachusetts Department of Environmental Protection  
Bureau of Water Resources - Wetlands

**WPA Form 1- Request for Determination of Applicability**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Municipality

**C. Determinations**

1. I request the Truro Conservation Commission make the following determination(s). Check any that apply:

☐ a. whether the **area** depicted on plan(s) and/or map(s) referenced above is an area subject to jurisdiction of the Wetlands Protection Act.

☐ b. whether the **boundaries** of resource area(s) depicted on plan(s) and/or map(s) referenced above are accurately delineated.

☒ c. whether the **Activities** depicted on plan(s) referenced above is subject to the Wetlands Protection Act and its regulations.

☒ d. whether the area and/or Activities depicted on plan(s) referenced above is subject to the jurisdiction of any **municipal wetlands' ordinance or bylaw** of:

Town of Truro  
Name of Municipality

☐ e. whether the following **scope of alternatives** is adequate for Activities in the Riverfront Area as depicted on referenced plan(s).

**D. Signatures and Submittal Requirements**

I hereby certify under the penalties of perjury that the foregoing Request for Determination of Applicability and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge.

I further certify that the property owner, if different from the applicant, and the appropriate DEP Regional Office were sent a complete copy of this Request (including all appropriate documentation) simultaneously with the submittal of this Request to the Conservation Commission.

Failure by the applicant to send copies in a timely manner may result in dismissal of the Request for Determination of Applicability.

Signatures:

I also understand that notification of this Request will be placed in a local newspaper at my expense in accordance with Section 10.05(3)(b)(1) of the Wetlands Protection Act regulations.

Josh Grindel  
Signature of Applicant

7/15/24  
Date

\_\_\_\_\_  
Signature of Representative (if any)

\_\_\_\_\_  
Date

**Request for Determination**

Project address: 4 Katharine rd. Map 59 Parcel 58

- Is the project located in a resource area or buffer zone \_\_\_\_\_
- Resource Area Type(s): Coastal Bank
- If Buffer Zone what is the distance from Resource Area: \_\_\_\_\_

Description of project: (list all activities and describe methodology for construction or installation including equipment type if applicable) Strip and replace old dangerous Deck

Same footprint but taking away 12' off existing front

Attached site plan titles/dates, and any other plan or narratives title/dates: \_\_\_\_\_

Hand drawn deck framing plans

Describe the best management practices/mitigation that will be used on the site: work done by hand, no machinery, deck 12' of deck being eliminated on Coastal bank side.

Special Conditions required by the Conservation Include: \_\_\_\_\_

The proposed project is approved subject to the conditions included herein.

The use of town property for beach access or staging of construction materials requires a permit issued by the Board of Selectmen. The owner and applicant/representative are responsible for obtaining this permit prior to work start.

The owner and applicant/representative shall, avoid and otherwise minimize any activities in the buffer zone or in resource areas by use of best management practices on the site, such as:

- Placement of an agreed upon work limit;
- Proper placement of construction materials in developed or already disturbed areas;
- Proper installation/maintenance of erosion control;
- Good housekeeping that includes at a minimum daily trash pickup; no dumping of paint, plaster or concrete on the site but rather, disposing of it properly.

Approval of the project as described herein includes only the scope and specifications reviewed by the Conservation Commission; any changes to this project shall require additional review by the Conservation Commission prior to the work being done. Expansion of the scope of work may result in the applicant being required to file a full notice of intent. Any work done that exceeds the scope defined in the approved application shall be subject to issuance enforcement action; Violation of these conditions may result in issuance of an enforcement Order; non-criminal violation citations to the owner and/or applicant/representative accompanied by fines that accrue per offense and may accrue daily.

By reading and signing this letter of agreement the applicant acknowledges that they have read and understand the terms as stated herein; the scope of this approval is limited to the work described herein; and your signature on this conditional approval is acknowledgement that no work shall go forward until the RDA conditions have been issued by the Conservation Commission.

Applicant/Representative printed name and signature: Josh Grandel Josh Grandel  
Owners printed name and signature: \_\_\_\_\_





# FEMA w/Contours

Town of Truro, MA

1 inch = 70 Feet



www.cai-tech.com

July 11, 2024



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



EXISTING



Town of Truro, MA

1 inch = 35 Feet



[www.cai-tech.com](http://www.cai-tech.com)

July 11, 2024



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.





11  
Proposed 11  
Taking 12'  
off

Town of Truro, MA  
1 inch = 35 Feet

CAI Technologies  
The World's Most Innovative Mapping Solutions

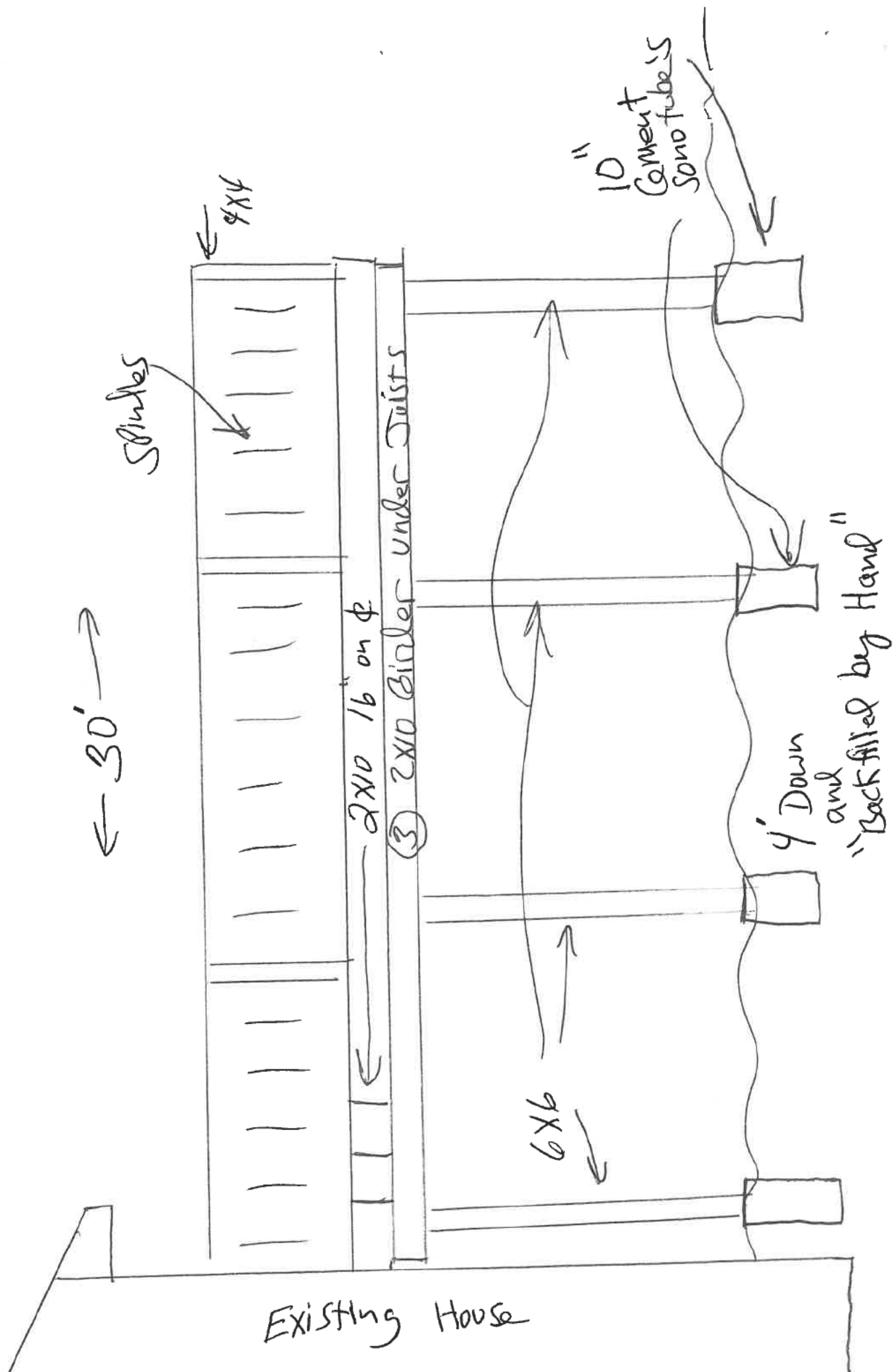
www.cai-tech.com

July 11, 2024

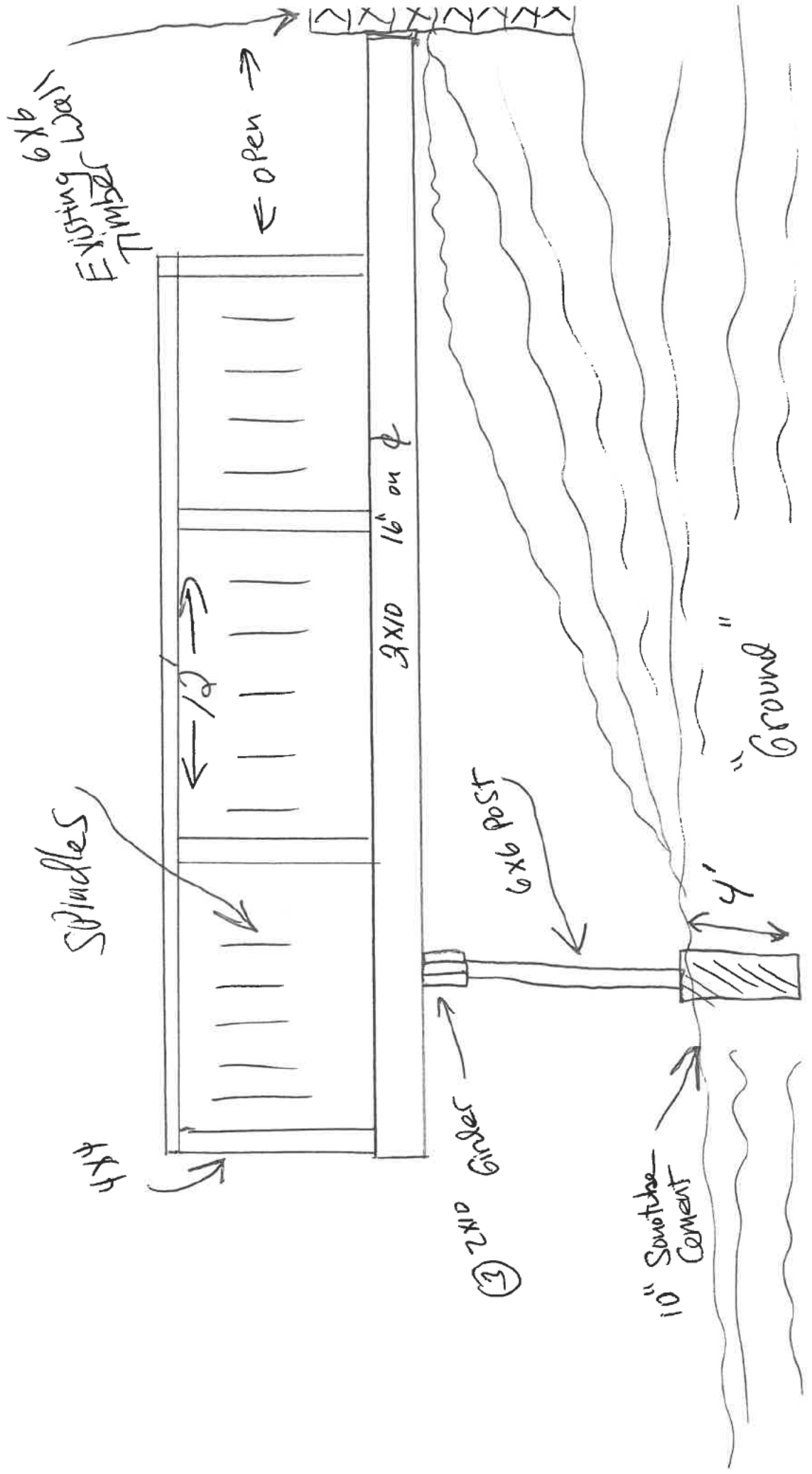


Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

"Facing Deck from Ground"



"Side View"  
12' x 30'





" 4 Katharine rd. "

(X) = 10" Sonotube  
4' Down

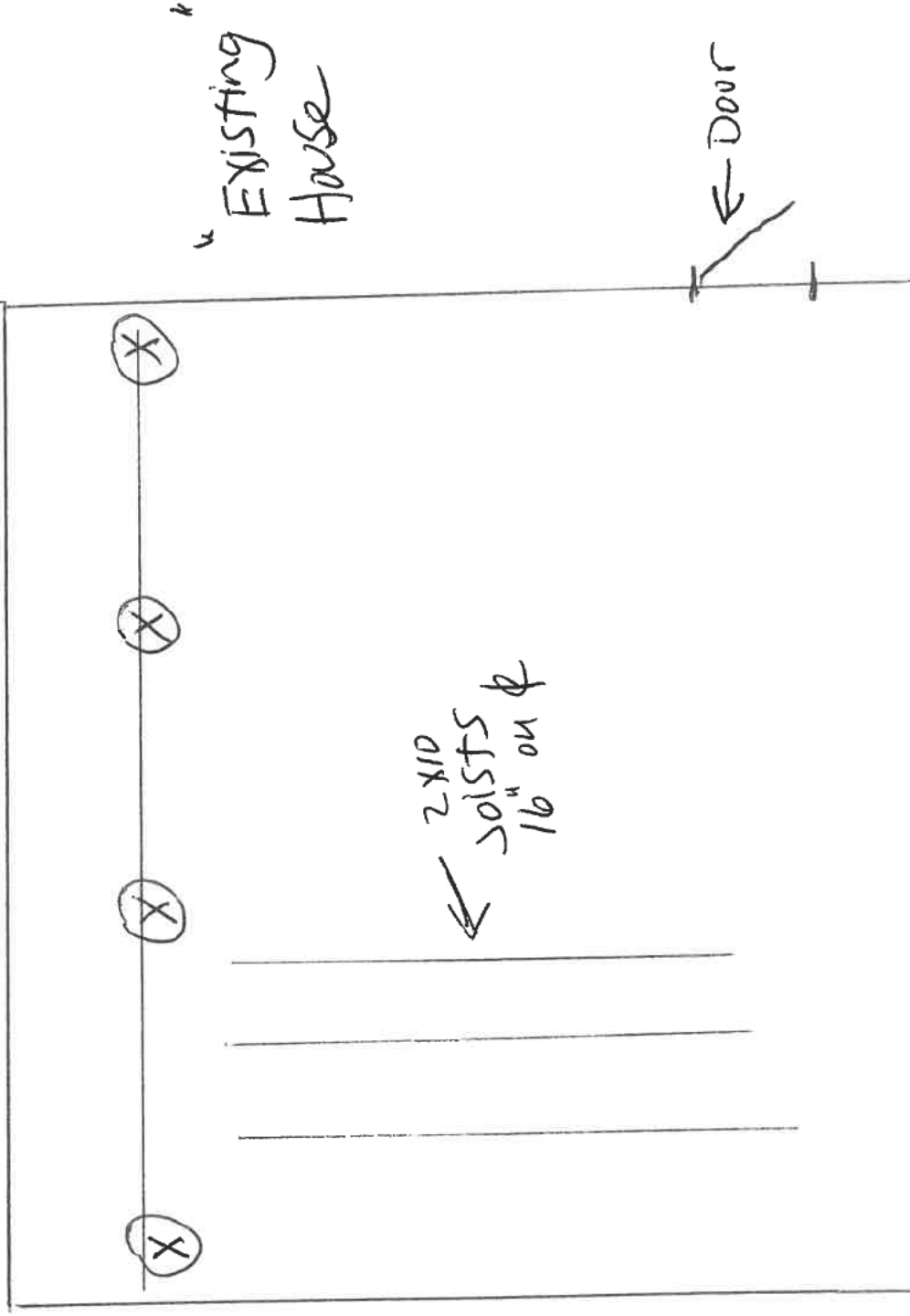
6x6 p.t. Posts on top  
holding up a "Girder"

2x10 P.T. 16" on  $\phi$  Joists

Strip and replace Existing Deck  
Taking Away 12' off front

← 30' →

12' ↑



JUN 28 2024



# TOWN OF TRURO

## Conservation Commission

24 Town Hall Road  
P.O. Box 2030, Truro MA 02666

PERMIT # 2024 22

PAID

cc

### APPLICATION FOR ADMINISTRATIVE REVIEW PERMIT

PERMIT FEE \$20

Applicant Name: Gregory Morris Telephone: [REDACTED]

Email address: [REDACTED]

Owner Name: GEOFFREY REICHHEIM Telephone: [REDACTED]

(If the applicant is not the owner of the property, written consent to the work MUST be attached to this Application.)

Address of subject property: 20 Mill Pond Map: 54 Parcel: 1

Description of proposed work: GRASS LOCUST TREES

CW

Proximity to Resource Areas: Quiver Point Area

### CRITERIA FOR ADMINISTRATIVE REVIEW (AR) PERMITS

#### Vegetation Projects:

- No removal of vegetation within any inland or coastal wetland resource.
- No uprooting of vegetation.
- No mowing to the ground or clear cutting.
- Any proposed tree removal is demonstrated to be necessary, e.g., to protect existing structures, public safety, traffic visibility, etc.
- Mitigation may be required, i.e., an area to be planted with native species of trees or shrubs.
- Trees for removal must be tagged for inspection.
- No excavation by machinery is required or proposed.

#### Sheds and Other Construction Projects:

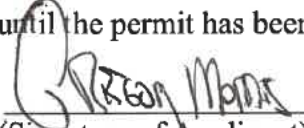
- No construction *within* any wetland resource except for minimal projects with the consent of the Conservation Agent.
- Any proposed new construction is more than 50' from the edge of resource area.
- No excavation by machinery is required or proposed.
- Foundation for structure shall be concrete blocks, sonotubes, diamond piers
- Repairs or replacement of existing structures remain within the same footprint.
- New structures must be less than 160 square feet.
- Only minimal projects such as biomimicry, sand nourishment, beach grass and planting of native species shall be allowed under this permit

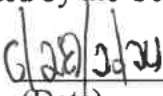
#### Procedure:

- The fee shall be submitted with the Administrative Review Application.
- The Agent shall conduct a site visit, at which time the proposed project must be clearly defined in the field with stakes. Trees shall be flagged.

- If the Agent determines that all of the conditions of this Policy are met, the Agent may approve the Application. If the conditions of this policy are not met; the application is incomplete; or the field ID is inadequate the application is denied.
- **If the Agent approves the application, such approval must be ratified by the Truro Conservation Commission prior to the issuance of this permit and prior to the commencement of any work.**
- Any Property Owner, contractor or other agent of the owner performing any work pursuant to an Administrative Review permit shall have a copy of the permit available at the site at all times during the period that the work is being performed.
- Upon approval and ratification by the Commission, an Administrative Permit shall issue.
- The applicant shall notify the Commission prior to the start of the work, and must complete the work within thirty (30) days of issuance of the permit, unless otherwise permitted by the Commission.
- The Conservation Agent shall inspect the property to verify that the work completed is within the scope of the Approved Application.
- Any work beyond the scope of the approved Administrative Review shall be subject to enforcement action.
- NOTE: Use of town property for beach access or staging of construction materials requires a permit issued by the Board of Selectmen.

By signing this permit application, you are acknowledging that you have read and understand the terms as stated herein. You are also aware that no work shall go forward until the permit has been issued by the Conservation Commission.

  
(Signature of Applicant)

  
(Date)

FOR OFFICE USE ONLY:

Agent's Comments \_\_\_\_\_

Site Inspection Date: 7/28/2024 Application Approved: ☒ Yes ☐ No

Conservation Commission Review: Meeting Date: \_\_\_\_\_ Permit Approved: ☐ Yes ☐ No  
Conditions: \_\_\_\_\_

Signature of Commission Chair or Agent: \_\_\_\_\_ Date: \_\_\_\_\_

PAID  
CC

PERMIT # 2024-25



# TOWN OF TRURO

## Conservation Commission

24 Town Hall Road  
P.O. Box 2030, Truro MA 02666

Conservation Commission  
TOWN OF TRURO

JUL 10 2024

### APPLICATION FOR ADMINISTRATIVE REVIEW PERMIT

PERMIT FEE \$20

Applicant Name: GREGORY MORRIS Telephone: [REDACTED]

Email address: [REDACTED]

Owner Name: GREGORY MORRIS Telephone: [REDACTED]

(If the applicant is not the owner of the property, written consent to the work MUST be attached to this Application.)

Address of subject property: Old County Rd Map: 54 Parcel: 4

Description of proposed work: 25' telephone pole installed on the side of the railroad bed for osprey nest.

Proximity to Resource Areas: Riverfront Area, salt marsh

small excavator will be used to dig hole in side of railroad.

### CRITERIA FOR ADMINISTRATIVE REVIEW (AR) PERMITS

#### Vegetation Projects:

- No removal of vegetation within any inland or coastal wetland resource.
- No uprooting of vegetation.
- No mowing to the ground or clear cutting.
- Any proposed tree removal is demonstrated to be necessary, e.g., to protect existing structures, public safety, traffic visibility, etc.
- Mitigation may be required, i.e., an area to be planted with native species of trees or shrubs.
- Trees for removal must be tagged for inspection.
- No excavation by machinery is required or proposed.

#### Sheds and Other Construction Projects:

- No construction *within* any wetland resource except for minimal projects with the consent of the Conservation Agent.
- Any proposed new construction is more than 50' from the edge of resource area.
- No excavation by machinery is required or proposed.
- Foundation for structure shall be concrete blocks, sonotubes, diamond piers
- Repairs or replacement of existing structures remain within the same footprint.
- New structures must be less than 160 square feet.
- Only minimal projects such as biomimicry, sand nourishment, beach grass and planting of native species shall be allowed under this permit

#### Procedure:

- The fee shall be submitted with the Administrative Review Application.
- The Agent shall conduct a site visit, at which time the proposed project must be clearly defined in the field with stakes. Trees shall be flagged.

Greg also own 14 Abby Ln, land which is bordered by FCT land.



- If the Agent determines that all of the conditions of this Policy are met, the Agent may approve the Application. If the conditions of this policy are not met; the application is incomplete; or the field ID is inadequate the application is denied.
- **If the Agent approves the application, such approval must be ratified by the Truro Conservation Commission prior to the issuance of this permit and prior to the commencement of any work.**
- Any Property Owner, contractor or other agent of the owner performing any work pursuant to an Administrative Review permit shall have a copy of the permit available at the site at all times during the period that the work is being performed.
- Upon approval and ratification by the Commission, an Administrative Permit shall issue.
- The applicant shall notify the Commission prior to the start of the work, and must complete the work within thirty (30) days of issuance of the permit, unless otherwise permitted by the Commission.
- The Conservation Agent shall inspect the property to verify that the work completed is within the scope of the Approved Application.
- Any work beyond the scope of the approved Administrative Review shall be subject to enforcement action.
- NOTE: Use of town property for beach access or staging of construction materials requires a permit issued by the Board of Selectmen.

By signing this permit application, you are acknowledging that you have read and understand the terms as stated herein. You are also aware that no work shall go forward until the permit has been issued by the Conservation Commission.

Graziano Manna  
(Signature of Applicant)

7/10/24  
(Date)

\*see email from  
Fred Gaechter, TCT.

FOR OFFICE USE ONLY

Agent's Comments \_\_\_\_\_

Site Inspection Date: 7/10/24 Application Approved: ☒ Yes ☐ No

Conservation Commission Review: Meeting Date: \_\_\_\_\_ Permit Approved: ☐ Yes ☐ No  
Conditions: \_\_\_\_\_

Signature of Commission Chair or Agent: \_\_\_\_\_ Date: \_\_\_\_\_



1 inch = 70 Feet

70 140

Project: Mapping Gendered Spaces

[www.cai-tech.com](http://www.cai-tech.com)

July 24, 2024



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



JUN 27 2024

PERMIT # 2024-24



# TOWN OF TRURO

## Conservation Commission

24 Town Hall Road  
P.O. Box 2030, Truro MA 02666

### APPLICATION FOR ADMINISTRATIVE REVIEW PERMIT

PERMIT FEE \$20

Applicant Name: Russell Braun Telephone: [REDACTED]

Email address: [REDACTED]

Owner Name: same Telephone: [REDACTED]

(If the applicant is not the owner of the property, written consent to the work MUST be attached to this Application.)

Address of subject property: 510 Shore Rd. unit C Map: 7 Parcel: 9.c

Description of proposed work: Reconstruction of existing deck. Relocation of existing egress stairs to more protected location. Existing location highly subject to damage from wave-borne debris. SAME DECK "FOOTPRINT"

Proximity to Resource Areas: In velocity zone on beach.

### CRITERIA FOR ADMINISTRATIVE REVIEW (AR) PERMITS

#### Vegetation Projects:

- No removal of vegetation within any inland or coastal wetland resource.
- No uprooting of vegetation.
- No mowing to the ground or clear cutting.
- Any proposed tree removal is demonstrated to be necessary, e.g., to protect existing structures, public safety, traffic visibility, etc.
- Mitigation may be required, i.e., an area to be planted with native species of trees or shrubs.
- Trees for removal must be tagged for inspection.
- No excavation by machinery is required or proposed.

#### Sheds and Other Construction Projects:

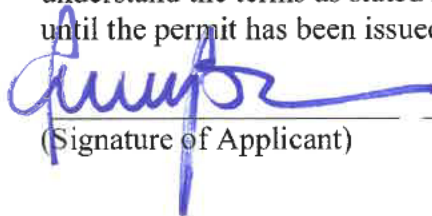
- No construction *within* any wetland resource except for minimal projects with the consent of the Conservation Agent.
- Any proposed new construction is more than 50' from the edge of resource area.
- No excavation by machinery is required or proposed.
- Foundation for structure shall be concrete blocks, sono tubes, diamond piers
- Repairs or replacement of existing structures remain within the same footprint.
- New structures must be less than 160 square feet.
- Only minimal projects such as biomimicry, sand nourishment, beach grass and planting of native species shall be allowed under this permit

#### Procedure:

- The fee shall be submitted with the Administrative Review Application.
- The Agent shall conduct a site visit, at which time the proposed project must be clearly defined in the field with stakes. Trees shall be flagged.

- If the Agent determines that all of the conditions of this Policy are met, the Agent may approve the Application. If the conditions of this policy are not met; the application is incomplete; or the field ID is inadequate the application is denied.
- **If the Agent approves the application, such approval must be ratified by the Truro Conservation Commission prior to the issuance of this permit and prior to the commencement of any work.**
- Any Property Owner, contractor or other agent of the owner performing any work pursuant to an Administrative Review permit shall have a copy of the permit available at the site at all times during the period that the work is being performed.
- Upon approval and ratification by the Commission, an Administrative Permit shall issue.
- The applicant shall notify the Commission prior to the start of the work, and must complete the work within thirty (30) days of issuance of the permit, unless otherwise permitted by the Commission.
- The Conservation Agent shall inspect the property to verify that the work completed is within the scope of the Approved Application.
- Any work beyond the scope of the approved Administrative Review shall be subject to enforcement action.
- NOTE: Use of town property for beach access or staging of construction materials requires a permit issued by the Board of Selectmen.

By signing this permit application, you are acknowledging that you have read and understand the terms as stated herein. You are also aware that no work shall go forward until the permit has been issued by the Conservation Commission.

 6.26.24  
(Signature of Applicant) (Date)

**FOR OFFICE USE ONLY:**

Agent's Comments: same as the deck rebuilds on the other units which were approved on ARs since they are raised.

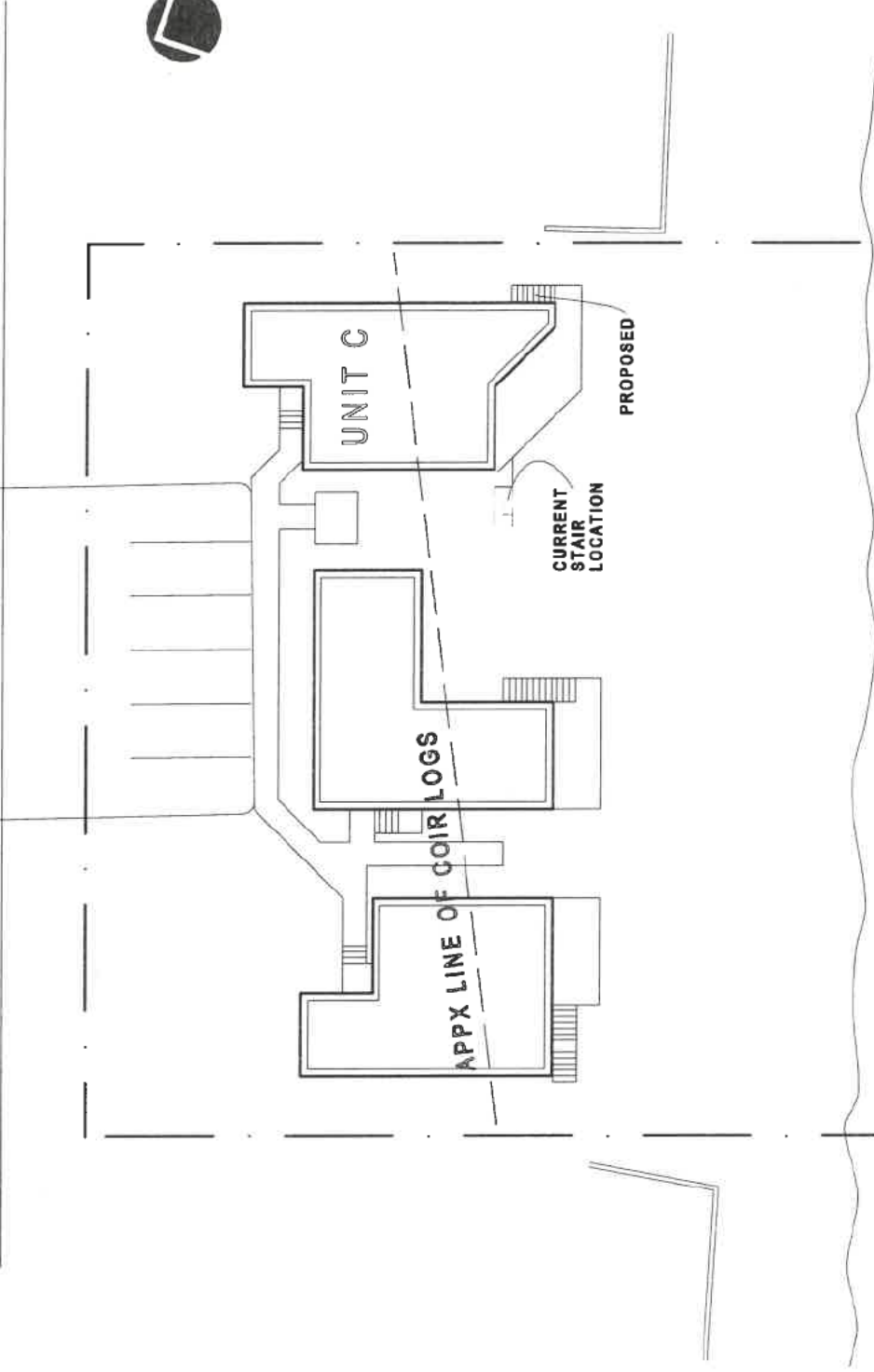
Site Inspection Date: 7/2/2024 Application Approved: ☒ Yes ☐ No

Conservation Commission Review: Meeting Date: \_\_\_\_\_ Permit Approved: ☐ Yes ☐ No  
Conditions: \_\_\_\_\_

Signature of Commission Chair or Agent: \_\_\_\_\_ Date: \_\_\_\_\_



SHORE RD. (6A)

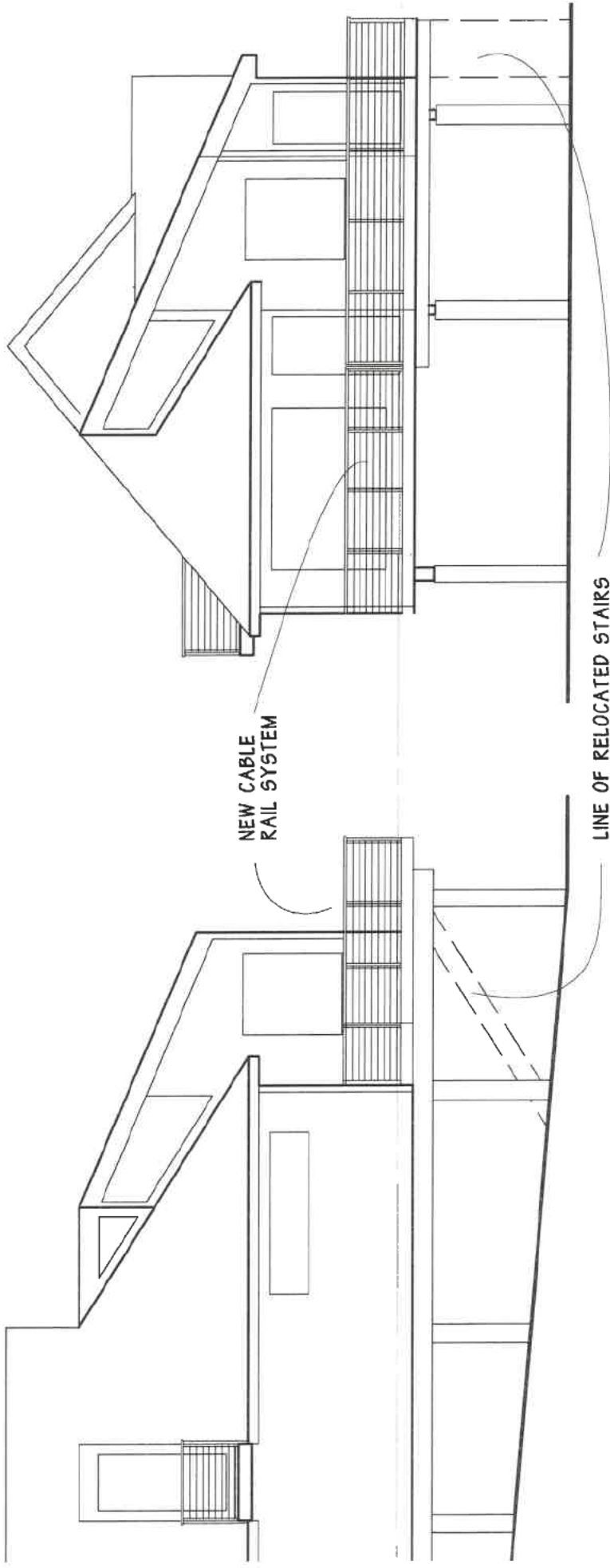


CAPE COD BAY

SITE PLAN

1" = 30'

Conservation Commission  
TOWN OF TRURO  
JUN 27 2024



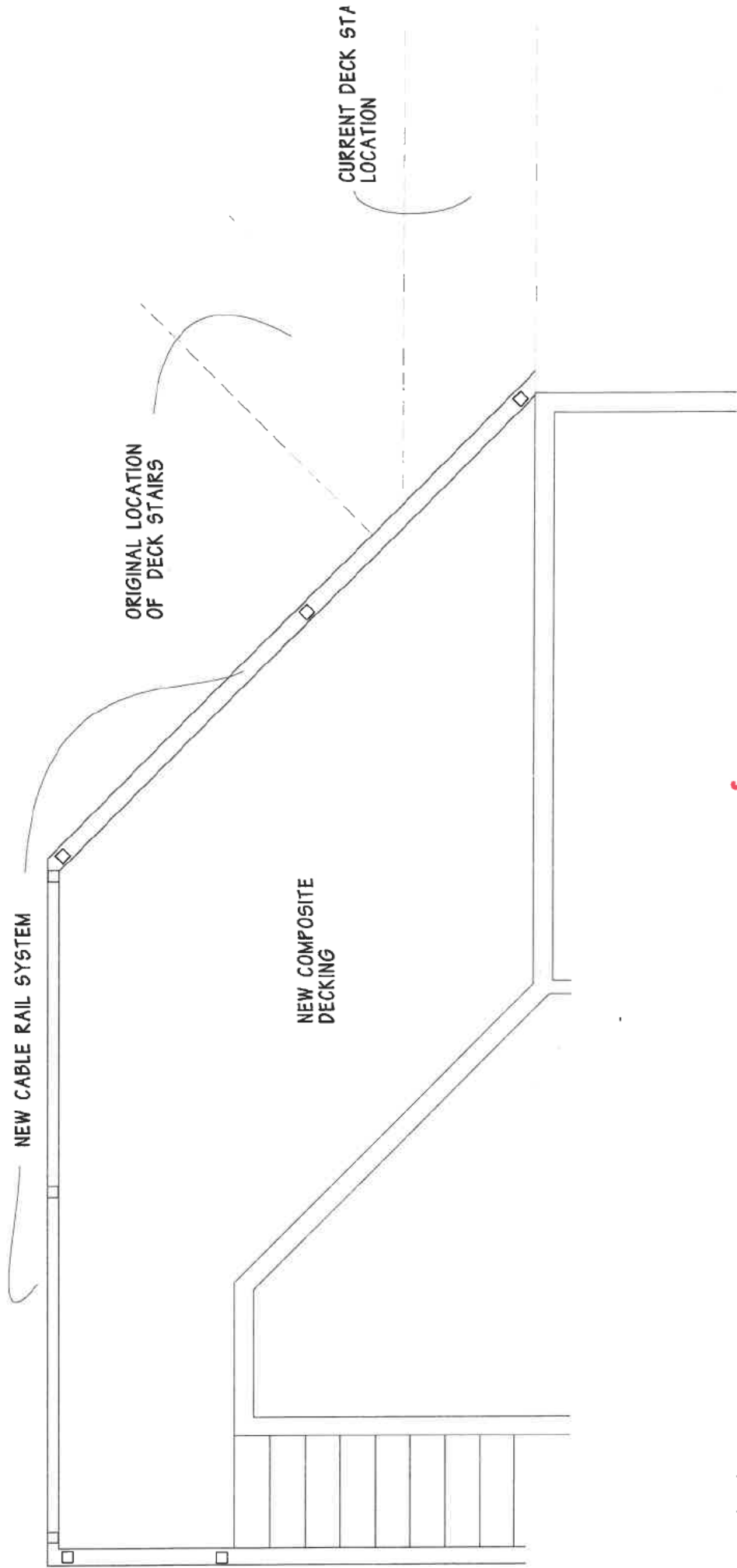
WEST ELEVATION

1/8" = 1'-0"

SOUTH ELEVATION

1/8" = 1'-0"

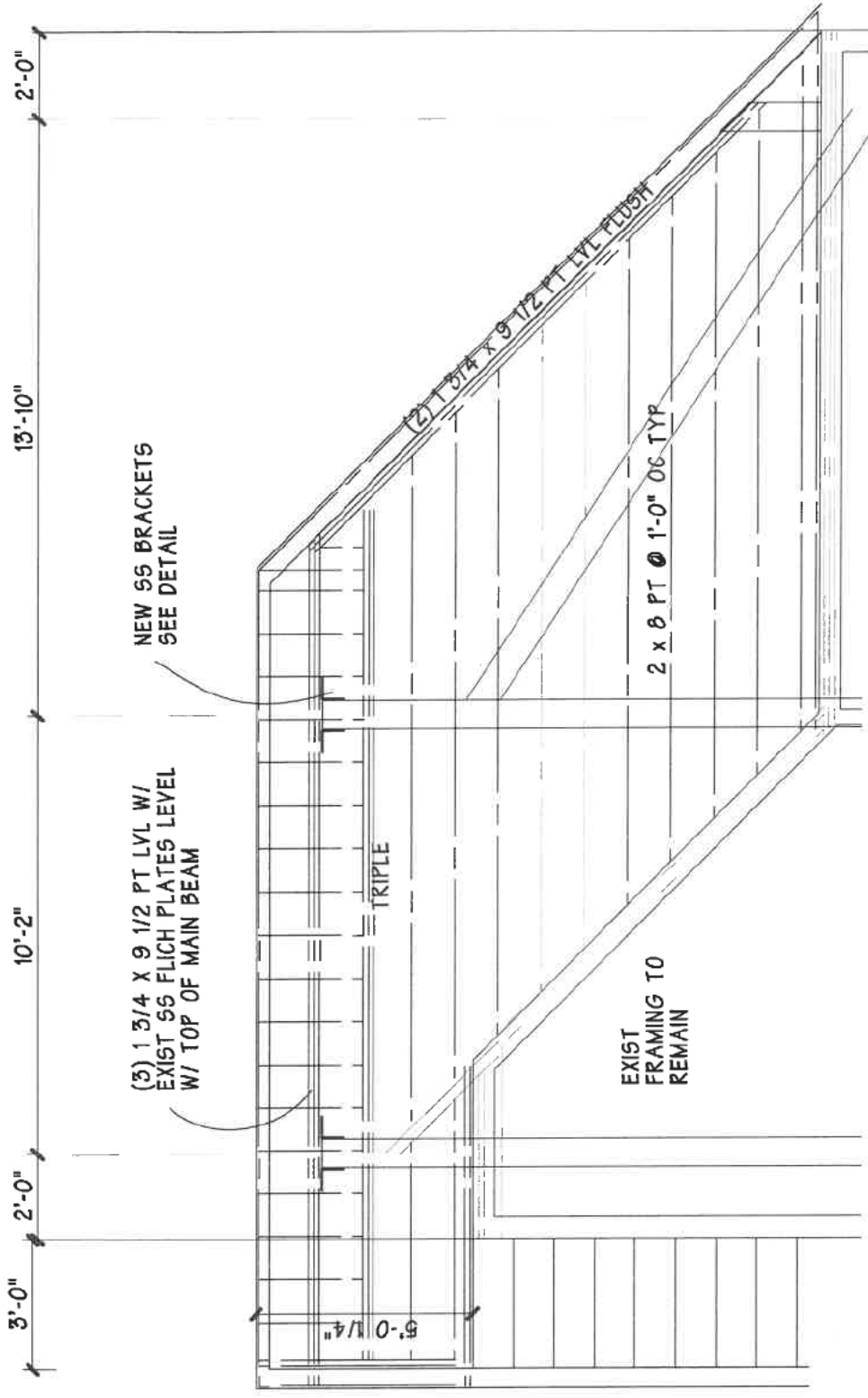
Conservation Commission  
TOWN OF TRURO  
JUN 27 2024



NEW DECK PLAN

1/4" = 1'-0"

Observation Commission  
TOWN OF TRURO  
JUN 27 2024



ALL NEW FRAMING TO BE 2X8 PT @ 1'-0" OC  
UNLESS NOTED. ALL CONNECTION SHALL BE  
APPROPRIATE SS HANGERS, STRAPS OR CLIPS.  
LVL'S SHALL BE PRESSURE TREATED AND E =2.0

Conservation Commissioner  
TOWN OF TRURO  
JUN 27 2024



JUL 10 2024

PAID  
\$20.00

PERMIT # 2024-26



# TOWN OF TRURO

## Conservation Commission

24 Town Hall Road  
P.O. Box 2030, Truro MA 02666

### APPLICATION FOR ADMINISTRATIVE REVIEW PERMIT

PERMIT FEE \$20

Applicant Name: Vito Moreno Telephone: [REDACTED]  
Email address: [REDACTED]  
Owner Name: Wine + Wave Condominium Telephone: —  
(If the applicant is not the owner of the property, written consent to the work MUST be attached to this Application.)  
Address of subject property: 432 Shore Road Map: 9 Parcel: 8  
Description of proposed work: SARO Nourishment

Proximity to Resource Areas: \_\_\_\_\_

### CRITERIA FOR ADMINISTRATIVE REVIEW (AR) PERMITS

#### Vegetation Projects:

- No removal of vegetation within any inland or coastal wetland resource.
- No uprooting of vegetation.
- No mowing to the ground or clear cutting.
- Any proposed tree removal is demonstrated to be necessary, e.g., to protect existing structures, public safety, traffic visibility, etc.
- Mitigation may be required, i.e., an area to be planted with native species of trees or shrubs.
- Trees for removal must be tagged for inspection.
- No excavation by machinery is required or proposed.

#### Sheds and Other Construction Projects:

- No construction *within* any wetland resource except for minimal projects with the consent of the Conservation Agent.
- Any proposed new construction is more than 50' from the edge of resource area.
- No excavation by machinery is required or proposed.
- Foundation for structure shall be concrete blocks, sonotubes, diamond piers
- Repairs or replacement of existing structures remain within the same footprint.
- New structures must be less than 160 square feet.
- Only minimal projects such as biomimicry, sand nourishment, beach grass and planting of native species shall be allowed under this permit

#### Procedure:

- The fee shall be submitted with the Administrative Review Application.
- The Agent shall conduct a site visit, at which time the proposed project must be clearly defined in the field with stakes. Trees shall be flagged.

- If the Agent determines that all of the conditions of this Policy are met, the Agent may approve the Application. If the conditions of this policy are not met; the application is incomplete; or the field ID is inadequate the application is denied.
- **If the Agent approves the application, such approval must be ratified by the Truro Conservation Commission prior to the issuance of this permit and prior to the commencement of any work.**
- Any Property Owner, contractor or other agent of the owner performing any work pursuant to an Administrative Review permit shall have a copy of the permit available at the site at all times during the period that the work is being performed.
- Upon approval and ratification by the Commission, an Administrative Permit shall issue.
- The applicant shall notify the Commission prior to the start of the work, and must complete the work within thirty (30) days of issuance of the permit, unless otherwise permitted by the Commission.
- The Conservation Agent shall inspect the property to verify that the work completed is within the scope of the Approved Application.
- Any work beyond the scope of the approved Administrative Review shall be subject to enforcement action.
- NOTE: Use of town property for beach access or staging of construction materials requires a permit issued by the Board of Selectmen.

By signing this permit application, you are acknowledging that you have read and understand the terms as stated herein. You are also aware that no work shall go forward until the permit has been issued by the Conservation Commission.

[Signature] 7/10/2024  
(Signature of Applicant) (Date)

**FOR OFFICE USE ONLY:**

Agent's Comments: Conservation Dept. requires volume of sand added behind wall from contractor after work is completed

Site Inspection Date: 7/10/24 Application Approved: ☒ Yes ☐ No

Conservation Commission Review: Meeting Date: \_\_\_\_\_ Permit Approved: ☐ Yes ☐ No  
Conditions: \_\_\_\_\_

Signature of Commission Chair or Agent: [Signature] Date: 07-11-2024









Conservation Commission  
TOWN OF TRURO

JUL 10 2024

Conservation Commission  
TOWN OF TRURO

JUL 10 2024



JUL 15 2024



# TOWN OF TRURO

## Conservation Commission

24 Town Hall Road  
P.O. Box 2030, Truro MA 02666

PERMIT # 2024-27**PAID**  
\$

### APPLICATION FOR ADMINISTRATIVE REVIEW PERMIT

**PERMIT FEE \$20**Applicant Name: Seaside Inn Telephone: [REDACTED]

Email address: [REDACTED]

Owner Name: Jeff Arnsperg, Trustee Telephone: [REDACTED]

(If the applicant is not the owner of the property, written consent to the work MUST be attached to this Application.)

Address of subject property: 482 Shore Rd Map: \_\_\_\_\_ Parcel: \_\_\_\_\_Description of proposed work: Sand behind seawall replenishmentProximity to Resource Areas: In a resource area 60 DAYS

### CRITERIA FOR ADMINISTRATIVE REVIEW (AR) PERMITS

#### Vegetation Projects:

- No removal of vegetation within any inland or coastal wetland resource.
- No uprooting of vegetation.
- No mowing to the ground or clear cutting.
- Any proposed tree removal is demonstrated to be necessary, e.g., to protect existing structures, public safety, traffic visibility, etc.
- Mitigation may be required, i.e., an area to be planted with native species of trees or shrubs.
- Trees for removal must be tagged for inspection.
- No excavation by machinery is required or proposed.

#### Sheds and Other Construction Projects:

- No construction *within* any wetland resource except for minimal projects with the consent of the Conservation Agent.
- Any proposed new construction is more than 50' from the edge of resource area.
- No excavation by machinery is required or proposed.
- Foundation for structure shall be concrete blocks, sonotubes, diamond piers
- Repairs or replacement of existing structures remain within the same footprint.
- New structures must be less than 160 square feet.
- Only minimal projects such as biomimicry, sand nourishment, beach grass and planting of native species shall be allowed under this permit

#### Procedure:

- The fee shall be submitted with the Administrative Review Application.
- The Agent shall conduct a site visit, at which time the proposed project must be clearly defined in the field with stakes. Trees shall be flagged.

- If the Agent determines that all of the conditions of this Policy are met, the Agent may approve the Application. If the conditions of this policy are not met; the application is incomplete; or the field ID is inadequate the application is denied.
- If the Agent approves the application, such approval must be ratified by the Truro Conservation Commission prior to the issuance of this permit and prior to the commencement of any work.
- Any Property Owner, contractor or other agent of the owner performing any work pursuant to an Administrative Review permit shall have a copy of the permit available at the site at all times during the period that the work is being performed.
- Upon approval and ratification by the Commission, an Administrative Permit shall issue.
- The applicant shall notify the Commission prior to the start of the work, and must complete the work within thirty (30) days of issuance of the permit, unless otherwise permitted by the Commission.
- The Conservation Agent shall inspect the property to verify that the work completed is within the scope of the Approved Application.
- Any work beyond the scope of the approved Administrative Review shall be subject to enforcement action.
- NOTE: Use of town property for beach access or staging of construction materials requires a permit issued by the Board of Selectmen.

By signing this permit application, you are acknowledging that you have read and understand the terms as stated herein. You are also aware that no work shall go forward until the permit has been issued by the Conservation Commission.

(Signature of Applicant)

Jeff Arnshein, Trustee

(Date)

7/15/24

FOR OFFICE USE ONLY:

Agent's Comments

had permit approved this Spring to do the work but had issue w/ sand availability. Permit expired. Have now hired JF Neons to do the work.

Site Inspection Date: 7/15/24 Application Approved: ☒ Yes ☐ No

Conservation Commission Review: Meeting Date: \_\_\_\_\_ Permit Approved: ☐ Yes ☐ No  
Conditions: \_\_\_\_\_

Signature of Commission Chair or Agent: \_\_\_\_\_ Date: \_\_\_\_\_

→ asking for 60 days just in case sand availability occurs again.

PAID

PERMIT #

A 2024-28



# TOWN OF TRURO

## Conservation Commission

24 Town Hall Road  
P.O. Box 2030, Truro MA 02666

Conservation Commission  
TOWN OF TRURO

JUL 25 2024

### APPLICATION FOR ADMINISTRATIVE REVIEW PERMIT

PERMIT FEE \$20

Applicant Name: Katherine A. Sullivan Telephone: [REDACTED]

Email address: [REDACTED]

Owner Name: Katherine A. Sullivan Telephone: [REDACTED]

(If the applicant is not the owner of the property, written consent to the work MUST be attached to this Application.)

Address of subject property: 93 N. Panet Rd Map: 47 Parcel: 146

Description of proposed work: Take down 2 trees that are very close to the house and are losing their limbs due to age and wind

Proximity to Resource Areas: Buffer zone to coastal bank

### CRITERIA FOR ADMINISTRATIVE REVIEW (AR) PERMITS

#### Vegetation Projects:

- No removal of vegetation within any inland or coastal wetland resource.
- No uprooting of vegetation.
- No mowing to the ground or clear cutting.
- Any proposed tree removal is demonstrated to be necessary, e.g., to protect existing structures, public safety, traffic visibility, etc.
- Mitigation may be required, i.e., an area to be planted with native species of trees or shrubs.
- Trees for removal must be tagged for inspection.
- No excavation by machinery is required or proposed.

#### Sheds and Other Construction Projects:

- No construction *within* any wetland resource except for minimal projects with the consent of the Conservation Agent.
- Any proposed new construction is more than 50' from the edge of resource area.
- No excavation by machinery is required or proposed.
- Foundation for structure shall be concrete blocks, sono tubes, diamond piers
- Repairs or replacement of existing structures remain within the same footprint.
- New structures must be less than 160 square feet.
- Only minimal projects such as biomimicry, sand nourishment, beach grass and planting of native species shall be allowed under this permit

#### Procedure:

- The fee shall be submitted with the Administrative Review Application.
- The Agent shall conduct a site visit, at which time the proposed project must be clearly defined in the field with stakes. Trees shall be flagged.

- If the Agent determines that all of the conditions of this Policy are met, the Agent may approve the Application. If the conditions of this policy are not met; the application is incomplete; or the field ID is inadequate the application is denied.
- **If the Agent approves the application, such approval must be ratified by the Truro Conservation Commission prior to the issuance of this permit and prior to the commencement of any work.**
- Any Property Owner, contractor or other agent of the owner performing any work pursuant to an Administrative Review permit shall have a copy of the permit available at the site at all times during the period that the work is being performed.
- Upon approval and ratification by the Commission, an Administrative Permit shall issue.
- The applicant shall notify the Commission prior to the start of the work, and must complete the work within thirty (30) days of issuance of the permit, unless otherwise permitted by the Commission.
- The Conservation Agent shall inspect the property to verify that the work completed is within the scope of the Approved Application.
- Any work beyond the scope of the approved Administrative Review shall be subject to enforcement action.
- NOTE: Use of town property for beach access or staging of construction materials requires a permit issued by the Board of Selectmen.

By signing this permit application, you are acknowledging that you have read and understand the terms as stated herein. You are also aware that no work shall go forward until the permit has been issued by the Conservation Commission.

B.H. A. Jhu 7/25/24  
(Signature of Applicant) (Date)

**FOR OFFICE USE ONLY:**

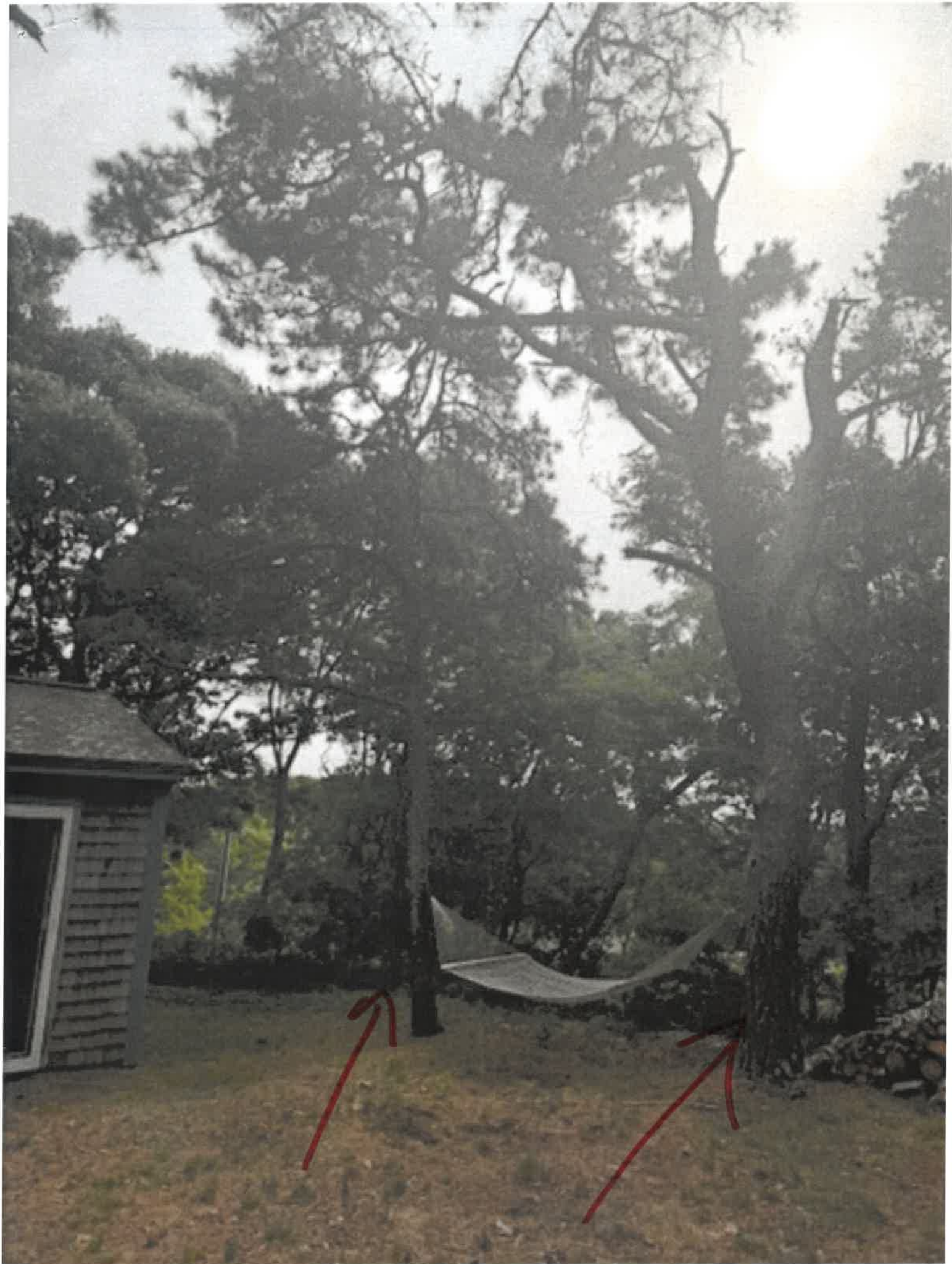
Agent's Comments Appropriate for AR - trees are close to the house & have already dropped large limbs

Site Inspection Date: 7/24/2024 Application Approved: ☒ Yes ☐ No

Conservation Commission Review: Meeting Date: \_\_\_\_\_ Permit Approved: ☐ Yes ☐ No  
Conditions: \_\_\_\_\_

Signature of Commission Chair or Agent: \_\_\_\_\_ Date: \_\_\_\_\_





PAID  
1499

PERMIT # 2024-29



# TOWN OF TRURO

## Conservation Commission

24 Town Hall Road  
P.O. Box 2030, Truro MA 02666

Conservation Commission  
TOWN OF TRURO

JUL 25 2024

### APPLICATION FOR ADMINISTRATIVE REVIEW PERMIT

PERMIT FEE \$20

Applicant Name: NANCY DALSEIMER SAVAGE Telephone: [REDACTED]  
Email address: [REDACTED]  
Owner Name: SAME Telephone: SAME  
(If the applicant is not the owner of the property, written consent to the work MUST be attached to this Application.)  
Address of subject property: 14 Great Hills Rd Map: 49 Parcel: 36  
Description of proposed work: Installation of 4-2 inch diameter monitoring wells to 20 feet below ground surface  
Proximity to Resource Areas: WITHIN A COASTAL DUNE

### CRITERIA FOR ADMINISTRATIVE REVIEW (AR) PERMITS

#### Vegetation Projects:

- No removal of vegetation within any inland or coastal wetland resource.
- No uprooting of vegetation.
- No mowing to the ground or clear cutting.
- Any proposed tree removal is demonstrated to be necessary, e.g., to protect existing structures, public safety, traffic visibility, etc.
- Mitigation may be required, i.e., an area to be planted with native species of trees or shrubs.
- Trees for removal must be tagged for inspection.
- No excavation by machinery is required or proposed.

#### Sheds and Other Construction Projects:


- No construction within any wetland resource except for minimal projects with the consent of the Conservation Agent.
- Any proposed new construction is more than 50' from the edge of resource area.
- No excavation by machinery is required or proposed.
- Foundation for structure shall be concrete blocks, sono tubes, diamond piers
- Repairs or replacement of existing structures remain within the same footprint.
- New structures must be less than 160 square feet.
- Only minimal projects such as biomimicry, sand nourishment, beach grass and planting of native species shall be allowed under this permit

#### Procedure:

- The fee shall be submitted with the Administrative Review Application.
- The Agent shall conduct a site visit, at which time the proposed project must be clearly defined in the field with stakes. Trees shall be flagged.

- If the Agent determines that all of the conditions of this Policy are met, the Agent may approve the Application. If the conditions of this policy are not met; the application is incomplete; or the field ID is inadequate the application is denied.
- **If the Agent approves the application, such approval must be ratified by the Truro Conservation Commission prior to the issuance of this permit and prior to the commencement of any work.**
- Any Property Owner, contractor or other agent of the owner performing any work pursuant to an Administrative Review permit shall have a copy of the permit available at the site at all times during the period that the work is being performed.
- Upon approval and ratification by the Commission, an Administrative Permit shall issue.
- The applicant shall notify the Commission prior to the start of the work, and must complete the work within thirty (30) days of issuance of the permit, unless otherwise permitted by the Commission.
- The Conservation Agent shall inspect the property to verify that the work completed is within the scope of the Approved Application.
- Any work beyond the scope of the approved Administrative Review shall be subject to enforcement action.
- NOTE: Use of town property for beach access or staging of construction materials requires a permit issued by the Board of Selectmen.

By signing this permit application, you are acknowledging that you have read and understand the terms as stated herein. You are also aware that no work shall go forward until the permit has been issued by the Conservation Commission.

      7/25/24  
(Signature of Applicant)      (Date)

FOR OFFICE USE ONLY:

Agent's Comments observation + water quality wells

Site Inspection Date: 7/25/24 Application Approved: ☒ Yes ☐ No

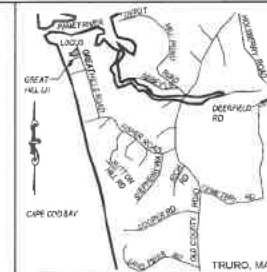
Conservation Commission Review: Meeting Date: \_\_\_\_\_ Permit Approved: ☐ Yes ☐ No  
Conditions: \_\_\_\_\_

Signature of Commission Chair or Agent: \_\_\_\_\_ Date: \_\_\_\_\_



Reviewed and approved Scott B. 7-12-24

1. THIS PROJECT LIES WITHIN A FEMA 100 YEAR FLOOD HAZARD AREA (LSEB), PARTIALLY WITHIN A COASTAL DUNE, AND PARTLY WITHIN ZONES ZONE TO A COASTAL DUNE.
2. WORK WITHIN THE WHEEP PROPERTY HABITAT INCLUDES CONSTRUCTION OF DWELLING AND DIRT DRIVE ALONG WITH NATIVE MITIGATION PLANTINGS APPROVED BY THE CONSERVATION COMMISSION.
3. ALL CONSTRUCTION TO BE DESIGNED IN COMPLIANCE WITH APPLICABLE MASS STATE BUILDING CODES FOR FLOOD ZONE CONSTRUCTION.
4. THE PROPOSED SEWAGE DISPOSAL SYSTEM CONSISTS OF BA TECHNOLOGY.
5. ALL ROOF RUNOFF TO BE CONTROLLED ON SITE VIA GUTTERS TO DOWNSPOUTS ROUTED TO DRYWELLS.



**KEY MAP**  
NO SCALE

ASSessor's MAP 49, PARCEl 38  
PLAN BOOK 514, PAGE 52  
OWNER OF RECORD:  
BALSHCIMER FAMILY NOM TRUST  
DB 25128 PG 136

FLOOD ZONE VE (EL 14), ZONE AE (EL 12) AND FLOOD ZONE X SHOWN ON THIS DRAWING ARE A DIRECT REPRESENTATION OF THE GRAPHIC FLOOD ZONE BOUNDARIES SHOWN ON FEMA PANEL NUMBER 42506102277 EFFECTIVE JULY 16, 2014. PLEASE NOTE THAT SITE SPECIFIC FLOODPLAIN BOUNDARIES MAY VARY SLIGHTLY TO DIFFERENT INTERPRETATIONS OF THESE FLOODPLAIN ZONE USES ARE ASSIGNED TO VERIFY LOCALITY OF THESE BOUNDARIES WITH THE NATIONAL FLOOD COMMUNITY FLOODPLAIN MANAGERS AND OR FEMA PERSONS SITING ANY PROPOSED STRUCTURES.

ELEVATIONS SHOWN HERE ON ARE  
REFERENCED TO THE NORTH AMERICAN  
VERTICAL DATUM OF 1988 (NAVD 88)

1. FOR MORE INFORMATION REGARDING EXISTING CONDITIONS AT 14 MILE TRAIL ROAD IN TROY, MI, CONTACT THE TOWN OF TROY PLANNING DEPARTMENT, 100 WEST WASHINGTON STREET, 4TH FLOOR, TROY, MI 48060-1000. THE EXISTING SITE PLAN AND RECORD DRAWING, 14 MILE TRAIL ROAD, DALLMEIER, FAMILY TRUST, 14 MILE TRAIL ROAD, TROY, MI, 48060-1000, DATED JANUARY 21, 2021, IS PREPARED FOR THE 14 MILE TRAIL ROAD, TROY, MI, 48060-1000, DATED JULY 20, 2021 AND 14 MILE TRAIL ROAD, TROY, MI, 48060-1000, DATED JULY 20, 2021 AND 14 MILE TRAIL ROAD, TROY, MI, 48060-1000, DATED JULY 20, 2021.

2. ONLY SURFACE LOCATION OF UTILITIES ARE SHOWN HEREIN. THIS PLAN MAY NOT BE USED TO LOCATE UTILITIES PRIOR TO STARTING AN EXCAVATION. UTILITIES ARE SHOWN HEREIN ARE NOT TO BE USED TO LOCATE UTILITIES PRIOR TO STARTING AN EXCAVATION.

3. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH AND MAY NOT SHOW OR REVEAL ANY FACTS THAT I WOULD BE DISCLOSED BY ONE.

4. THE ENTIRE PARCELS WITH THE BENEATH BOUNDARY (P. 345).

5. THE EXISTING WELLS AND SEWAGE DISPOSAL SYSTEM COMPONENTS SHOWN HEREIN ARE BASED ON RECORD DRAWING 14 MILE TRAIL ROAD, TROY, MI, 48060-1000, DATED JULY 20, 2021 AND 14 MILE TRAIL ROAD, TROY, MI, 48060-1000, DATED JULY 20, 2021 AND 14 MILE TRAIL ROAD, TROY, MI, 48060-1000, DATED JULY 20, 2021.

THIS ENTIRE LOT LIES WITHIN LAND SUBJECT TO COASTAL STORM FLOWAGE (LSCSP/ FEMA AE 127X FLOOD ZONE) AND PARTIALLY WITHIN A COASTAL DUNE.

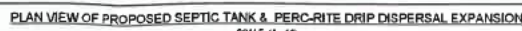
SEE PROPOSED PLAN SET FOR A NEW RESIDENCE  
PREPARED FOR DALSHIEIMER FAMILY TRUST  
PREPARED BY A3 ARCHITECTS, INC. DATED 07-13-2023.

FOR MORE INFORMATION REGARDING  
#3 GREAT HILLS LANE [EXISTING SEWAGE]  
DISPOSAL SYSTEM COMPONENTS AND PERC-RITE  
FIELD SEE PLAN PREPARED FOR PAUL & NANCY  
SAVAGE PREPARED BY COASTAL ENGINEERING  
COMPANY, INC. TITLED "SEWAGE DISPOSAL  
SYSTEM UPGRADE PLAN" DATED 9-1-15

## T.B.D.

**14 Great Hills Rd., Truro, MA (Savage Dalsheimer  
Approximate Well Locations for Dig Safe Markout,  
7-11-24, Scott B. (modified by bpm) 2750890115**

REQUIREMENTS OF TITLE 9 OF THE STATE ENVIRONMENTAL CODE FOR  
SUBSURFACE DISPOSAL OF SANITARY SEWAGE AND LOCAL BOARD OF  
HEALTH REGULATIONS, EXCEPT AS NOTED.



DRAFT ISSUED FOR DISCUSSION 04-05-2024



COASTAL  
engineering co.  
Has Joined **Tighe & Bond**

IRURO, MA

DALSHEIMER FAMILY TRUST

# PLAN SHOWING PROPOSED SEWAGE DISPOSAL SYSTEM

PROJECT	14 GREAT	SHEET NO.
SCALE	AS NOTED	
DRAWING FILE	C19653-CIV.dwg	
DATE	04-05-2024	
DRAWN BY	MJB	
CHECKED BY	BPM	
<div style="border: 1px solid black; width: 100px; height: 100px; margin: 10px auto;"></div>		
<h1 style="margin: 0;">C2.1.3</h1>		
<u>1</u> of <u>1</u> SHEETS		
PROJECT NO.	C19653.00	



JUL 30 2024

PAID  
CC

PERMIT # 2024-30



## TOWN OF TRURO

### Conservation Commission

24 Town Hall Road  
P.O. Box 2030, Truro MA 02666

#### APPLICATION FOR ADMINISTRATIVE REVIEW PERMIT

**PERMIT FEE \$20**

Applicant Name: Peter Chermayeff and Andrea Petersen

Telephone: [REDACTED]

Email address: [REDACTED]

Owner Name: Peter Chermayeff and Andrea Petersen

Telephone: [REDACTED]

(If the applicant is not the owner of the property, written consent to the work MUST be attached to this Application.)

Address of subject property: 127 Slough Pond Rd

Map: 61

Parcel: 8

Description of proposed work: wood framed and wood clad storage shed - 6' x 12' in plan (72 Sq ft). Height 8' and 7' with sloped asphalt roof. 2 doors, no windows. To sit on concrete blocks on flat ground to side of existing path between houses.

Proximity to Resource Areas: approx 70' from pond with pine forest buffer between. No trees or vegetation disturbed.  
*all work will be done by hand.*

#### CRITERIA FOR ADMINISTRATIVE REVIEW (AR) PERMITS

##### Vegetation Projects:

- No removal of vegetation within any inland or coastal wetland resource.
- No uprooting of vegetation.
- No mowing to the ground or clear cutting.
- Any proposed tree removal is demonstrated to be necessary, e.g., to protect existing structures, public safety, traffic visibility, etc.
- Mitigation may be required, i.e., an area to be planted with native species of trees or shrubs.
- Trees for removal must be tagged for inspection.
- No excavation by machinery is required or proposed.

##### Sheds and Other Construction Projects:

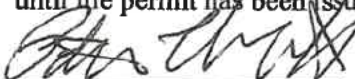
- ✓ No construction *within* any wetland resource except for minimal projects with the consent of the Conservation Agent.
- ✓ Any proposed new construction is more than 50' from the edge of resource area.
- ✓ No excavation by machinery is required or proposed.
- ✓ Foundation for structure shall be concrete blocks, sono tubes, diamond piers
- Repairs or replacement of existing structures remain within the same footprint.
- ✓ New structures must be less than 160 square feet.
- Only minimal projects such as biomimicry, sand nourishment, beach grass and planting of native species shall be allowed under this permit

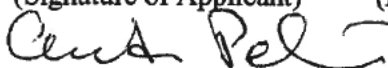
##### Procedure:

- The fee shall be submitted with the Administrative Review Application.
- The Agent shall conduct a site visit, at which time the proposed project must be clearly defined in the field with stakes. Trees shall be flagged.

- If the Agent determines that all of the conditions of this Policy are met, the Agent may approve the Application. If the conditions of this policy are not met; the application is incomplete; or the field ID is inadequate the application is denied.
- If the Agent approves the application, such approval must be ratified by the Truro Conservation Commission prior to the issuance of this permit and prior to the commencement of any work.
- Any Property Owner, contractor or other agent of the owner performing any work pursuant to an Administrative Review permit shall have a copy of the permit available at the site at all times during the period that the work is being performed.
- Upon approval and ratification by the Commission, an Administrative Permit shall issue.
- The applicant shall notify the Commission prior to the start of the work, and must complete the work within thirty (30) days of issuance of the permit, unless otherwise permitted by the Commission.
- The Conservation Agent shall inspect the property to verify that the work completed is within the scope of the Approved Application.
- Any work beyond the scope of the approved Administrative Review shall be subject to enforcement action.
- NOTE: Use of town property for beach access or staging of construction materials requires a permit issued by the Board of Selectmen.

By signing this permit application, you are acknowledging that you have read and understand the terms as stated herein. You are also aware that no work shall go forward until the permit has been issued by the Conservation Commission.

 7/30/24  
(Signature of Applicant) (Date)

 7/30/24

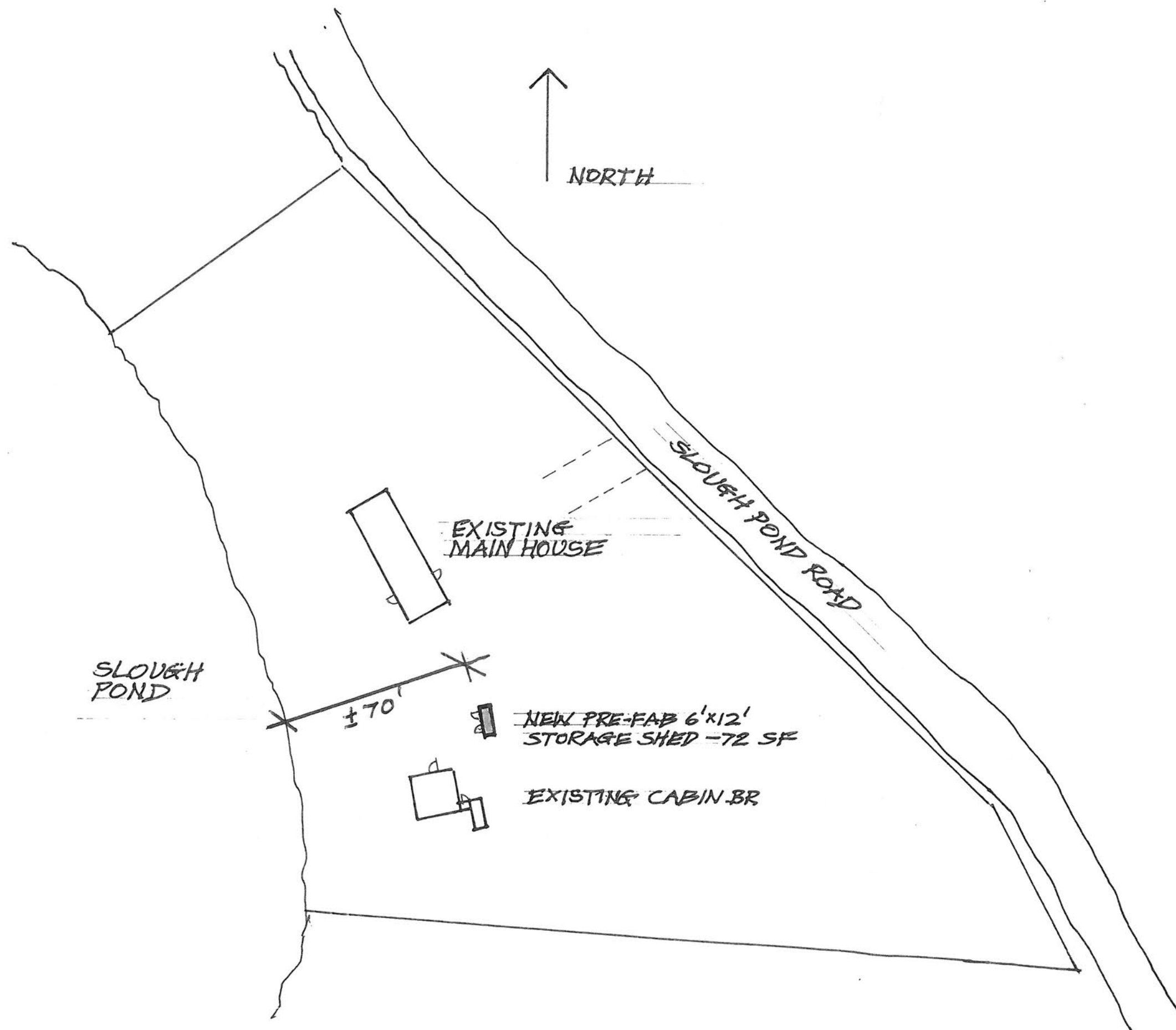
FOR OFFICE USE ONLY:

Agent's Comments OK for AR - met all requirements for  
Shed

Site Inspection Date: 7/30/2024 Application Approved: ☒ Yes ☐ No

Conservation Commission Review: Meeting Date: \_\_\_\_\_ Permit Approved: ☐ Yes ☐ No  
Conditions: \_\_\_\_\_

Signature of Commission Chair or Agent: \_\_\_\_\_ Date: \_\_\_\_\_



SKETCH FOR EXPRESS PERMIT  
FROM TOWN OF TRURO

**127 SLOUGH POND RD**

ANDREA PETERSEN &  
PETER CHERMAYEFF

Scale 1"=40' July 26, 2024

PAID

PERMIT # 2024-31



# TOWN OF TRURO

## Conservation Commission

24 Town Hall Road  
P.O. Box 2030, Truro MA 02666

### APPLICATION FOR ADMINISTRATIVE REVIEW PERMIT

PERMIT FEE \$20

Applicant Name: LEE W. WHITE Telephone: [REDACTED]  
Email address: WHITE CONSTRUCTION CO INC @ COMCAST.NET  
Owner Name: JEFF BLOMBERG Telephone: [REDACTED]  
(If the applicant is not the owner of the property, written consent to the work MUST be attached to this Application.)

Address of subject property: 39 KNOWLES HTS Map: 35 Parcel: 144  
Description of proposed work: REPLACE TRAILS ON BEACH STRIPWAY  
Proximity to Resource Areas: COASTAL BANK

### CRITERIA FOR ADMINISTRATIVE REVIEW (AR) PERMITS

#### Vegetation Projects:

- No removal of vegetation within any inland or coastal wetland resource.
- No uprooting of vegetation.
- No mowing to the ground or clear cutting.
- Any proposed tree removal is demonstrated to be necessary, e.g., to protect existing structures, public safety, traffic visibility, etc.
- Mitigation may be required, i.e., an area to be planted with native species of trees or shrubs.
- Trees for removal must be tagged for inspection.
- No excavation by machinery is required or proposed.

#### Sheds and Other Construction Projects:

- No construction *within* any wetland resource except for minimal projects with the consent of the Conservation Agent.
- Any proposed new construction is more than 50' from the edge of resource area.
- No excavation by machinery is required or proposed.
- Foundation for structure shall be concrete blocks, sono tubes, diamond piers
- Repairs or replacement of existing structures remain within the same footprint.
- New structures must be less than 160 square feet.
- Only minimal projects such as biomimicry, sand nourishment, beach grass and planting of native species shall be allowed under this permit

#### Procedure:

- The fee shall be submitted with the Administrative Review Application.
- The Agent shall conduct a site visit, at which time the proposed project must be clearly defined in the field with stakes. Trees shall be flagged.



- If the Agent determines that all of the conditions of this Policy are met, the Agent may approve the Application. If the conditions of this policy are not met; the application is incomplete; or the field ID is inadequate the application is denied.
- **If the Agent approves the application, such approval must be ratified by the Truro Conservation Commission prior to the issuance of this permit and prior to the commencement of any work.**
- Any Property Owner, contractor or other agent of the owner performing any work pursuant to an Administrative Review permit shall have a copy of the permit available at the site at all times during the period that the work is being performed.
- Upon approval and ratification by the Commission, an Administrative Permit shall issue.
- The applicant shall notify the Commission prior to the start of the work, and must complete the work within thirty (30) days of issuance of the permit, unless otherwise permitted by the Commission.
- The Conservation Agent shall inspect the property to verify that the work completed is within the scope of the Approved Application.
- Any work beyond the scope of the approved Administrative Review shall be subject to enforcement action.
- NOTE: Use of town property for beach access or staging of construction materials requires a permit issued by the Board of Selectmen.

By signing this permit application, you are acknowledging that you have read and understand the terms as stated herein. You are also aware that no work shall go forward until the permit has been issued by the Conservation Commission.

 08/01/2024  
(Signature of Applicant) (Date)

**FOR OFFICE USE ONLY:**

Agent's Comments

Existing Stringers/supports to remain  
Replacing damaged freads

Site Inspection Date: 8/1/2024 Application Approved: ☒ Yes ☐ No

Conservation Commission Review: Meeting Date: \_\_\_\_\_ Permit Approved: ☐ Yes ☐ No  
Conditions: \_\_\_\_\_

Signature of Commission Chair or Agent: \_\_\_\_\_ Date: \_\_\_\_\_

JUL 24 2024

# SMILE Mass Accessible Beach House



Lotte Diomede  
President, Co-Founder

Susan Brown  
Vice President, Co-Founder

Board Members

Gerard Verweij, Chair of  
the Board

John Tobin

Mike Gray

Maria Fragala Pinkman, PT,  
DPT

Mercedes Beyna

Jayne Carvelli-Sheehan,  
R.N., MSN

Employees

Jennifer Bolduc,  
Administrator

Todd Civin,  
Director of Communication

Melissa Upham  
Fundraising Administrator

Trevor Fishman, Coach

Riley Millay, Coach

Julia Marks, Coach

Jessica Smith, Coach

Estel DuPlessis, Coach

Mitchell Liberman, Coach

Allison Sullivan, Teacher

Dear Emily Beebe, Conservation Committee

I am reaching out to request to be added to the agenda for the August 5<sup>th</sup>, 2024 meeting of the Truro Conservation Department.

We received the Department's directive to remove the portable patio by September 1 or earlier if there is an imminent hurricane threat. However, this poses a few significant challenges, both from a safety perspective and financially. As noted in the attached, our plan is to disassemble and store securely the removable patio on the existing back deck.

As previously mentioned, we have guest renters through the month of November who expect to be able to enjoy the full pleasures of the condo and beach views. If we have to disassemble this removable patio by September 1, and store it according to the plan, it will create a substantial fire-safety hazard as renters will only have one means of egress.

From a financial viewpoint and service excellence, we have renters who have signed contracts for rental between 9/1/24 and 11/15/24. The inability to rent the unit after 9/1 will cause our Non-Profit SmileMass extreme financial hardship as we depend on this revenue for our mission. As well, our renters have planned their family vacations and time off, expecting to enjoy all the beauty the cape has to offer in the shoulder season. To that end, we are requesting the opportunity to discuss an extension of the removal deadline until the conclusion of our rental season.

We have developed the requested action plan to address expeditious removal and storage of the patio in the event of any hurricane threats, and our renters are, and will be made aware, of this plan in the event of severe weather situations that trigger the implementation of this plan.



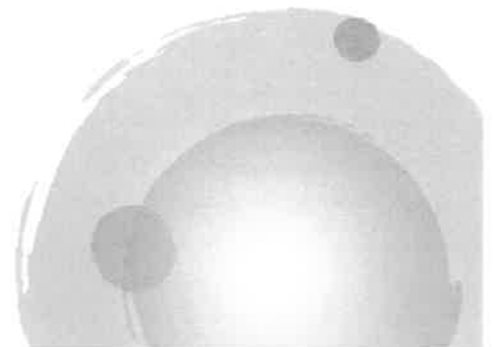
We would like to present our case at the upcoming August 5<sup>th</sup> meeting and would be grateful for the opportunity to do so.

Our Board Member, Jayne Carvelli Sheehan will attend the meeting in person and represent SmileMass to review the plan and answer any questions you may have.

Please feel free to reach out should you have any questions or require further information.

Best Regards,

Lotte Diomede



Lotte Diomede  
President, Co-Founder

Susan Brown  
Vice President, Co-Founder

#### Board Members

Gerard Verweij, Chair of  
the Board

John Tobin

Mike Gray

Maria Fragala Pinkman, PT,  
DPT

Mercedes Beyna

Jayne Sheehan

#### Employees

Jennifer Bolduc,  
Administrator

Todd Civin,  
Director of Communication

Melissa Upham  
Fundraising Administrator

Trevor Fishman, Coach

Riley Millay, Coach

Julia Marks, Coach

Jessica Smith, Coach

Estel DuPlessis, Coach

Mitchell Liberman, Coach

Allison Sullivan, Teacher

Good afternoon,

In the event of a hurricane or tornado warning the plan for 544 Shore Rd., Unit #3 is as follows.

If a hurricane watch is issued by the National Weather Service for the Cape Cod area, SMILE Mass will follow the track of the storm. As the condo owner of 544 Shore Rd # 3, we will heavily rely on both the Condo Association and Peter's Property, our property management team, to keep us informed about the storm and the necessary action required to ensure that both people and the condo are kept safe.

- In the event of an impending storm, we will ensure all loose items (chairs, umbrellas, tables, sand toys) are stored in the large brown bin on the right back side of the deck.
- The floating beach wheelchair will be hung on the left side of the deck and secured with bungees. Arms will be removed and secured on hooks.
- Life vests will be brought inside into the downstairs closet.
- The floating patio will be removed and safely stacked into one another. The removal and securing takes approximately 30 to 45 minutes on average. The patio is constructed with four equally sized top pieces, each weighing about 35 pounds. Please see the attachment.

In case the floating patio and loose items need to be removed, we will advise the team below, and they will have everything secured and removed several hours before the storm hits landfall.

- 1) Dan O'Connell – East Coast Construction – who constructed the patio- 774-510-2505
- 2) Ed O'Neill - Septic Pump Lift Stations 978-580-4179
- 3) Rodrigo Evangelista -Masterpiece Painters 508-400-1919
- 4) Craig Bolivar - Craig the Plumber 617-590-7174
- 5) Lotte Diomede and the SMILE Mass Team
- 6) Peter's Property Management-Property Management Company for 544 Shore Rd. Unit 3.

The first five above have already been trained in the removal process and a copy is hanging in the unit on the door of the upstairs closet. Peter's Property will be trained prior to the hurricane season.


For immediate support, please call Lotte Diomede at 617-967-7755

## **Sectional Portable Patio**

The patio consists of four sections approximately five feet wide by five feet long—at approximately 35 pounds each.

1. Beginning at the left side of the patio, remove the detachable brackets and removable carriage bolts from the patio fascia. Brackets and bolts are stored in plastic bags and placed in the storage bin on the deck.
2. Remove each of the 4 sections that are interlocked with the existing patio rim joist.
3. Remove interlocking beveled supports at the rim joist.
4. The exposed perimeter of the patio and sectionally trimmed with PVC fascia board will be removed and placed on the existing deck.
5. Pavers are removed and placed on the existing deck.
6. Place each section of the patio on top of the fascia board and pavers on the existing patio for security and stackability.
7. Sections will be secured with bungee cords all found in the upstairs closet.

## **Additional Items Stored Outside the Unit**

8. A large brown bin used for storage resides on the deck of the unit. The bin is used for storage of life vests, sand toys, umbrellas, wheels for beach wheelchairs, etc.
  9. All loose items will be stored in the bin for safety.
  10. The deck chair and table will be placed in the unit.
  11. The floating beach wheelchair will be hung on hooks on the left side of the deck secured with bungee cords. Once the season is over all the pieces will be stored inside in the downstairs bathroom.
- 





## Images of Floating Patio Before and After



Due to erosion of the beach last summer, the Condo commission erected fences to prevent additional erosion from occurring.



The view from the back deck makes it clear that wheelchair do not have the space to maneuver their chairs to turn around or have access to the view of the beach.

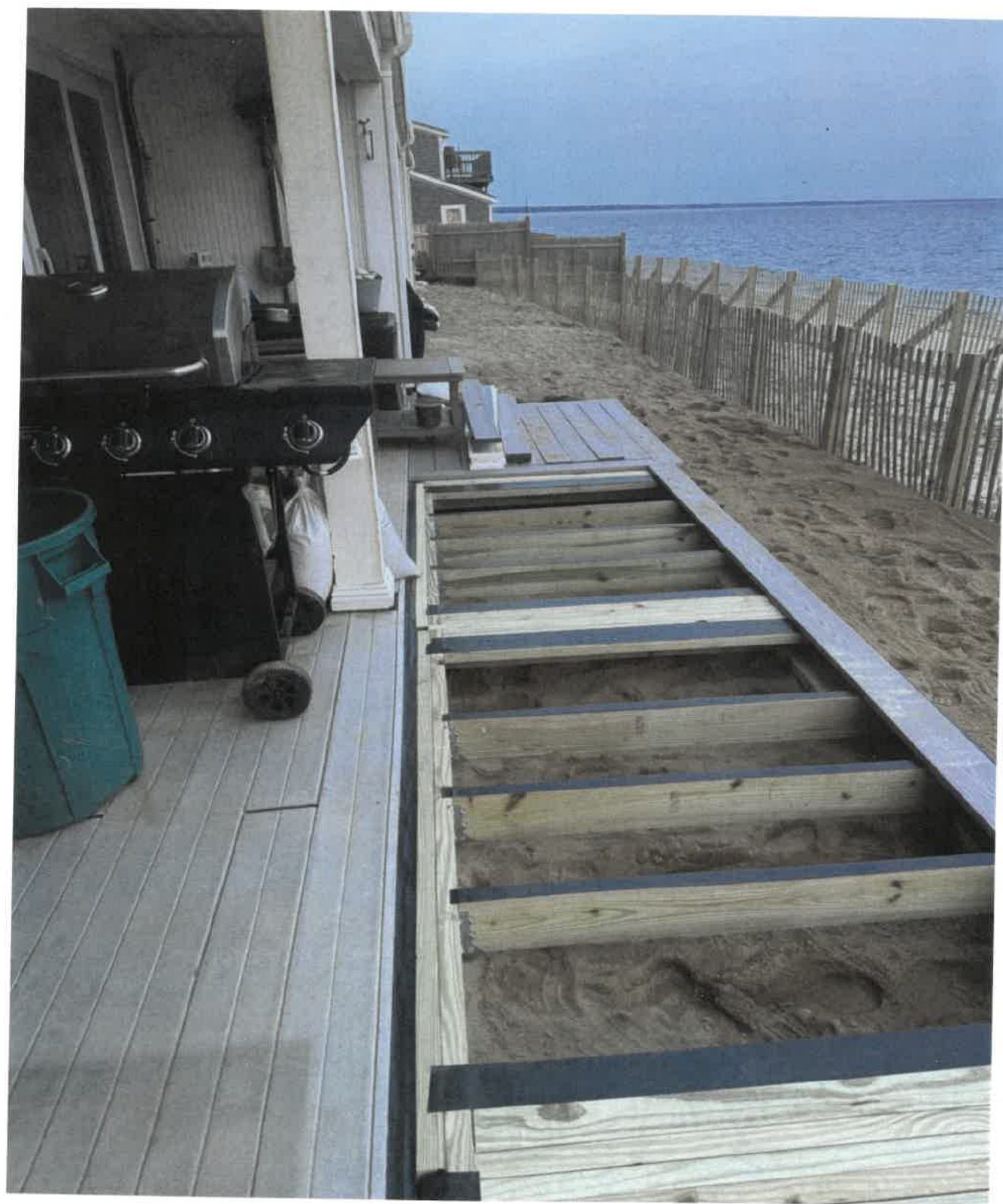






The deck consists of four sections approximately five feet wide by six feet six inches long—a total span of roughly twenty-six feet in length. This coincides with the length of the current deck to provide equal access.





Patio augmentation is made of the same material as the balance of the deck for appearance, safety, and consistency.



Removable carriage bolts will tie sections together at the deck fascia. Portable deck Sections will be supported on pavers. The sections will interlock with and attach for stability. Decking attachments will consist of interlocking beveled supports at the rim joist and adjoining structures. The entirety of the deck will attach on either side with detachable brackets.





The deck sections will interlock with the existing deck rim joist to ensure safety. The exposed perimeter of the deck is sectionally trimmed with PVC fascia board.





**Finished deck augmentation allows wheelchair users to exit the back of the unit and easily maneuver so that they have access to the view of the beach.**



Deck augmentation extends the same distance onto the sand as the removable ramp extends on the unit next door.





**Completed and detachable augmentation allows accessibility to wheelchair users so that like able bodied guests, they may enjoy a beach vacation.**











## **Images of Abutter's Back Deck Area Utilizing the Beach**



**View from the left of Unit 3, indicates that other units store decking, beach chairs, gas grill with decking, canoes and other items on the beach sand that may act as projectiles during hurricane or tornado and may also impact the beach erosion to a greater degree than the stationary patio enhancement constructed by Unit 3 to provide equal access to reenters.**



## Testimonials From Condo Renters

### WHAT PEOPLE ARE SAYING ABOUT THE SMILE MASS BEACH HOUSE!

\*Reviews from Homeaway/VRBO (our reservation website)

#### **Amazing accessible rental right on the beach!**

It is safe to say that my family and I have been waiting for a beach rental like this one for a very long time. Finding wheelchair accessible rentals on the Cape is next to impossible, let alone finding one that has the beach in the back yard. Our 9 year old son who is disabled LOVES the beach, but to take him there is a business and a half with all the equipment we need to bring with us.

It made for a VERY relaxing time for ALL of us, and there really was no reason to leave the house at all. We had everything we needed there, the accessible 1st floor bedroom with its own accessible full bathroom, lovely living room, perfect dining area, fully equipped kitchen, 2nd floor bedroom and bathroom which is perfect for family and friends, all beautifully renovated this year. We pretty much spent all day outside, where there are plenty of lounge chairs and beach chairs of all kinds, and most importantly the house has the Mobi floating beach wheelchair for renters to use, which for us is how we get our son safely into the ocean. Talking about which; the ocean was AMAZING! We had several calm wave days with comfortable water temperatures, perfect for relaxing in the Mobi or floating on foam noodles. We also had a really fun day of riding small-ish waves on a giant float with the lovely next door tenants who we made good friends with. We also enjoyed watching the sunsets in the evenings, which were absolutely stunning. We have already decided to go back next year. It doesn't hurt either that Provincetown is a short drive away with all it's fun restaurants and cafes. Thank you SMILE Mass for making this possible, from the bottom of our hearts! Ps. The owners are the nicest people ever!

- Ima J.

#### **Handicapped accessible townhouse on the Ocean**

This was a handicapped accessible townhouse on the ocean in Truro Cape Cod. I have a daughter in a wheelchair and it was the first time I could take her on vacation with us in a long time. This unit came with a roll in shower with a shower chair. A bed that you could remotely elevate. It also came with a floating beach wheelchair that could go right into the ocean. My daughter loved just floating in the ocean. Thanks to Smile Mass for making this vacation possible.

- Michael M.

**Dream come true!**

Everything about this property is perfect! The accessibility is a dream come true for beach lovers. Our family had the most amazing week. My daughter who uses a wheelchair was able to enjoy swimming in the ocean, kayaking, and being independent in a beautiful beach house. Thank you for an unforgettable vacation! We'll definitely be back next year and hopefully for years to come!

- Marguerite S.

**Wheelchair mostly accessible & pretty great location!**

Our family had a great time at this property. My two senior parents - one in a wheelchair - and my husband and myself, all fit nicely in the two bedroom, two bathroom, unit. The upstairs bedroom and bathroom were a great privacy space, with a gorgeous balcony view right out to the bay. We were woken one night by the sound of large waves. It was awesome! The downstairs bedroom had the wheelchair roll-in shower. The beach outside the sliders, with a mat to roll a wheelchair out on, was wonderful. My handicapped California mom was instantly cheered up by this experience. We even put her in the beach wheelchair and got her down to the water. We're already making plans to go back - but on a less popular point on the calendar. Almost want to keep this place a secret.

- Juliana H.

**What a dream come true**

For families traveling with a wheelchair user to the beach this place is a dream come true. They have everything you could ever need equipment wise. They even called me to review our needs and purchased an additional piece of equipment for my son to use while there. On top of it all? The place is gorgeous with a beautiful view and access right to the beach and water. Just step outside. We absolutely loved it and will be back if ever in New England.

- Barbara L.

**Beautiful! Absolutely pleased!**

What a beautifully decorated townhouse. We couldn't have asked for a nicer place to stay for our visit. The view was amazing, the decor was oh-so-beachy, (loved the sliding barn doors too!), all the conveniences of home was soo much better than a hotel, did I mention the views of the ocean from nearly every window and sliding door!? The handicap accessible shower made it so easy to help my disabled son shower, and the closeness to Ptown, and Orleans, and many beautiful beaches and lighthouses made it an excellent choice. Of course waking up to see the ocean right out our window, and again at the breakfast table was absolutely the best! Our hosts were very easy to contact and always answered our questions right away! We loved being right on the beach.. I highly recommend staying here, you will not be disappointed. We cannot wait to come back!

- Lisa C.

I couldn't have asked for anything more..Breath taking..Very accommodating for my son. Thank you

- Anita B.

Great property location and owner. Second annual stay in this condo and will be sure to stay again next year if we can. Thank you

- Christine R.

**Lovely accessible beach front townhouse**

Very nice waterfront vacation condo for even heavy power wheelchair users. Light and airy. Beautiful and quiet as well.

- Chris M.

**Beautiful accessible location**

Beautiful handicap accessible ocean front condo. A rare find for sure! Finally a beach that we could take our handicap son to, truly a dream to have a condo with the necessary handicap amenities. The owners of this property were so quick to respond to any questions and attentive to every detail. Waking up to the ocean front was amazing. Also the restaurants in the area are amazing. Thank you so much!

- Mary W.

**Comment from Miss Wheelchair Massachusetts Victoria Rose Sousa**

Just spent a week with my family at the accessible condo in Truro! The condo itself was perfect for my needs and the ramps and beach mats gave me the freedom to go in and out as I pleased! In the 28 years that I have been vacationing in Truro, this has been my favorite trip! Thank you for an unforgettable week!

- Victoria Rose Sousa



## Support from Abutter in Unit 2

*To Whom it may concern,*

*I am the owner of Unit 2 in this complex. Please note that the abutting, removable deck at unit 3 does not obstruct my unit nor my usage of space. I do not have a problem with the decking that was built and placed in Unit 3.*

*Thank you!*

*Nancy Beiner  
544 Shore Road, Unit 2  
North Truro, MA 02652*

**From:** Kemp Jaycox <[REDACTED]>

*Todd*

*I am very disheartened to hear the news below!*

*I really enjoyed sitting outside on the new patio to soak up some sun and get some fresh air. Without the new patio I would not be able to do that.*

*Due to the nature of my MS, I am unable to transfer to the beach wheelchair and must remain in my own wheelchair.*

*Without the patio, I would not be able to sit outside at all because of the configuration of the ramp and the narrow width of the concrete porch.*

*The requirement below to remove the new patio definitely constitutes discrimination for people with disabilities!! We pay good money to rent the beach house every year and would have to forgo renting if the new patio is removed, thereby smile mass. Truro and Provincetown would lose out on all of the money and tax dollars we bring as well as many other families that enjoy your townhouse unit.*

*I sincerely hope the commission will change their mind once they receive enough feedback from people like me.*

*The new patio and in no way contributes to beach erosion. On the contrary, keeping wheelchairs on hard surfaces like the new patio prevents impact to the sand.*

*Please let me know if you need any additional feedback.*

*Kemp Jaycox*

## Letters of Support from Renters Since Building of Floating Patio

July 6, 2024

To the Truro Conservation Commissioners;

Hello. I have a disabling muscle disease called Pompe Disease. I have to use a rollator to walk. I cannot stand up from a chair that has a seat lower than 25 inches high. I cannot climb stairs and I need a ramp to walk over even a small threshold. I cannot go down to a beach and walk on the sand.

I have rented the SMILE Mass beachside condo in Truro for many years, and I have been a witness to the erosion taking place. This May we returned to find the important anti-erosion installation of the double fence with sea grass planted and thriving in between. And as instructed, my family strictly adhered to going to the beach by exiting through the front door to the building's pass through.

When I found the "patio extension" abutting the porch I was so happy! My tall chair was set up on the porch and I could safely use my rollator to walk down the ramp, turn around and sit in my chair on the porch. Without the extension it has been treacherous for me to do that. Sitting in the porch and facing the harbor is the only way for me to experience the beach.

I found the patio extension to be solidly in place. I believe there are sandbags under it, which help stop the erosion. While sitting on the porch, I noticed a neighboring renter putting her chair immediately by the fence, with one of the chair legs sinking into a fence post hole, to watch the sunset. That would be less likely to happen at the SMILE Mass condo because of the patio extension. Again, my family did not put chairs on the sand there.

I urge the Truro Conservation Commission to reconsider the decision to have the extension removed. It is so beneficial for disabled renters like me and has the added benefit of reducing the likelihood that a renter will put lawn chairs in the sand. There must be some way to compromise and keep it in place, perhaps through frequently inspecting it for any adverse erosive impacts.

Thank you very much for your consideration of this matter.

Sincerely,  
Judy A Franklin

55 S Mount Holyoke Drive  
Amherst, MA 01002

Dear Todd on Behalf of Lotte and SMILE Mass,

I recently stayed at the SMILE Mass condo at 544 Shore Road, Unit 3. The condo and in particular, the patio, has been transformative and has contributed to one of the best vacations I have ever had with my wheelchair-bound wife and her aide this past June.

For several years I had searched for accessible accommodations on Cape Cod but couldn't find anything until I heard about SMILE Mass's condo on the beach- I was elated. Not only is the condo fully accessible with every detail thought through, but it also has an exceptional back patio right on the bay. The minute we entered the condo, I knew that whoever was behind it, had either a disability themselves or was living with a person with a disability.

The patio has space for a wheelchair to maneuver, so it is safe to take my wife outside and have her sit out to watch the water, people on the beach, and the sunset with me. We had a wonderful vacation because my wife was able to feel like she belonged and could join everyone outback on the deck. The removal of the patio is tantamount to denying my wheelchair-bound wife beach and ocean access. People come to the Cape precisely for this reason and removing the accessible patio would deprive wheelchair-bound folks of the ability to enjoy the Cape's greatest treasure.

I can't imagine such a cruel request as removing the one item at the condo that makes the whole experience for my wife accessible and enjoyable.

Sincerely,

Marcie Karp

Hello!

I just spent a few days at Smile Mass Truro with my sister Elaine, who is wheelchair dependent. We had a wonderful time! We look forward to this family vacation every summer.

Since travel is difficult for Elaine, this getaway is perfect for the family to enjoy as it allows accessibility for those with disabilities

The patio extension is invaluable space which makes the vacation worthwhile. Without that extra outdoor space, beach access and views would be extremely limited (if not impossible) for those in a wheelchair.

We appreciate all you do at Smile Mass and hope we can continue to vacation there in the future

Sincerely,

Judy Galley





## TOWN OF TRURO CONSERVATION COMMISSION

P.O. Box 2030  
Truro MA 02666-0630

### **Conservation Commission Meeting Minutes: June 3, 2024**

**Commissioners Present:** Chair Carol Girard-Irwin, Commissioners Bob White, Diane Messinger, and Clint Kershaw. **Absent:** Vice Chair Linda Noons-Rose, **Others Present:** Emily Beebe, Conservation Agent; Courtney Warren Assistant Conservation Agent

This was a hybrid meeting with both in-person and remote participants. Chair Carol Girard-Irwin called the meeting and public hearings to Order at 5:04 pm and provided the virtual meeting instructions.

**Conservation Restriction:** 17 Depot Road, Presented by Fred Gaechter, Truro Conservation Trust. The Trust has acquired this property and having a conservation restriction in place is a legal requirement to receive payment from two grants. **Motion:** Commissioner Clint Kershaw moved to recommend the Conservation Restriction to the Select Board; **Second:** Commissioner Bob White; **Vote:** 4-0-0, the motion carried.

**Notice of Intent: 63 Head of the Meadow Road, Jay Merchant:** construction of beach stairs within easement located on National Seashore property; Coastal Bank. (Map 33, Parcel 3) *(continued from 5/6/2024)* Steve McKenna and Jay Merchant reported that after the last hearing, they met on-site with the Conservation Agent. They are now proposing a low-profile elevated walkway between the existing deck and the top of the proposed stairs to protect sensitive vegetation. The walkway will be 18-24" above grade with ½" spacing between boards. Chair Carol Girard-Irwin asked about revegetation of disturbed areas. Steve McKenna said they planned to primarily plant beach grass as directed by the Seashore. Conditions of approval include revegetation of disturbed areas and the existing footpath with American Beach Grass or other native species to match existing vegetation. Conditions set by NHESP and by the Cape Cod National Seashore will be included in the Order. **Motion:** Commissioner Bob White moved to approve the Notice of Intent with conditions; **Second:** Commissioner Diane Messinger; **Vote:** 4-0-0; the motion carried.

**Notice of Intent: 2 Heron Lane, Hugh Simons:** Coastal Bank stabilization; Coastal Bank, Land Subject to Coastal Storm Flowage. (Map 39, Parcel 221). *(continued from 5/6/2024)* Stan Humphries from ECR stated that since the last hearing they identified an access at 7 Kestrel Lane to allow crane access to move equipment and materials to the beach. It will serve multiple projects in the area. The plan was revised to extend the installation ~10' further south and ~30' further north to meet the abutting coir installations. The Agent noted that the standard conditions for coir arrays include nourishment and planting requirements, and funds in escrow. Commissioner Bob White asked for the length of the entire installation. Stan Humphries estimated ~180'. **Motion:** Commissioner Clint Kershaw moved to approve the Notice of Intent with conditions; **Second:** Commissioner Diane Messinger; **Vote:** 4-0-0; the motion carried.

**Request for Determination of Applicability: 525 Shore Road, U:7, Cheryl Silvernail:** landscaping; Barrier Beach, Land Subject to Coastal Storm Flowage, Coastal Dune. (Map 6, Parcel 5.7) The Agent noted that the new native vegetation will require hand watering. **Motion:** Chair Carol Girard-Irwin moved for a negative 3 determination; **Second:** Commissioner Bob White; **Vote:** 4-0-0; the motion carried.

**Notice of Intent: 617 Shore Road, Lorna Messier & Caroline Carpenter:** 3-season room in place of existing deck; new shed; Barrier Beach, Coastal Dune, & Land Subject to Coastal Storm Flowage. (Map 3, Parcel 3) Gordon Peabody from Safe Harbor Environmental represented the homeowner's request for a modest increase in the size of a porch to create a three-season room. The concrete supports for the existing porch would be replaced with pin piles and the room would not be insulated. The proposal includes a deed restriction to define the addition as a 3-season room not a bedroom. Removal of invasive vegetation, and native revegetation is proposed to mitigate. A small shed with a fold up access ramp will be added in a previously disturbed area. To mitigate, the shed will have a green roof. Chair Carol Girard-Irwin asked about a kayak rack observed in the proposed mitigation area. The property owner was amenable to relocating the kayaks by hanging them from the fence or new shed. Commissioner Bob White asked about the timing for the deed restriction and the Agent replied that recording the deed restriction would be a condition for receiving a Certificate of Compliance. Commissioner Bob White also asked how the shed would be supported and noted that it would need to be raised slightly to keep it out of the flood plain. Gordon Peabody stated that the shed would be on pin piles. It was agreed that the shed should be elevated 12-18". Commissioner Bob White stated that a green roof would require irrigation. The applicant agreed to the deed restriction and asked clarifying questions about the doors on the new structure. The door between the existing kitchen and the new room will be glass to eliminate privacy so that it doesn't meet the definition of a bedroom. **Motion:** Commissioner Clint Kershaw moved to approve the Notice of Intent with conditions; **Second:** Commissioner Bob White; **Vote:** 4-0-0; the motion carried.

**Request for Determination of Applicability: 43 Pond Road, Marjorie & Marston Hodgin:** beach stair repair; Coastal Bank & Coastal Beach. (Map 38, Parcel 1) Gordon Peabody from Safe Harbor Environmental represented the request to replace storm-damaged beach access stairs. The contractor proposes removing the damaged stairs and replacing them with pre-made sections. Sand nourishment and beach grass planting will be necessary and will be done later in the year. Commissioner Clint Kershaw asked if the stairs would be removeable. Commissioner Bob White felt that completely removeable stairs would cause more damage than just removing the lower section since the upper section would not be impacted by a storm. The Agent stated that completely building back the entire structure might not make sense because of the erosion of the bank and asked to meet with the builder. The Agent shared a picture taken from the beach to illustrate that the bank eroded, and the footings were now further seaward. The Commission asked for a sketch to show what specifically is proposed and suggested a site visit with the Agent, the builder, and the homeowners. **Motion:** Commissioner Clint Kershaw moved to continue the matter until July 1, 2024; **Second:** Chair Carol Girard-Irwin; **Vote:** 4-0; the motion carried.

**Request for Determination of Applicability: 383 Shore Road, Pamela Shanley:** fence; Barrier Beach, Land Subject to Coastal Storm Flowage, and Coastal Dune. (Map 10, Parcel 9) Homeowner Pam Shanley started by thanking Assistant Agent Arozana Davis for her help in guiding her through this process. She would like to put up a fence between her vacant lot at 383 Shore Rd and the abutting property at 379 Shore Rd. She has hired Schofield Brothers to survey the lot to be certain about the lot lines. She is proposing a chain link fence elevated at the bottom to allow for animal passage. Chair Carol Girard-Irwin asked if she would be amenable to a wood split rail fence since that would be less obstructive to wildlife. Commissioner Clint Kershaw asked about the fence sections in the front that are in a state of disrepair. If approved the replacement of the split rail fences along the road would be included. The Agent stated that an open, wood split rail fence would be the least impactful. **Motion:** Commissioner Clint Kershaw moved for a negative 3 determination with the condition that the fence be a wooden split rail fence. **Second:** Commissioner Bob White; **Vote:** 4-0-0; the motion carried.

**Certificate of Compliance:** (1) 522 Shore Road (#75-1106) **Motion:** Commissioner Clint Kershaw moved to approve the certificate of compliance request for 522 Shore Road; **Second:** Chair Carol Girard-Irwin; **Vote:** 4-0-0; the motion carried.

**Administrative Review application:** (1) 54 Ryder Beach Road: abandon cesspools, small section of building sewer; (2) 448 Shore Road: electrical service trench; (3) 5 Depot Lane: replace buried power line (emergency repair); (4) 23 Crestview Circle: sister new posts to existing loose posts on stairway for support. **Motion:** Commissioner Diane Messinger moved to approve the Administrative Review permits for 54 Ryder Beach Rd, 448 Shore Rd, and 5 Depot Ln; **Second:** Chair Carol Girard-Irwin; **Vote:** 4-0-0; the motion carried. **Motion:** Chair Carol Girard-Irwin moved to approve the Administrative Review permit for 23 Crestview Circle; **Second:** Commissioner Diane Messinger; **Vote:** 3-0-1 with Commissioner Bob White abstaining; the motion carried.

**Minutes-** May 6, 2024 **Motion:** Commissioner Clint Kershaw moved to approve the minutes from May 6, 2024 as presented; **Second:** Chair Carol Girard-Irwin; **Vote:** 4-0-0; the motion carried.

Commissioner Clint Kershaw moved to adjourn the meeting; **Second:** Chair Carol Girard-Irwin; **Vote:** 4-0-0; the motion carried.

The meeting was adjourned at 6:23 PM.

*Respectfully Submitted by Courtney Warren*