



# Truro Conservation Commission

Monday September 9, 2024  
Hybrid Meeting start at 5:00 PM  
Truro Town Hall, 24 Town Hall Rd

## PUBLIC MEETING AGENDA

This will be a hybrid meeting. Citizens can view the meeting on Channel 8 in Truro and on the Town's website on the "Truro TV Channel 8" button under "Helpful Links" on the homepage. Once the meeting has started, click on the green "Watch" button in the upper right of the page. **To provide comment during the meeting, you can call in or email. To call-in toll-free dial 1-646-558-8656 and enter the following Meeting ID when prompted: 885 5970 4585**

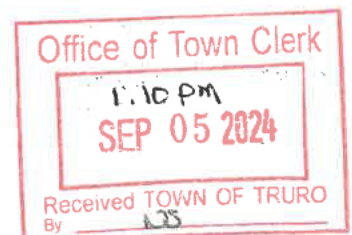
You can join this Zoom meeting from your computer, tablet or smartphone at <https://us02web.zoom.us/j/88559704585>. Please note that there may be a slight delay (15-30 seconds) between the meeting and the live stream (and television broadcast). If you are watching the meeting and calling in, please lower the volume on your computer or television during public comment so that you may be heard clearly. We ask that you identify yourself when calling in; citizens may also provide public comment for this meeting by emailing the Conservation Agent at [ebecbe@truro-ma.gov](mailto:ebecbe@truro-ma.gov) with your comments.

**I. PUBLIC HEARINGS:** The Truro Conservation Commission holds these public hearings in accordance with the provisions of MGL Ch. 131, s. 40, MA Wetlands Protection Act and the Truro Conservation Bylaw, Chapter 8:

- 1. Notice of Intent: 10 Thornley Meadow Road, Roland & Lucia Letendre:** after-the-fact filing for beach stair replacement and beach grass trimming; Coastal Bank & Coastal Dune. (Map 53, Parcel 87) *(continued from 7/1/2024; requesting a continuance to October 7, 2024)*
- 2. Request for Determination of Applicability: 32 Shore Rd, Christian Union Church:** cesspool upgrade; Buffer Zone to a Bordering Vegetated Wetland. (Map 36, Parcel 132)
- 3. Request for Determination of Applicability: 535 Route 6, Dunes Crest Motel:** construct new decks; Buffer Zone to a Coastal Bank. (Map 32, Parcel 28)
- 4. Request for Determination of Applicability: 12 Quanset Rd, Cobb Farm Association:** remove trees around tennis court; Buffer Zone to a Vernal Pool. (Map 59, Parcel 43)
- 5. Administrative Review Applications:** 1.) 510 Shore Rd, U:C: 60 Day extension request;
- 6. Request for Certificate of Compliance:** (1) 12 Pilgrims Path, SE# 75-1146; (2) 7 Yacht Club Rd, SE# 75-1060; (3) 8 Castle Rd, SE# 75-0841; (4) 8 Castle Rd, SE# 75-1105
- 7. Minutes**

**Site visits:** Commissioners will meet at Town Hall on Monday, September 8, 2024, at 9:00 AM and proceed to:

- (1) 12 Quanset Rd; (2) 32 Shore Rd; (3) 535 Route 6



SEP 05 2024

**Tighe&Bond**

August 4, 2024

Emily Beebe – Conservation Agent  
Town of Truro Conservation Department  
24 Town Hall Road  
Truro, MA 02667

VIA EMAIL: [EBeebe@truro-MA.gov](mailto:EBeebe@truro-MA.gov)

CC VIA EMAIL: [ADavis@truro-MA.gov](mailto:ADavis@truro-MA.gov) (Arozana Davis – Assistant Conservation Agent)

**Re: Request for Hearing Continuance  
10 Thornley Meadow, Truro, MA  
Maps 53, Parcel 87**

Dear Ms. Beebe and Commission Members:

On behalf of our clients, Roland & Lucia Letendre, we request a continuance of the hearing scheduled for September 9, 2024.

We are asking for this continuance to allow time for us to work with Ryder & Wilcox and the client to develop a design for a permanent stair structure to replace the inground timber steps over the coastal bank. Time is also needed to provide additional information on the plans regarding the removal of invasive species, new native plantings along the footpaths and potential mitigation areas.

Therefore, we respectfully request that you reschedule the above-referenced project for your **October 7, 2024**, public hearing.

If you have any questions, please contact me at the information provided below.

Very truly yours,

**TIGHE & BOND, INC.**



Marshall H Puffer, PE  
Project Manager





# J.M. O'REILLY & ASSOCIATES, INC.

PROFESSIONAL ENGINEERING, LAND SURVEYING & ENVIRONMENTAL SERVICES

Site Development • Property Line • Subdivision • Sanitary • Land Court • Environmental Permitting

July 25, 2024

Truro Conservation Commission  
P.O. Box 2030  
Truro, MA 02666

Conservation Commission JMO-9607  
TOWN OF TRURO  
JUL 26 2024

RE: Request for Determination of Applicability  
Sewage System Installation & Cesspool Removal  
32 Shore Road, Truro, MA  
Christian Union Church

Dear Commission members,

On behalf of our client, the Christian Union Church, J.M. O'REILLY & ASSOCIATES, INC. is submitting the attached WPA Form 1 Request for Determination of Applicability to seek the approval to install a sewage disposal system to replace the existing cesspool which currently serves the existing 6-bedroom dwelling, at the above referenced property. There are wetland resources along the western edge of the property. As such, the proposed septic system is within 100' of wetland resources.

The existing dwelling is served by a single cesspool. There is no excavation needed for the existing cesspool since the cover is at existing grade and can easily be accessed for pumping and filling. The proposed septic system, which includes an Advantex AX-20 advanced treatment unit, has been sited in front of the dwelling, so as to maximize horizontal and vertical separation distance from wetland and groundwater resources, respectively.

J.M. O'REILLY & ASSOCIATES, INC., looks forward to the public hearing dated September 9, 2024 to review the project with the commission and answer any questions. Please contact our office if you need any additional information prior to the public hearing.

Very truly yours,  
J.M. O'REILLY & ASSOCIATES, INC.

Robert F. Reedy, P.E.  
Civil Engineer

CC: Owner  
MA DEP (SERO)



Massachusetts Department of Environmental Protection  
Bureau of Water Resources - Wetlands

**WPA Form 1- Request for Determination of Applicability**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Truro  
Municipality

**A. General Information**

**Important:**  
When filling out  
forms on the  
computer, use only  
the tab key to move  
your cursor - do not  
use the return key.



|                                                  |                                  |          |  |
|--------------------------------------------------|----------------------------------|----------|--|
| 1. Applicant:                                    | Christian Union Church           |          |  |
| First Name                                       | P.O. Box 187                     |          |  |
| Address                                          | N. Truro                         |          |  |
| City/Town                                        | MA                               | 02652    |  |
|                                                  | State                            | Zip Code |  |
| Phone Number                                     | Email Address                    |          |  |
| 2. Property Owner (if different from Applicant): | same                             |          |  |
| First Name                                       | Last Name                        |          |  |
| Address                                          |                                  |          |  |
| City/Town                                        | State                            | Zip Code |  |
| Phone Number                                     | Email Address (if known)         |          |  |
| 3. Representative (if any)                       | Reedy, P.E.                      |          |  |
| First Name                                       | Last Name                        |          |  |
| Company Name                                     | J.M. O'Reilly & Associates, Inc. |          |  |
| Address                                          | 1573 Main Street, P.O. Box 1773  |          |  |
| Brewster                                         | MA                               | 02631    |  |
| City/Town                                        | State                            | Zip Code |  |
| 508-896-6601                                     | rreedy@jmoreillyassoc.com        |          |  |
| Phone Number                                     | Email Address (if known)         |          |  |

**B. Project Description**

1. a. Project Location (use maps and plans to identify the location of the area subject to this request):

|                                                                                |                                                                                  |
|--------------------------------------------------------------------------------|----------------------------------------------------------------------------------|
| 32 Shore Rd                                                                    | Truro                                                                            |
| Street Address                                                                 | City/Town                                                                        |
| 42.03166                                                                       | -70.08200                                                                        |
| Latitude (Decimal Degrees Format with 5 digits after decimal<br>e.g. XX.XXXXX) | Longitude (Decimal Degrees Format with 5 digits after<br>decimal e.g. -XX.XXXXX) |
| 36                                                                             | 132                                                                              |
| Assessors' Map Number                                                          | Assessors' Lot/Parcel Number                                                     |

- b. Area Description (use additional paper, if necessary):

Mixed residential and commercial lots

- c. Plan and/or Map Reference(s): (use additional paper if necessary)

|                                                                                          |           |
|------------------------------------------------------------------------------------------|-----------|
| Site & Sewage Disposal System Design Plan (3 sheets) by J.M. O'Reilly & Associates, Inc. | 7/16/2024 |
| Title                                                                                    | Date      |
|                                                                                          |           |
| Title                                                                                    | Date      |

[How to find Latitude  
and Longitude](#)

[and how to convert  
to decimal degrees](#)





Massachusetts Department of Environmental Protection  
Bureau of Water Resources - Wetlands

**WPA Form 1- Request for Determination of Applicability** **Truro**  
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40 Municipality

**B. Project Description (cont.)**

2. a. Activity/Work Description (use additional paper and/or provide plan(s) of Activity, if necessary):

Replace existing cesspool with replacement I/A septic system

- b. Identify provisions of the Wetlands Protection Act or regulations which may exempt the applicant from having to file a Notice of Intent for all or part of the described work (use additional paper, if necessary).

3. a. If this application is a Request for Determination of Scope of Alternatives for work in the Riverfront Area, indicate the one classification below that best describes the project.

- ☐ Single family house on a lot recorded on or before 8/1/96
- ☐ Single family house on a lot recorded after 8/1/96
- ☐ Expansion of an existing structure on a lot recorded after 8/1/96
- ☐ Project, other than a single-family house or public project, where the applicant owned the lot before 8/7/96
- ☐ New agriculture or aquaculture project
- ☐ Public project where funds were appropriated prior to 8/7/96
- ☐ Project on a lot shown on an approved, definitive subdivision plan where there is a recorded deed restriction limiting total alteration of the Riverfront Area for the entire subdivision
- ☐ Residential subdivision; institutional, industrial, or commercial project
- ☐ Municipal project
- ☐ District, county, state, or federal government project
- ☐ Project required to evaluate off-site alternatives in more than one municipality in an Environmental Impact Report under MEPA or in an alternatives analysis pursuant to an application for a 404 permit from the U.S. Army Corps of Engineers or 401 Water Quality Certification from the Department of Environmental Protection.

- b. Provide evidence (e.g., record of date subdivision lot was recorded) supporting the classification above (use additional paper and/or attach appropriate documents, if necessary.)



Massachusetts Department of Environmental Protection  
Bureau of Water Resources - Wetlands

**WPA Form 1- Request for Determination of Applicability** Truro  
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40 Municipality

**C. Determinations**

1. I request the Truro Conservation Commission make the following determination(s). Check any that apply:

- ☒ a. whether the **area** depicted on plan(s) and/or map(s) referenced above is an area subject to jurisdiction of the Wetlands Protection Act.
- ☐ b. whether the **boundaries** of resource area(s) depicted on plan(s) and/or map(s) referenced above are accurately delineated.
- ☒ c. whether the **Activities** depicted on plan(s) referenced above is subject to the Wetlands Protection Act and its regulations.
- ☒ d. whether the area and/or Activities depicted on plan(s) referenced above is subject to the jurisdiction of any **municipal wetlands' ordinance or bylaw** of:

Town of Truro

Name of Municipality

- ☐ e. whether the following **scope of alternatives** is adequate for Activities in the Riverfront Area as depicted on referenced plan(s).

**D. Signatures and Submittal Requirements**

I hereby certify under the penalties of perjury that the foregoing Request for Determination of Applicability and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge.

I further certify that the property owner, if different from the applicant, and the appropriate DEP Regional Office were sent a complete copy of this Request (including all appropriate documentation) simultaneously with the submittal of this Request to the Conservation Commission.

Failure by the applicant to send copies in a timely manner may result in dismissal of the Request for Determination of Applicability.

Signatures:

- I also understand that notification of this Request will be placed in a local newspaper at my expense in accordance with Section 10.05(3)(b)(1) of the Wetlands Protection Act regulations.

Signature of Applicant

Signature of Representative (if any)

Date

7/23/2024

Date

7/23/2024

**Request for Determination**

Project address: 32 Shore Road Map 36 Parcel 132

- Is the project located in a resource area or buffer zone \_\_\_\_\_
- Resource Area Type(s): \_\_\_\_\_
- If Buffer Zone what is the distance from Resource Area: \_\_\_\_\_

**Description of project:** (list all activities and describe methodology for construction or installation including equipment type if applicable) Install a new Title 5 Sewage System to replace a cesspool system. No expansion or remodeling of existing home proposed. Excavator will be used to install components. Area will be restored.

**Attached site plan titles/dates, and any other plan or narratives title/dates:** Site & Sewage Disposal System Plan, dated 7-16-2024

**Describe the best management practices/mitigation that will be used on the site:** Removal of cesspool and replacement with a new compliant sewage system.

**Special Conditions required by the Conservation Include:** \_\_\_\_\_

The proposed project is approved subject to the conditions included herein.



The use of town property for beach access or staging of construction materials requires a permit issued by the Board of Selectmen. The owner and applicant/representative are responsible for obtaining this permit prior to work start.

The owner and applicant/representative shall, avoid and otherwise minimize any activities in the buffer zone or in resource areas by use of best management practices on the site, such as:

- Placement of an agreed upon work limit;
- Proper placement of construction materials in developed or already disturbed areas;
- Proper installation/maintenance of erosion control;
- Good housekeeping that includes at a minimum daily trash pickup; no dumping of paint, plaster or concrete on the site but rather, disposing of it properly.

Approval of the project as described herein includes only the scope and specifications reviewed by the Conservation Commission; any changes to this project shall require additional review by the Conservation Commission prior to the work being done. Expansion of the scope of work may result in the applicant being required to file a full notice of intent. Any work done that exceeds the scope defined in the approved application shall be subject to issuance enforcement action; Violation of these conditions may result in issuance of an enforcement Order; non-criminal violation citations to the owner and/or applicant/representative accompanied by fines that accrue per offense and may accrue daily.

By reading and signing this letter of agreement the applicant acknowledges that they have read and understand the terms as stated herein; the scope of this approval is limited to the work described herein; and your signature on this conditional approval is acknowledgement that no work shall go forward until the RDA conditions have been issued by the Conservation Commission.

Applicant/Representative printed name and signature: Robert Reedy, P.E.   
Owners printed name and signature: Rev. Christopher Vazques 

**From:** [Rev Christopher Vazquez](#)  
**To:** [Jean Stanley](#)  
**Subject:** RE: CUC- Signature needed - 32 Shore Rd conservation filing  
**Date:** Tuesday, July 23, 2024 3:46:52 PM  
**Attachments:** [image001.png](#)

---

I approve the use of my signature as the applicant for the RDA application submission to the MA EPA and TOT Con Com.

Reverend Christopher Vazquez

**From:** [Jean Stanley](#)  
**Sent:** Tuesday, July 23, 2024 3:16 PM  
**To:** [Rev Christopher Vazquez](#)  
**Cc:** [Christy Donovan](#)  
**Subject:** CUC- Signature needed - 32 Shore Rd conservation filing

Hey Chris,

I got this email from JMOR. They need your signature on this filing for the BOH and Con Com by Friday – they want to submit the paperwork all together . Please review carefully and let us know if have any questions. If you approve, please respond to this email your approval by typing - "I approve the use of my signature as the applicant for the RDA application submission to the MA EPA and the TOT Con Com.".

Please respond or call at your earliest convenience.

Thanks  
Jean



Jean Stanley  
Director of TRI CDBG Programs  
23 White's Path  
Suite G2  
South Yarmouth, MA 02660  
ph: 508-694-6521  
email: [jean@theresource.org](mailto:jean@theresource.org)



**TOWN OF TRURO**  
**Conservation Commission**

24 Town Hall Road  
P.O. Box 2030, Truro MA 02666  
Tel: 508-349-7004, Ext. 31 Fax: 508-349-5508

WAIVER

I, Robert F. Reedy, P.E. (print name), hereby waive the twenty-one (21) day time period for a public hearing following receipt of a: ☐ Notice of Intent ☐ Abbreviated Notice of Intent ☒ Request for Determination of Applicability ☐ Amended Order of Conditions ☐ Abbreviated Notice of Resource Area Delineation by the Truro Conservation Commission under Massachusetts General Laws, Ch. 131, sec. 40, and under Truro Conservation Bylaw, Section 8.5.2.

The ☐ Notice of Intent ☐ Abbreviated Notice of Intent ☒ Request for Determination of Applicability ☐ Amended Order of Conditions ☐ Abbreviated Notice of Resource Area Delineation was submitted on 7/26/2024 (date) for work at 32 Shore Road (address). I understand that the next meeting of the Conservation Commission is scheduled for 9/9/2024 and that the Commission will open the public hearing on that date.

I am the: ☐ Applicant

☒ Applicant's Representative

  
(signature)

7/25/2024  
(date)



# NHESP 32 Shore



## USGS Topo 32 Shore



USGS Topographic Maps  
NHESP Priority Habitats of Rare Species  
Property Tax Parcels



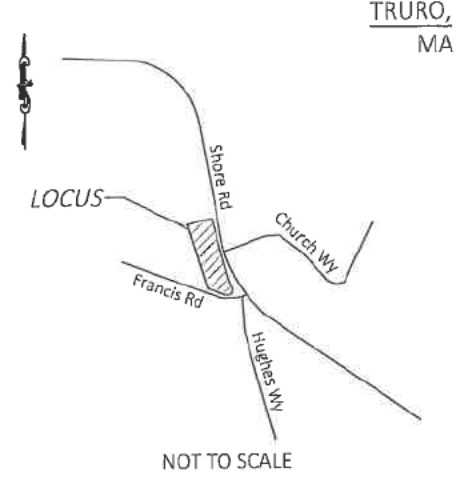
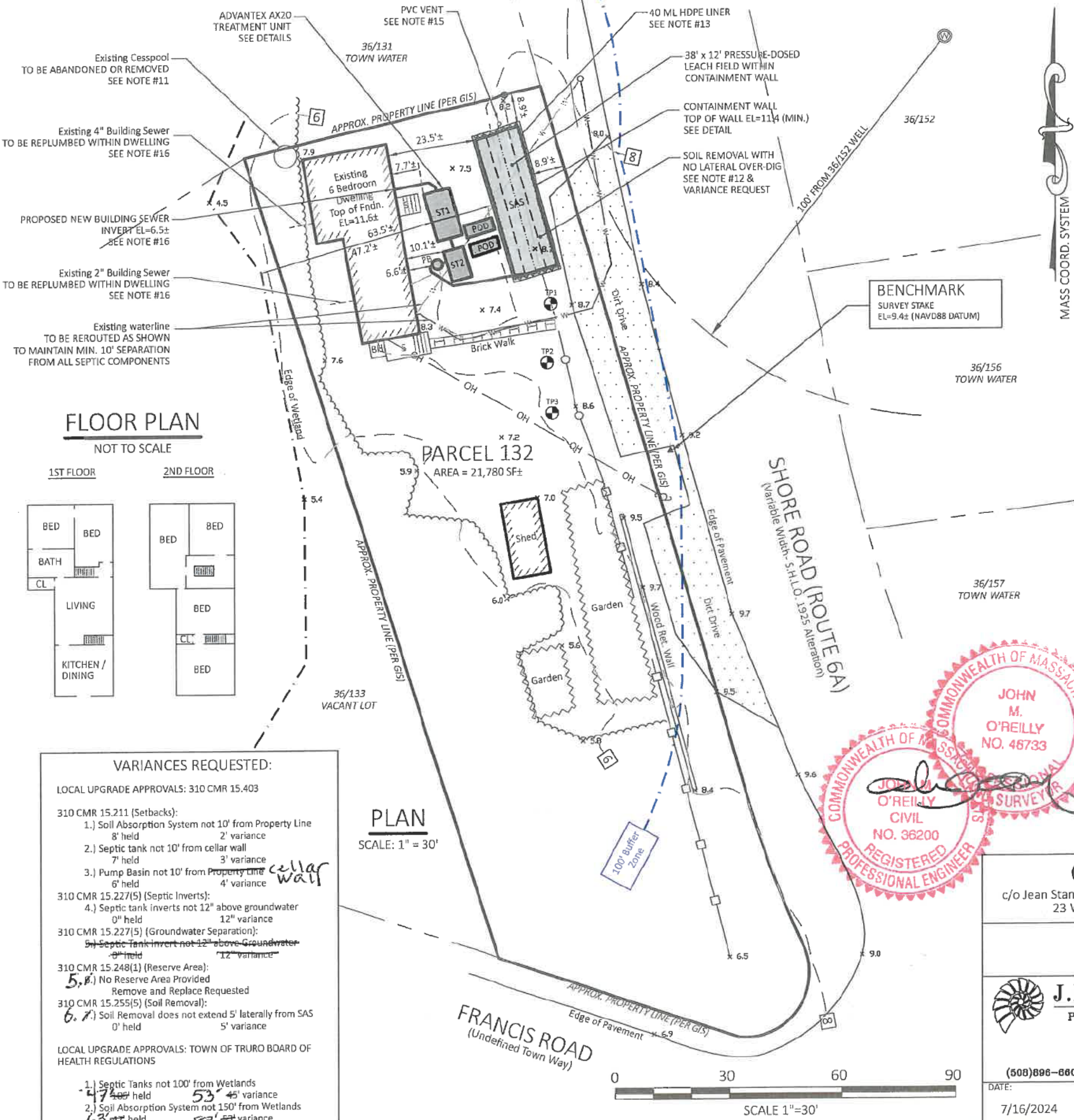
GENERAL NOTES:

- A.) NEITHER DRIVEWAYS NOR PARKING AREAS ARE ALLOWED OVER SEPTIC SYSTEM UNLESS H-20 COMPONENTS ARE USED.
- B.) THE DESIGNER WILL NOT BE RESPONSIBLE FOR THE SYSTEM AS DESIGNED UNLESS CONSTRUCTED AS SHOWN. ANY CHANGES SHALL BE APPROVED IN WRITING.
- C.) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO COMMENCEMENT OF WORK.

CONSTRUCTION NOTES:

- 1.) ALL CONSTRUCTION SHALL CONFORM TO THE STATE ENVIRONMENTAL CODE, TITLE 5, AND THE REQUIREMENTS OF THE LOCAL BOARD OF HEALTH.
- 2.) SEPTIC TANK(S), GREASE TRAP(S), DOSING CHAMBER(S) AND DISTRIBUTION BOX(ES) SHALL BE SET ON A LEVEL STABLE BASE WHICH HAS BEEN MECHANICALLY COMPACTED, OR ON A 6 INCH CRUSHED STONE BASE.
- 3.) SEPTIC TANK(S) SHALL MEET ASTM STANDARD C1127-93 AND SHALL HAVE AT LEAST THREE 20" DIAMETER MANHOLES. THE MINIMUM DEPTH FROM THE BOTTOM OF THE SEPTIC TANK TO THE FLOW LINE SHALL BE 48".
- 4.) SCHEDULE 40 PVC INLET AND OUTLET TEES SHALL EXTEND A MINIMUM OF 6" ABOVE THE FLOW LINE OF THE SEPTIC TANK AND SHALL BE INSTALLED ON THE CENTERLINE OF THE TANK DIRECTLY UNDER THE CLEANOUT MANHOLE.
- 5.) RAISE COVERS OF THE SEPTIC TANK WITH PRECAST CONCRETE WATER TIGHT RISERS OVER INLET AND OUTLET TEES TO WITHIN 6" OF FINISH GRADE, OR AS APPROVED BY THE LOCAL BOARD OF HEALTH AGENT.
- 6.) PIPING SHALL CONSIST OF 4" SCHEDULE 40 PVC OR EQUIVALENT. PIPE SHALL BE LAID ON A MINIMUM CONTINUOUS GRADE OF NOT LESS THAN 1%.
- 7.) BASE AGGREGATE FOR THE LEACHING FACILITY SHALL CONSIST OF 3/4" TO 1-1/2" DOUBLE WASHED NATIVE STONE FREE OF IRON, FINES AND DUST AND SHALL BE INSTALLED BELOW THE CROWN OF THE DISTRIBUTION LINE TO THE BOTTOM OF THE SOIL ABSORPTION SYSTEM. BASE AGGREGATE SHALL BE COVERED WITH A LAYER OF FILTER FABRIC OR APPROVED EQUIVALENT.
- 8.) VENT SOIL ABSORPTION SYSTEM WHEN DISTRIBUTION LINES EXCEED 50 FEET; WHEN LOCATED EITHER IN WHOLE OR IN PART UNDER DRIVEWAYS, PARKING AREAS, TURNING AREAS OR OTHER IMPERVIOUS MATERIAL; OR WHEN PRESSURE DOSED.
- 9.) SOIL ABSORPTION SYSTEM SHALL BE COVERED WITH A MINIMUM OF 9" OF CLEAN MEDIUM SAND (EXCLUDING TOPSOIL).
- 10.) FROM THE DATE OF INSTALLATION OF THE SOIL ABSORPTION SYSTEM UNTIL RECEIPT OF A CERTIFICATE OF COMPLIANCE, THE PERIMETER OF THE SOIL ABSORPTION SYSTEM SHALL BE STAKED AND FLAGGED TO PREVENT THE USE OF SUCH AREA FOR ALL ACTIVITIES THAT MIGHT DAMAGE THE SYSTEM.

- 11.) EXISTING CESSPOOL(S) TO BE REMOVED OR ABANDONED-IN-PLACE IN ACCORDANCE WITH 310 CMR 15.354. ANY CONTAMINATED SOIL WITHIN 5' OF THE PROPOSED SOIL ABSORPTION SYSTEM SHALL BE REMOVED AND REPLACED WITH CLEAN SAND. AREA TO BE COMPACTED TO MINIMIZE SETTLEMENT.
- 12.) SOIL REMOVAL: ALL UNSUITABLE SOILS SHALL BE REMOVED FROM UNDERNEATH THE SOIL ABSORPTION SYSTEM DOWN TO THE CLEAN SAND LAYER ('C1' IN TH#2 AND TH#3). AREA TO BE BACKFILLED WITH CLEAN SAND AND COMPACTED TO MINIMIZE SETTLEMENT. NO LATERAL OVER-DIG BEYOND LIMITS OF SOIL ABSORPTION SYSTEM. SEE VARIANCE REQUEST.
- 13.) INSTALL A 40 ML HDPE LINER ALONG EDGE OF CONTAINMENT WALL, AS SHOWN ON PLAN, FROM EL=11.0 TO EL=7.0. LENGTH OF LINER = 100'±.
- 14.) WATER PROOF NOTE: INSTALLER SHALL ENSURE ALL SEWAGE DISPOSAL SYSTEM CONNECTIONS, COMPONENTS, AND RISERS ARE ALL WATER PROOF. ALL CONNECTIONS SHALL BE MADE WITH HYDRAULIC CEMENT.
- 15.) PASSIVE PVC VENTILATION SYSTEM SHALL BE PIPED TO A 4" PVC VENT WITH 'SWEET-AIR' MUSHROOM CAP. VENT TO BE LOCATED OUTSIDE CONTAINMENT WALL, AS SHOWN ON PLAN. CONTRACTOR SHALL CUT A 3/8" DIAMETER WEEP HOLE IN BOTTOM OF VENT PIPING AT ITS LOWEST POINT, TO PREVENT WATER BUILDUP IN PIPE. INSTALL 12" x 12" x 6" DEEP SECTION OF 3/4"- 1-1/2" STONE BASE LAYER UNDERNEATH VENT PIPE WEEP HOLE. VENT SHALL BE SET 3' ABOVE FINISH GRADE.
- 16.) THE EXISTING 2" PVC BUILDING SEWER AND THE EXISTING 4" PVC BUILDING SEWER, BOTH NOTED ON THE PLAN, SHALL BE REPLUMBED TO EXIT THE FRONT OF THE BUILDING VIA (1) PROPOSED 4" PVC BUILDING SEWER, AS SHOWN ON THE PLAN. ALL PLUMBING WORK SHALL BE COMPLETED BY A LICENSED PLUMBER AND SHALL MEET STATE PLUMBING CODE 248 CMR 2.0 STANDARDS AND REQUIREMENTS.



S.H.L.O. 1925 ALTERATION, SHEET 9 OF 11  
DEED BOOK 923 PAGE 338  
ASSESSORS' MAP 36 PARCEL 132

LEGEND

|         |                             |
|---------|-----------------------------|
| — 32 —  | EXISTING CONTOUR            |
| — 32 —  | PROPOSED CONTOUR            |
| X12.34  | EXISTING SPOT GRADE         |
| 24x5    | PROPOSED SPOT GRADE         |
| — W —   | WATER SERVICE LINE          |
| — OH —  | OVERHEAD UTILITY SERVICE    |
| TP      | TEST HOLE / BORING LOCATION |
| ST      | SEPTIC TANK                 |
| PB      | PUMP BASIN                  |
| SAS     | SOIL ABSORPTION SYSTEM      |
| RES     | RESERVED FOR FUTURE         |
| U       | UTILITY POLE                |
| W       | WELL                        |
| ▲       | SURVEY STAKE                |
| ●       | IRON PIPE, FOUND            |
| — x —   | LIMIT OF WORK               |
| — □ —   | CHAIN LINK FENCE            |
| — ○ —   | SPLIT RAIL FENCE            |
| — ~ —   | EDGE OF GARDEN              |
| — ~ ~ — | EDGE OF CLEARING            |

Conservation Commission  
TOWN OF TRURO  
JUL 26 2024  
SHEET 1 OF 3

Christian Union Church  
c/o Jean Stanley, Director of Housing Rehab Programs, The Resource Inc.  
23 White's Path Suite G2, South Yarmouth, MA 02564

SITE PLAN  
32 SHORE ROAD, TRURO, MA

J.M. O'REILLY & ASSOCIATES, INC.  
Professional Engineering & Land Surveying Services

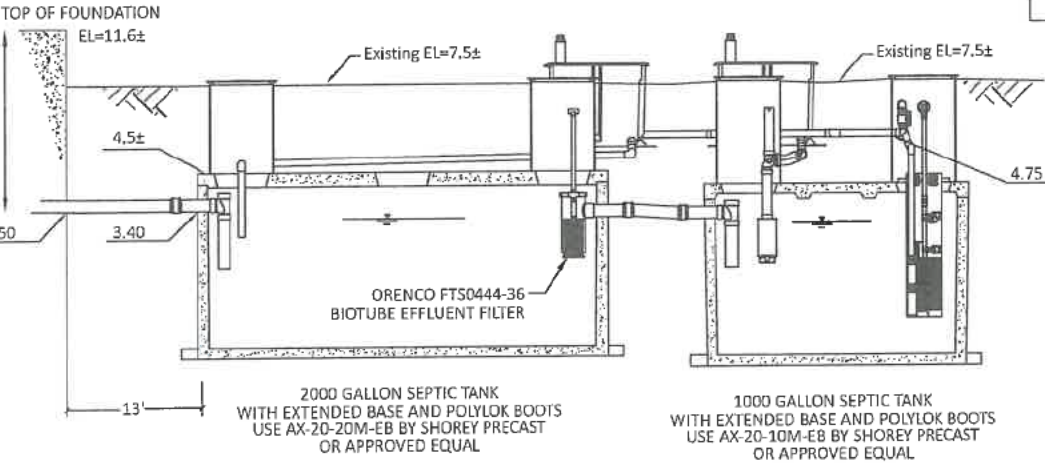
1573 Main Street - Route 6A  
P.O. Box 1773  
(508)896-6801 Office Brewster, MA 02631 (508)896-6802 Fax

|           |          |     |        |             |
|-----------|----------|-----|--------|-------------|
| DATE:     | SCALE:   | BY: | CHECK: | JOB NUMBER: |
| 7/16/2024 | As Noted | RFR | JMO    | JMO-9607    |



FLOW PROFILE:

NOT TO SCALE



SOIL TEST LOGS:

TEST HOLE 1: EL=8.4± (<4' PERVIOUS SOIL)

| DEPTH FROM SURFACE (INCHES) | SOIL HORIZON | SOIL TEXTURE (USDA)  | SOIL COLOR (MUNSELL) | SOIL MOTTLING | OTHER    |
|-----------------------------|--------------|----------------------|----------------------|---------------|----------|
| 0-14                        | A            | Fine Loamy Sand      | 10YR3/1              | NONE          |          |
| 14-49                       | B            | Loamy Sand           | 10YR5/8              | NONE          |          |
| 49-55                       | C1           | Sandy Loam           | 10YR6/6              | NONE          |          |
| 55-70                       | C2           | Medium - Coarse Sand | 10YR5/8              | NONE          | GW @ 51" |

TEST HOLE 2: EL=8.2± (>4' PERVIOUS SOIL)

| DEPTH FROM SURFACE (INCHES) | SOIL HORIZON | SOIL TEXTURE (USDA)  | SOIL COLOR (MUNSELL) | SOIL MOTTLING | OTHER    |
|-----------------------------|--------------|----------------------|----------------------|---------------|----------|
| 0-18                        | Cf           | ---                  | ---                  | ---           |          |
| 18-24                       | Ab           | Fine Loamy Sand      | 10YR7/1              | NONE          |          |
| 24-75                       | C1           | Medium - Coarse Sand | 10YR5/8              | NONE          | GW @ 48" |

TEST HOLE 3: EL=8.2± (>4' PERVIOUS SOIL)

| DEPTH FROM SURFACE (INCHES) | SOIL HORIZON | SOIL TEXTURE (USDA)  | SOIL COLOR (MUNSELL) | SOIL MOTTLING | OTHER    |
|-----------------------------|--------------|----------------------|----------------------|---------------|----------|
| 0-17                        | Cf           | ---                  | ---                  | ---           |          |
| 17-22                       | Ab           | Fine Loamy Sand      | 10YR7/1              | NONE          |          |
| 22-72                       | C1           | Medium - Coarse Sand | 10YR5/8              | NONE          | GW @ 48" |

DATE OF TESTING: 6/6/2024  
PERCOLATION RATE: PERC @ 36" IN TH#3, LESS THAN 2 MIN/INCH IN MED.- CRS. SAND LAYER.  
WITNESSED BY: ROBERT REEDY, P.E., J.M. O'REILLY & ASSOCIATES, INC.  
AROZANA DAVIS, TRURO HEALTH DEPARTMENT  
GROUNDWATER ENCOUNTERED @ 48", EL=4.2.  
USE A LOADING RATE OF 0.74 GPD/SF FOR SIZING OF SOIL ABSORPTION SYSTEM.

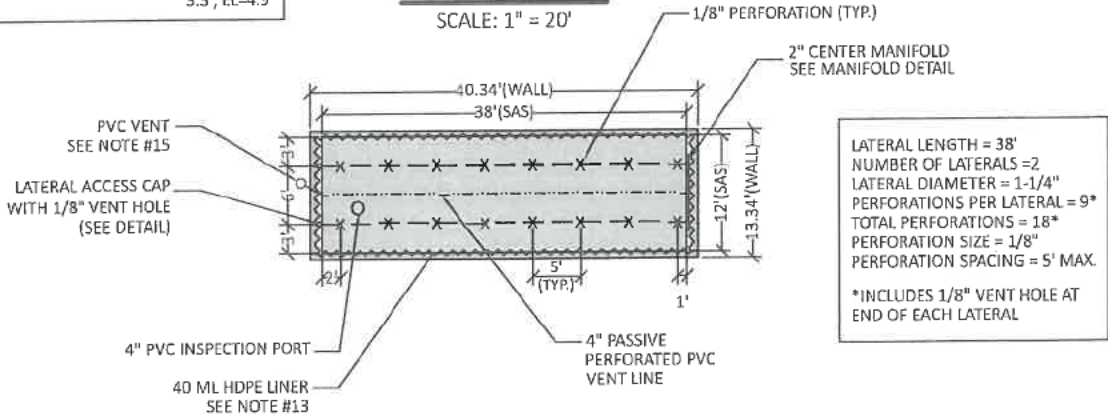
| HIGH GROUNDWATER LEVEL CALCULATIONS:                 |              |
|------------------------------------------------------|--------------|
| Depth To Water Table (6/6/2024):                     | 4.0', EL=4.2 |
| Appropriate Index Well:                              | TSW-89       |
| Water Level Range Zone:                              | A (0'-2')    |
| Current Depth To Water Level For Index Well (11/23): | 10.9'        |
| Water Level Adjustment:                              | 0.7'         |
| Estimated Depth To High Water:                       | 3.3', EL=4.9 |

SYSTEM DESIGN CALCULATIONS:

SEWAGE DESIGN FLOW:  
6 BEDROOM DWELLING @ 110 GPD = 660 GPD  
LEACHING CAPACITY REQUIRED:  
6 BEDROOMS (MAX.) @ 110 GPD = \*660 GPD REQUIRED  
SEPTIC TANK CAPACITY REQUIRED:  
DAILY FLOW = 660 GPD @ 200% = 1,320 GAL. REQUIRED  
SEPTIC TANK CAPACITY PROVIDED:  
2000 GALLON ADVANTEX AX-20 PRIMARY SEPTIC TANK AND  
1000 GALLON ADVANTEX AX-20 SECONDARY SEPTIC TANK (3000 GALLON TOTAL CAPACITY)  
LEACHING CAPACITY PROVIDED:  
ONE (1) 38.0' X 12.0' X 6" LEACH FIELD CAN LEACH:  
Vt=(38' X 12') X 0.74 GPD/SF=337.44 GPD  
337 GPD>\*330 GPD REQUIRED  
NOTE: A GARBAGE DISPOSAL IS NOT PERMITTED WITH THIS DESIGN.  
INSTALL:  
ONE (1)- 2000 GALLON CONCRETE SEPTIC TANK WITH EXTENDED BASE AND POLYLOK BOOTS  
(USE AX-20-20M-EB ADVANTEX PROCESS TANK FROM SHOREY PRECAST OR APPROVED EQUAL)  
ONE (1)- 1000 GALLON CONCRETE SEPTIC TANK WITH EXTENDED BASE AND POLYLOK BOOTS  
(USE AX-20-10M-EB ADVANTEX RECIRCULATION TANK FROM SHOREY PRECAST OR APPROVED EQUAL)  
ONE (1)- ADVANTEX AX-20 MODE 3B TREATMENT UNIT WITH 2 PODS  
ONE (1)- ADVANTEX DISCHARGE PUMP BASIN WITH LIBERTY 4/10 HP HIGH HEAD EFFLUENT PUMP OR  
EQUAL, MEETING MINIMUM REQUIREMENTS OF 14 FEET OF TOTAL DYNAMIC HEAD AT A  
6 GALLON PER MINUTE FLOW RATE.  
ONE (1)- ORENCO FTS0444-36 BIOTUBE EFFLUENT FILTER AT OUTLET OF 2000 GALLON SEPTIC TANK.  
ONE (1)- 38' x 12' x 6" PRESSURE DOSED LEACH FIELD  
ONE (1)- PASSIVE 4" PVC VENT SYSTEM WITH 'SWEET-AIR' MUSHROOM CAP  
\*PER MASS DEP 'STANDARD CONDITIONS FOR SECONDARY TREATMENT UNITS CERTIFIED FOR REMEDIAL  
USE' SECTION II.5.A., THE REQUIRED EFFECTIVE LEACHING AREA MAY BE REDUCED UP TO 50%.  
660 GPD x 50% = 330 GPD. NITROGEN REDUCTION CREDIT OBTAINED VIA MASS DEP 'STANDARD  
CONDITIONS FOR SECONDARY TREATMENT UNITS CERTIFIED FOR GENERAL USE'.

SAS DETAIL

SCALE: 1" = 20'



INSPECTION NOTE:

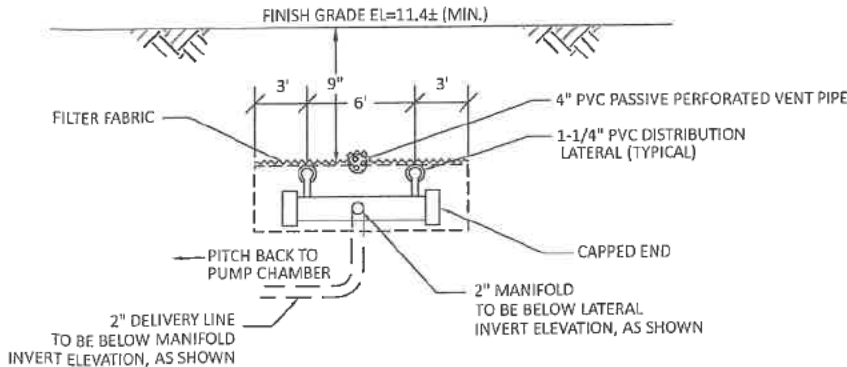
PRIOR TO FINAL INSPECTION BY THE ENGINEER,  
SYSTEM NEEDS TO BE COMPLETE INCLUDING  
BUILDUP FOR COVERS.

WALL NOTES:

- 1.) ALL CONCRETE SHALL BE CLASS A, 4000 PSI @ 28 DAYS WITH TYPE 1 PORTLAND CEMENT.
- 2.) 2" MINIMUM COVER ON ALL REINFORCING STEEL.
- 3.) ALL STEEL SHALL BE GRADE 60.
- 4.) FOOTING SHALL BE PLACED ON AN UNDISTURBED BASE.
- 5.) NO PORTION OF WALL SHALL BE BACKFILLED FOR 28 DAYS AFTER CONCRETE POUR.
- 6.) HORIZONTAL RE-BAR SHALL WRAP AROUND CORNERS OF WALL TO PROVIDE SOLID CONTINUOUS SUPPORT.
- 7.) DESIGN ENGINEER TO CERTIFY REINFORCING STEEL IN FOOTING AND WALL PRIOR TO POURING CONCRETE.

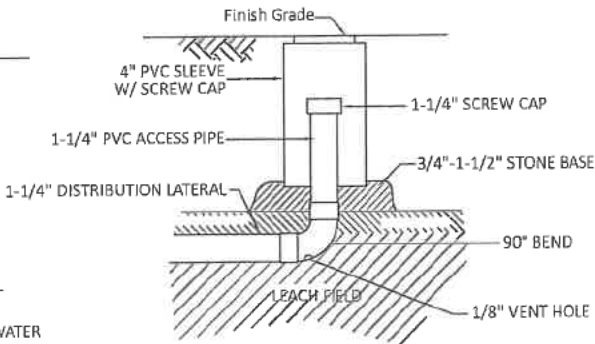
MANIFOLD CROSS-SECTION DETAIL

NOT TO SCALE



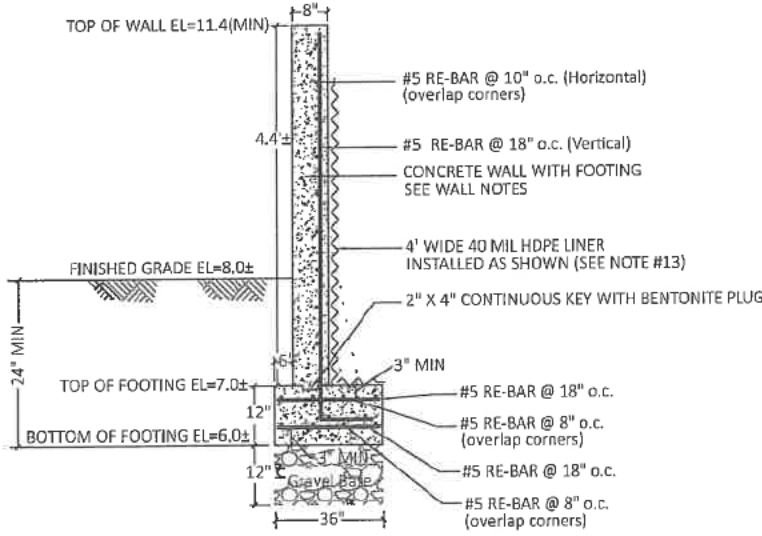
VENT ACCESS CAP DETAIL:

NOT TO SCALE



CONTAINMENT WALL DETAIL:

NOT TO SCALE



SHEET 2 OF 3

Christian Union Church

c/o Jean Stanley, Director of Housing Rehab Programs, The Resource Inc.  
23 White's Path Suite G2, South Yarmouth, MA 02664

SEWAGE DISPOSAL SYSTEM DESIGN & NOTES  
32 SHORE ROAD, TRURO, MA



J.M. O'REILLY & ASSOCIATES, INC.

Professional Engineering & Land Surveying Services

1573 Main Street - Route 6A

P.O. Box 1773

(508)896-8801 Office Brewster, MA 02631 (508)896-8802 Fax

| DATE:     | SCALE:   | BY: | CHECK: | JOB NUMBER: |
|-----------|----------|-----|--------|-------------|
| 7/16/2024 | As Noted | RFR | JMO    | JMO-9607    |





## BUOYANCY CALCULATIONS:

1000 GALLON CONCRETE ADVANTEX AX-20 SEPTIC TANK (H-10) WITH 6" EXTENDED BASE  
(Based On Tank Completely Submerged)

$$F_B = [8.2' \times 5.4' \times 5.7' + (9.2' + 9.2' + 5.4' + 5.4') \times 0.5' \times 0.5'] 62.4 \text{ LB/CF} \\ = 16,205 \text{ lbs} \\ F_W = \text{TANK WEIGHT (PER SPEC.)} + \text{SOIL COVER} \\ = 8,500 \text{ lbs.} + [*5.2' \times 5.4' \times 3.0' + (9.2' + 9.2' + 5.4' + 5.4') \times 0.5' \times 8.2'] 100 \text{ LB/CF} \\ = 28,896 \text{ lbs} \\ F_B = 16,205 \text{ lbs} > F_W = 28,896 \text{ lbs} \text{ OK} \quad \text{USE MODEL AX20-10M-EB TANK BY ACME-SHOREY}$$

\*Dimension reduced to account for the portion of the tank covered by the treatment pod unit.

2000 GALLON CONCRETE ADVANTEX AX-20 SEPTIC TANK (H-10) WITH 6" EXTENDED BASE  
(Based On Tank Completely Submerged)

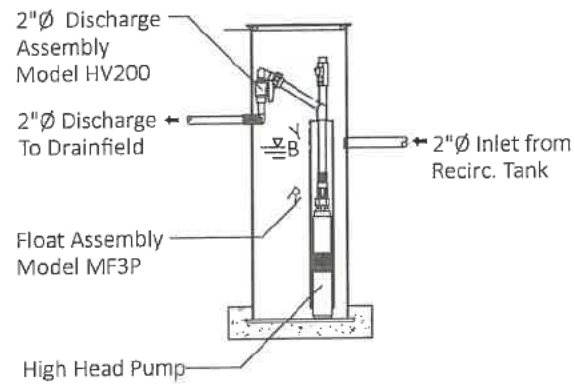
$$F_B = [12.8' \times 6.8' \times 5.8' + (13.8' + 13.8' + 6.8' + 6.8') \times 0.5' \times 0.5'] 62.4 \text{ LB/CF} \\ = 32,144 \text{ lbs} \\ F_W = \text{TANK WEIGHT (PER SPEC.)} + \text{SOIL COVER} \\ = 20,600 \text{ lbs.} + [*9.8' \times 6.8' \times 3.0' + (13.8' + 13.8' + 6.8' + 6.8') \times 0.5' \times 9.3'] 100 \text{ LB/CF} \\ = 59,750 \text{ lbs} \\ F_B = 32,144 \text{ lbs} > F_W = 59,750 \text{ lbs} \text{ OK} \quad \text{USE MODEL AX20-20M-EB TANK BY ACME-SHOREY}$$

\*Dimension reduced to account for the portion of the tank covered by the treatment pod unit.

## AdvanTex AX20 2 Pod Mode 3B

### PUMP DOSING NOTES:

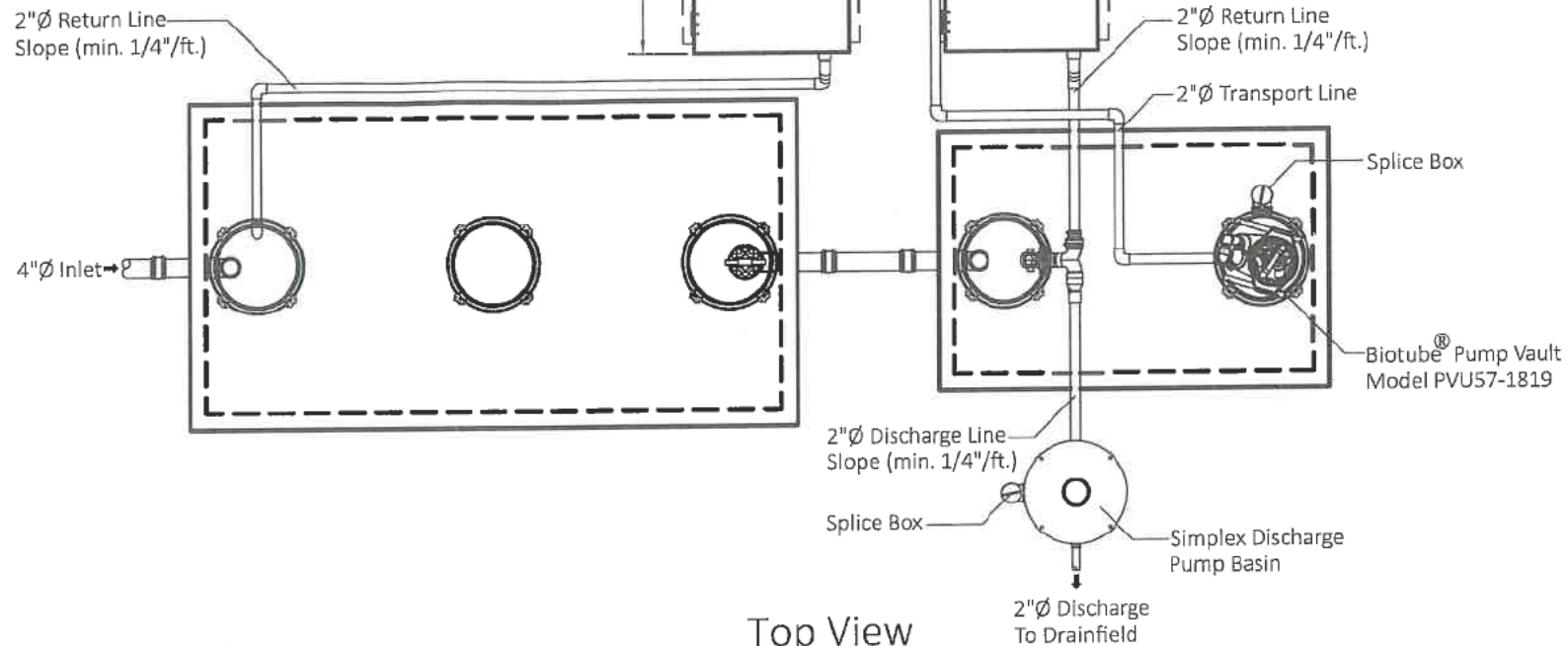
- 1.) PUMP SHALL BE LIBERTY 4/10 HP EFFLUENT PUMP (OR APPROVED EQUAL) MEETING MINIMUM REQUIREMENTS OF 14 FEET OF TOTAL DYNAMIC HEAD AT A 6 GALLON PER MINUTE FLOW RATE.
- 2.) SET 9" FLOAT SEPARATION BETWEEN PUMP ON AND PUMP OFF FLOATS. DOSING VOLUME = 18 GALLONS PER DOSE.
- 3.) SET ALARM FLOAT 2" ABOVE PUMP OFF FLOAT.
- 4.) ALL PUMP, WIRING, ALARM, AND FLOAT INSTALLATIONS SHALL CONFORM TO MASSACHUSETTS STATE PLUMBING AND MASSACHUSETTS STATE ELECTRICAL CODES AS WELL AS TO MANUFACTURER'S SPECIFICATIONS.



### Pump Basin

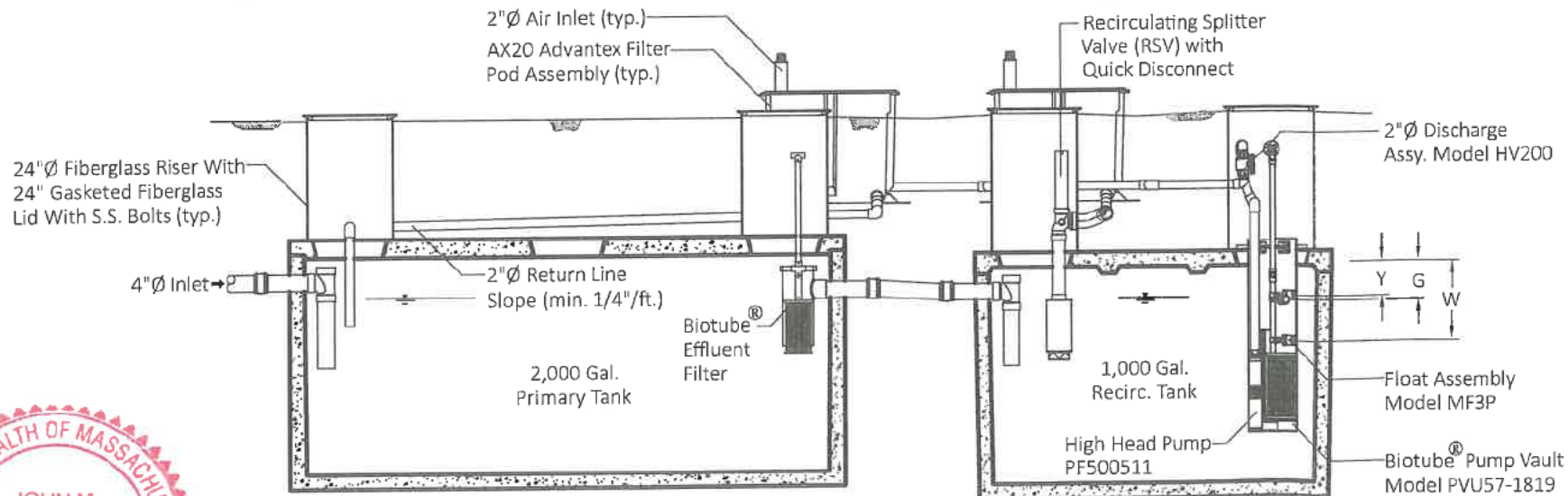
NOT TO SCALE

| Float Functions |                       |
|-----------------|-----------------------|
| Y               | High Level Alarm      |
| G               | Override Timer ON/OFF |
| W               | LLA/RO                |
| B               | Pump On               |
| R               | Pump Off              |



### Top View

NOT TO SCALE



### Side View

NOT TO SCALE

### Design Notes

For residential strength waste up to 6 bedrooms. Applications greater than 6 bedrooms requires a design review by Orenco.

Installation to be performed by an AdvanTex Authorized Installer only.

Start-up and service to be performed by an AdvanTex Authorized Service Provider only.

## SHEET 3 OF 3

### Christian Union Church

c/o Jean Stanley, Director of Housing Rehab Programs, The Resource Inc.  
23 White's Path Suite G2, South Yarmouth, MA 02664

### ADVANTEX DESIGN & NOTES

32 SHORE ROAD, TRURO, MA



### J.M. O'REILLY & ASSOCIATES, INC.

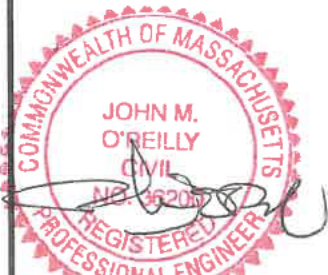
Professional Engineering & Land Surveying Services

1573 Main Street - Route 6A

P.O. Box 1773

(508)896-6801 Office Brewster, MA 02631 (508)896-6802 Fax

|           |          |     |        |             |
|-----------|----------|-----|--------|-------------|
| DATE:     | SCALE:   | BY: | CHECK: | JOB NUMBER: |
| 7/16/2024 | As Noted | RFR | JMO    | JMO-9607    |







Massachusetts Department of Environmental Protection  
Bureau of Water Resources - Wetlands

PAID

**WPA Form 1- Request for Determination of Applicability**

TRURO, MA  
Municipality

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

2015 Edition  
TOWN OF TRURO

AUG 15 2024

**A. General Information**

**Important:**  
When filling out  
forms on the  
computer, use only  
the tab key to move  
your cursor - do not  
use the return key.



1. Applicant:  
MICHAEL MARTIN  
First Name Last Name  
1 JONATHAN BOURNE DRIVE  
Address  
POCASSET MA 02559  
City/Town State Zip Code  
50 [REDACTED]  
Phone Number Email Address
2. Property Owner (if different from Applicant):  
PILGRIM HEIGHTS TRURO LLC  
First Name Last Name  
1 COMMERCIAL STREET  
Address  
PROVINCETOWN MA 02657  
City/Town State Zip Code  
[REDACTED] [REDACTED]  
Phone Number Email Address (if known)
3. Representative (if any)  
First Name Last Name  
Company Name  
Address  
City/Town State Zip Code  
Phone Number Email Address (if known)

**B. Project Description**

1. a. Project Location (use maps and plans to identify the location of the area subject to this request):  
535 STATE HIGHWAY RT 6 ( BUILDINGS H & N ) TRURO, MA 02666  
Street Address City/Town  
42.03020 -70.06440  
Latitude (Decimal Degrees Format with 5 digits after decimal Longitude (Decimal Degrees Format with 5 digits after  
e.g. XX.XXXXX) decimal e.g. -XX.XXXXX)  
32 28-0  
Assessors' Map Number Assessors' Lot/Parcel Number
- b. Area Description (use additional paper, if necessary):  
PLEASE SEE ATTACHED
- c. Plan and/or Map Reference(s): (use additional paper if necessary)  
PLEASE SEE ATTACHED  
Title Date  
Title Date

How to find Latitude  
and Longitude

and how to convert  
to decimal degrees



**Massachusetts Department of Environmental Protection**  
Bureau of Water Resources - Wetlands

**WPA Form 1- Request for Determination of Applicability**

TRURO, MA

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Municipality

**B. Project Description (cont.)**

2. a. Activity/Work Description (use additional paper and/or provide plan(s) of Activity, if necessary):

PLEASE SEE ATTACHED

- b. Identify provisions of the Wetlands Protection Act or regulations which may exempt the applicant from having to file a Notice of Intent for all or part of the described work (use additional paper, if necessary).

PLEASE SEE ATTACHED

3. a. If this application is a Request for Determination of Scope of Alternatives for work in the Riverfront Area, indicate the one classification below that best describes the project.

- ☐ Single family house on a lot recorded on or before 8/1/96
- ☐ Single family house on a lot recorded after 8/1/96
- ☐ Expansion of an existing structure on a lot recorded after 8/1/96
- ☐ Project, other than a single-family house or public project, where the applicant owned the lot before 8/7/96
- ☐ New agriculture or aquaculture project
- ☐ Public project where funds were appropriated prior to 8/7/96
- ☐ Project on a lot shown on an approved, definitive subdivision plan where there is a recorded deed restriction limiting total alteration of the Riverfront Area for the entire subdivision
- ☐ Residential subdivision; institutional, industrial, or commercial project
- ☐ Municipal project
- ☐ District, county, state, or federal government project
- ☐ Project required to evaluate off-site alternatives in more than one municipality in an Environmental Impact Report under MEPA or in an alternatives analysis pursuant to an application for a 404 permit from the U.S. Army Corps of Engineers or 401 Water Quality Certification from the Department of Environmental Protection.

- b. Provide evidence (e.g., record of date subdivision lot was recorded) supporting the classification above (use additional paper and/or attach appropriate documents, if necessary.)



Massachusetts Department of Environmental Protection  
Bureau of Water Resources - Wetlands

**WPA Form 1- Request for Determination of Applicability** TRURO, MA  
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40 Municipality

**C. Determinations**

1. I request the TRURO Conservation Commission make the following determination(s). Check any that apply:

- ☐ a. whether the **area** depicted on plan(s) and/or map(s) referenced above is an area subject to jurisdiction of the Wetlands Protection Act.
- ☐ b. whether the **boundaries** of resource area(s) depicted on plan(s) and/or map(s) referenced above are accurately delineated.
- ☒ c. whether the **Activities** depicted on plan(s) referenced above is subject to the Wetlands Protection Act and its regulations.
- ☒ d. whether the area and/or Activities depicted on plan(s) referenced above is subject to the jurisdiction of any **municipal wetlands' ordinance or bylaw** of:

Truro  
Name of Municipality

- ☐ e. whether the following **scope of alternatives** is adequate for Activities in the Riverfront Area as depicted on referenced plan(s).

**D. Signatures and Submittal Requirements**

I hereby certify under the penalties of perjury that the foregoing Request for Determination of Applicability and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge.

I further certify that the property owner, if different from the applicant, and the appropriate DEP Regional Office were sent a complete copy of this Request (including all appropriate documentation) simultaneously with the submittal of this Request to the Conservation Commission.

Failure by the applicant to send copies in a timely manner may result in dismissal of the Request for Determination of Applicability.

Signatures:

I also understand that notification of this Request will be placed in a local newspaper at my expense in accordance with Section 10.05(3)(b)(1) of the Wetlands Protection Act regulations.

Michael R. L.  
Signature of Applicant

8/15/2024  
Date

Michael R. L.  
Signature of Representative (if any)

8/15/2024  
Date

Attachment  
to  
Request for Determination of Applicability  
535 State Highway – Route 6  
Dune Crest – Deck rehabilitation

B.1.b. Area Description: The area of work is on the back side of existing buildings in a hotel complex. The work is under and next to existing decks. The work proposed is to replace existing decks and foundations and connect the existing decks to each other. The work on the land is to place new Diamond Pile Foundations with 6" above grade (into the existing soils) along the exterior line of the decks. The existing land area is partly under the existing decks and next to the existing decks. The land is partly bare ground and partly covered by scrub low vegetations.

B.1.c. Plan Reference: A Site Plan titled 'Site Plan – 535 State Highway Route 6 prepared for Outer Reach Realty Trust – dated 4/13/13.

B.2.a. Project Description: The hotel is being rehabilitated. The work proposed is to replace existing decks and foundations and connect the existing decks to each other. The work on the land is to place new Diamond Pile Foundations with 6" above grade (into the existing soils) along the exterior line of the decks.

B.2.b. Exempt: The work area is not within a resource area but is only within the buffer zone. The work area will not come closer to the resource than 75 feet. The work will be done by hand and will minimize the impact on buffer zone. The work will not affect the resource area.

B.3. – Not in Riverfront areas or buffer zones.

C.1.e. Alternate work method: The work proposed is to replace existing decks and foundations and connect the existing decks to each other. The work on the land is to place new Diamond Pile Foundations with 6" above grade (into the existing soils) along the exterior line of the decks. The existing land area is partly under the existing decks and next to the existing decks.

**Request for Determination**

Project address: 535 STATE HIGHWAY RT 6, TRURO, MA 02666

Map 32

Parcel 28-0

- Is the project located in a resource area or buffer zone BZ
- Resource Area Type(s): Coastal Bank
- If Buffer Zone what is the distance from Resource Area: \_\_\_\_\_

Description of project: (list all activities and describe methodology for construction or installation including equipment type if applicable) Construction of new decks

Attached site plan titles/dates, and any other plan or narratives title/dates: "Site Plan": 4/12/2013  
"Remodel Buildings 10, 20, 30, 40, 50": 7/8/2024

Describe the best management practices/mitigation that will be used on the site:

all new diamond piers will be installed by hand, no machines

Special Conditions required by the Conservation Include: \_\_\_\_\_

The proposed project is approved subject to the conditions included herein.

The use of town property for beach access or staging of construction materials requires a permit issued by the Board of Selectmen. The owner and applicant/representative are responsible for obtaining this permit prior to work start.

The owner and applicant/representative shall, avoid and otherwise minimize any activities in the buffer zone or in resource areas by use of best management practices on the site, such as:

- Placement of an agreed upon work limit;
- Proper placement of construction materials in developed or already disturbed areas;
- Proper installation/maintenance of erosion control;
- Good housekeeping that includes at a minimum daily trash pickup; no dumping of paint, plaster or concrete on the site but rather, disposing of it properly.

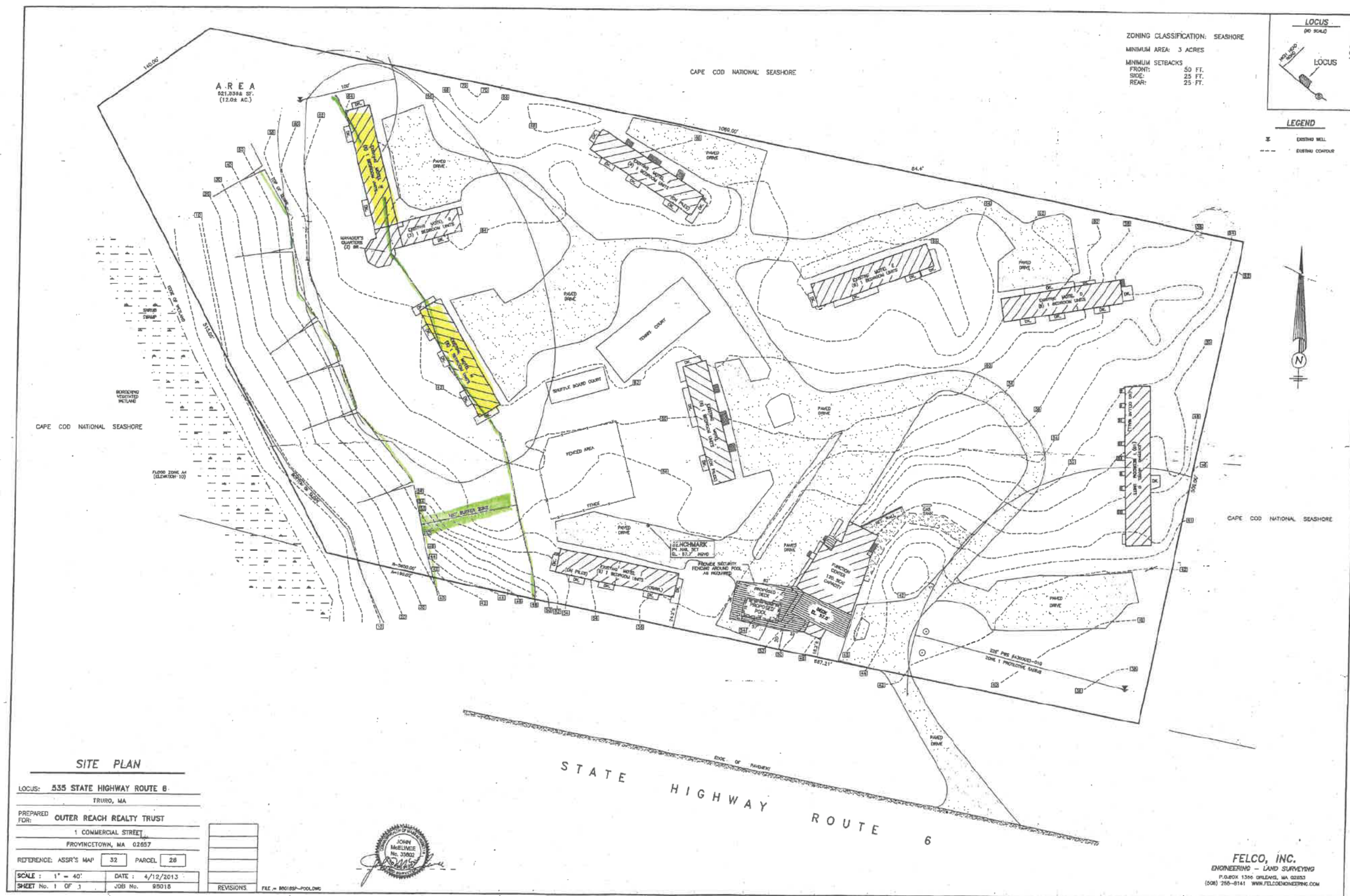
Approval of the project as described herein includes only the scope and specifications reviewed by the Conservation Commission; any changes to this project shall require additional review by the Conservation Commission prior to the work being done. Expansion of the scope of work may result in the applicant being required to file a full notice of intent. Any work done that exceeds the scope defined in the approved application shall be subject to issuance enforcement action; Violation of these conditions may result in issuance of an enforcement Order; non-criminal violation citations to the owner and/or applicant/representative accompanied by fines that accrue per offense and may accrue daily.

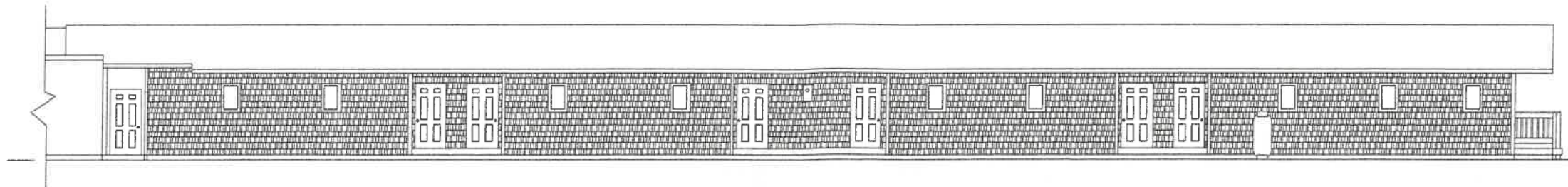
By reading and signing this letter of agreement the applicant acknowledges that they have read and understand the terms as stated herein; the scope of this approval is limited to the work described herein; and your signature on this conditional approval is acknowledgement that no work shall go forward until the RDA conditions have been issued by the Conservation Commission.

\* Applicant/Representative printed name and signature: Michael K. L.

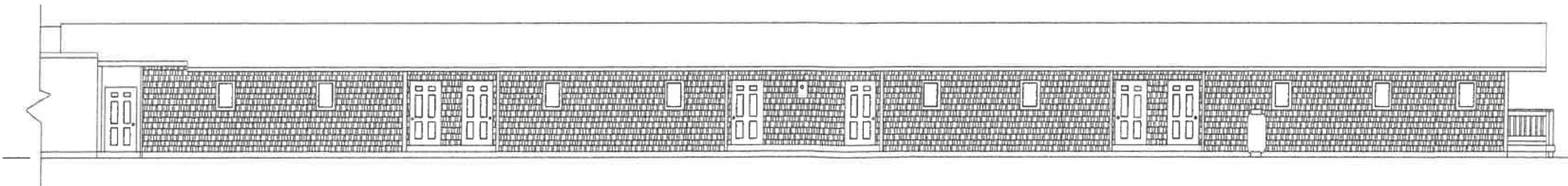
Owners printed name and signature: \_\_\_\_\_







**BUILDING 50**  
EXISTING FRONT – EAST ELEVATION  
SCALE  $\frac{3}{16}"=1'$



**BUILDING 50**  
PROPOSED FRONT – EAST ELEVATION  
SCALE  $\frac{3}{16}"=1'$



BUILDING 50

HEALTH DEPARTMENT  
TOWN OF TRURO  
JUL 30 2024  
RECEIVED BY:

**CAPE ARCHITECTURE**  
PO BOX 645, BARNSTABLE,  
MASSACHUSETTS 02630  
T - 508 367 5900 E - KMB@CAPEARCHITECTURE.NET  
WWW.CAPEARCHITECTURE.NET

IT IS THE INTENT OF THESE DOCUMENTS TO  
PROVIDE SUFFICIENT INFORMATION TO THE  
EXPERIENCED BUILDER TO CONSTRUCT THE  
PROJECT ACCORDING TO THE INTENT OF THE  
DESIGN. IT IS THEREFORE HIS RESPONSIBILITY  
TO COMPLY WITH ALL REGULATORY AGENCIES  
PRIOR TO CONSTRUCTION. THE ARCHITECT  
MENTS MUST TAKE PRECEDENCE OVER THOSE  
SHOWN, AND FIELD ADJUSTMENTS MADE  
ACCORDINGLY.

**PROJECT DEVELOPMENT**  
59 CLAY STREET, MIDDLEBORO, MA 02346  
PHONE 774-766-0544  
EMAIL jspink1@gmail.com  
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**REMODEL  
BUILDINGS  
10, 20, 30, 40, & 50  
DUNE CREST HOTEL  
535 ROUTE 6, TRURO, MA**

**EXISTING & PROPOSED  
FRONT – NORTH  
ELEVATIONS**

DWG. NO. BLDG 50  
**31**

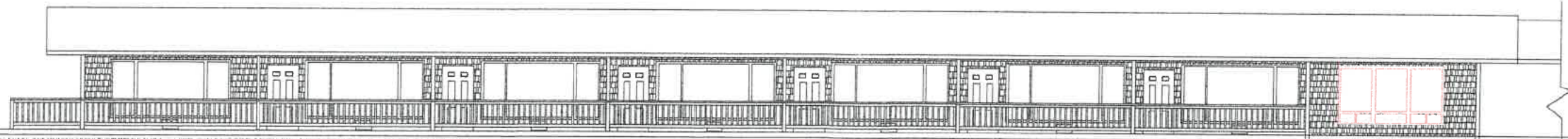
DATE: 7/8/2024





BUILDING 50  
EXISTING REAR - WEST ELEVATION

SCALE  $\frac{1}{16}''=1'$



BUILDING 50  
PROPOSED REAR - WEST ELEVATION

SCALE  $\frac{1}{16}''=1'$



SCALE -  $\frac{1}{16}''=1'$

HEALTH DEPARTMENT  
TOWN OF TRURO

JUL 30 2024

RECEIVED BY:

CAPE ARCHITECTURE

PO BOX 645, BARNSTABLE,  
MASSACHUSETTS 02630  
T - 508 307 8900 E - KMB@CAPEARCHITECTURE.NET

WWW.CAPEARCHITECTURE.NET

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PROJECT IN ACCORDANCE WITH THE  
RESPONSIBILITY TO VERIFY, ASSET FOR, AND  
COMPLIANCE WITH ALL REGULATORY AGENCIES  
PRIOR TO CONSTRUCTION. THEIR REQUIRE-  
MENTS MUST TAKE PRECEDENCE OVER THOSE  
SHOWN, AND FIELD ADJUSTMENTS MADE  
ACCORDINGLY.

PROJECT DEVELOPMENT

59 CLAY STREET, MIDDLEBORO, MA 02346

PHONE 774-766-0544

EMAIL jspink1@gmail.com

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REMODEL  
BUILDINGS

10, 20, 30, 40, & 50

DUNE CREST HOTEL

535 ROUTE 6, TRURO, MA

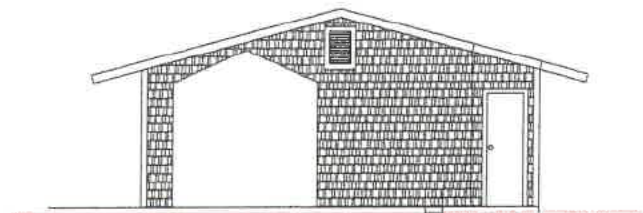
EXISTING & PROPOSED  
BACK - SOUTH  
ELEVATIONS

DWG. NO.

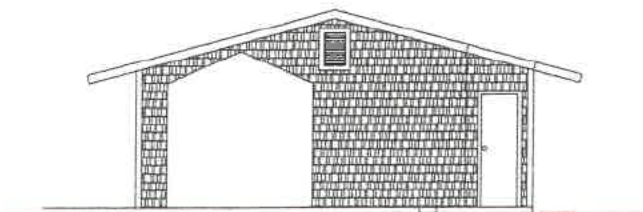
BLDG 50  
32

DATE: 7/8/2024

BUILDING 50



BUILDING 50  
EXISTING LEFT - SOUTH ELEVATION  
SCALE  $\frac{1}{16}"=1'$



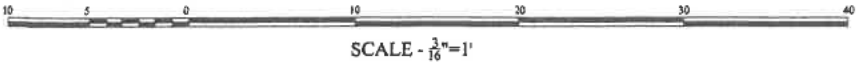
BUILDING 50  
PROPOSED LEFT - SOUTH ELEVATION  
SCALE  $\frac{1}{16}"=1'$



BUILDING 50  
EXISTING RIGHT - NORTH ELEVATION  
SCALE  $\frac{1}{16}"=1'$



BUILDING 50  
PROPOSED RIGHT - NORTH ELEVATION  
SCALE  $\frac{1}{16}"=1'$



HEALTH DEPARTMENT  
TOWN OF TRURO  
  
JUL 30 2024  
RECEIVED BY: \_\_\_\_\_

**CAPE ARCHITECTURE**  
PO BOX 645, BARNSTABLE,  
MASSACHUSETTS 02630  
T - 508 367 5900 E - KMB@CAPEARCHITECTURE.NET  
WWW.CAPEARCHITECTURE.NET

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PROJECT SHOWN. IT IS THEREFORE HIS  
RESPONSIBILITY TO VERIFY ACCURACY AND  
COMPLIANCE WITH ALL REGULATORY AGENCIES  
BEFORE CONSTRUCTION. THEIR REQUIRE-  
MENTS TO MAKE PRECEDENCE OVER THOSE  
SHOWN, AND FIELD ADJUSTMENTS MADE  
ACCORDINGLY.

**PROJECT DEVELOPMENT**  
59 CLAY STREET, MIDDLEBORO, MA 02346  
PHONE 774-766-0544  
EMAIL jspink1@gmail.com  
COPYRIGHT © 2024 JAM SPK

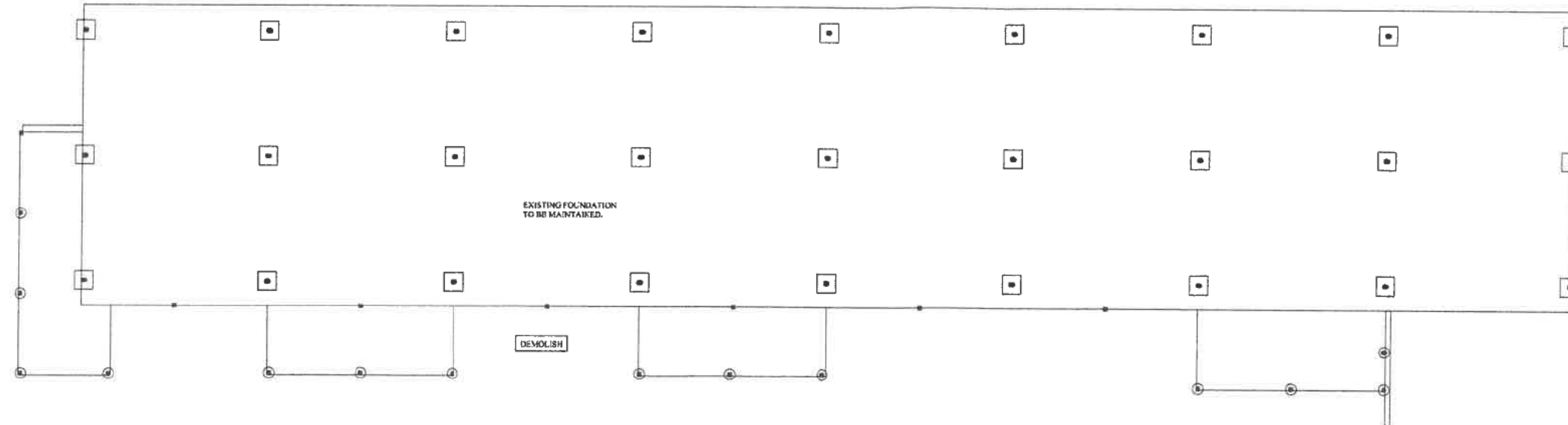
**REMODEL**  
BUILDINGS  
10, 20, 30, 40, & 50  
DUNE CREST HOTEL,  
535 ROUTE 6, TRURO, MA

EXISTING & PROPOSED  
EACH END  
ELEVATIONS

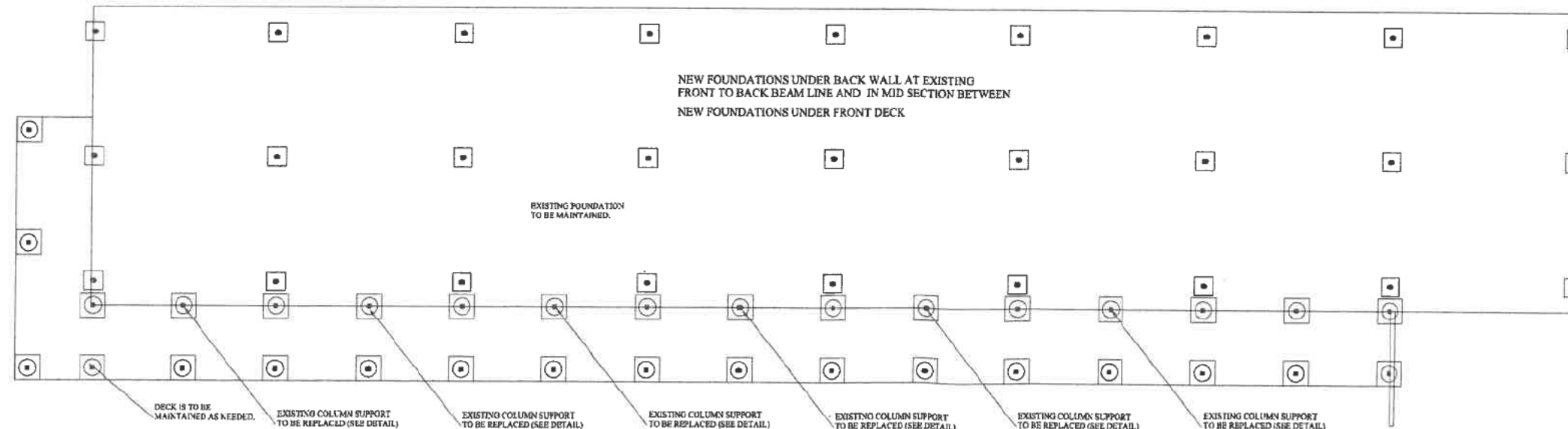
DWG. NO. BLDG 50  
**33**

BUILDING 50

DATE: 7/8/2024



BUILDING 50  
EXISTING FOUNDATION PLAN  
SCALE  $\frac{3}{16}"=1'$



BUILDING 50  
PROPOSED FOUNDATION PLAN  
SCALE  $\frac{3}{16}"=1'$



HEALTH DEPARTMENT  
TOWN OF TRURO  
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PROJECT SHOWN. IT IS THEREFORE THE  
RESPONSIBILITY OF THE BUILDER TO  
COMPLY WITH ALL REGULATORY AGENCIES  
PRIOR TO CONSTRUCTION. THE ARCHITECT  
MUST TAKE PRECEDENCE OVER THOSE  
SHOWN, AND FIELD ADJUSTMENTS MADE  
ACCORDINGLY.

PROJECT DEVELOPMENT  
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PHONE 774-766-0544  
EMAIL jspink1@gmail.com  
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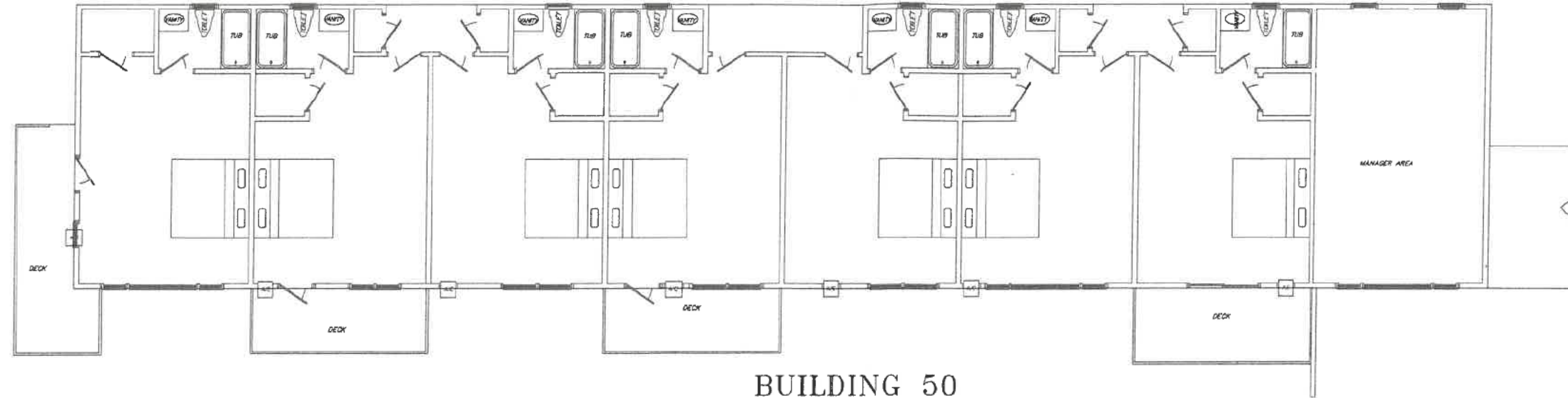
REMODEL  
BUILDINGS  
10, 20, 30, 40, & 50  
DUNE CREST HOTEL  
535 ROUTE 6, TRURO, MA

EXISTING & PROPOSED  
FOUNDATION

DWG. NO. BLDG 50  
34

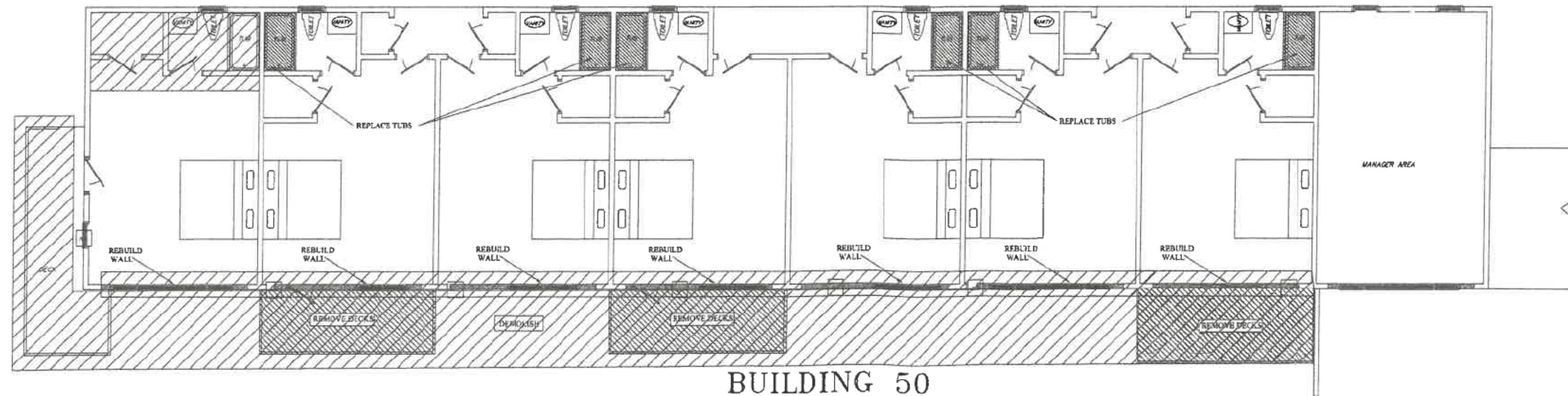
DATE: 7/8/2024



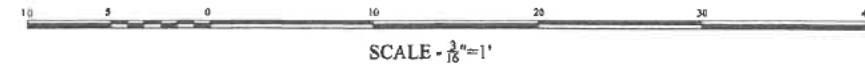


BUILDING 50  
EXISTING FIRST FLOOR PLAN  
SCALE  $\frac{1}{8}"=1'$

REPLACE FRONT WINDOWS  
REMOVE BACK DECKS  
REBUILD BACK WALL WITH NEW WINDOWS



BUILDING 50  
DEMOLITION PLAN  
SCALE  $\frac{1}{8}"=1'$



BUILDING 50

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PRIOR TO CONSTRUCTION. THEIR RECORDS  
MENTS MUST TAKE PRECEDENCE OVER THOSE  
SHOWN, AND FIELD ADJUSTMENTS MADE  
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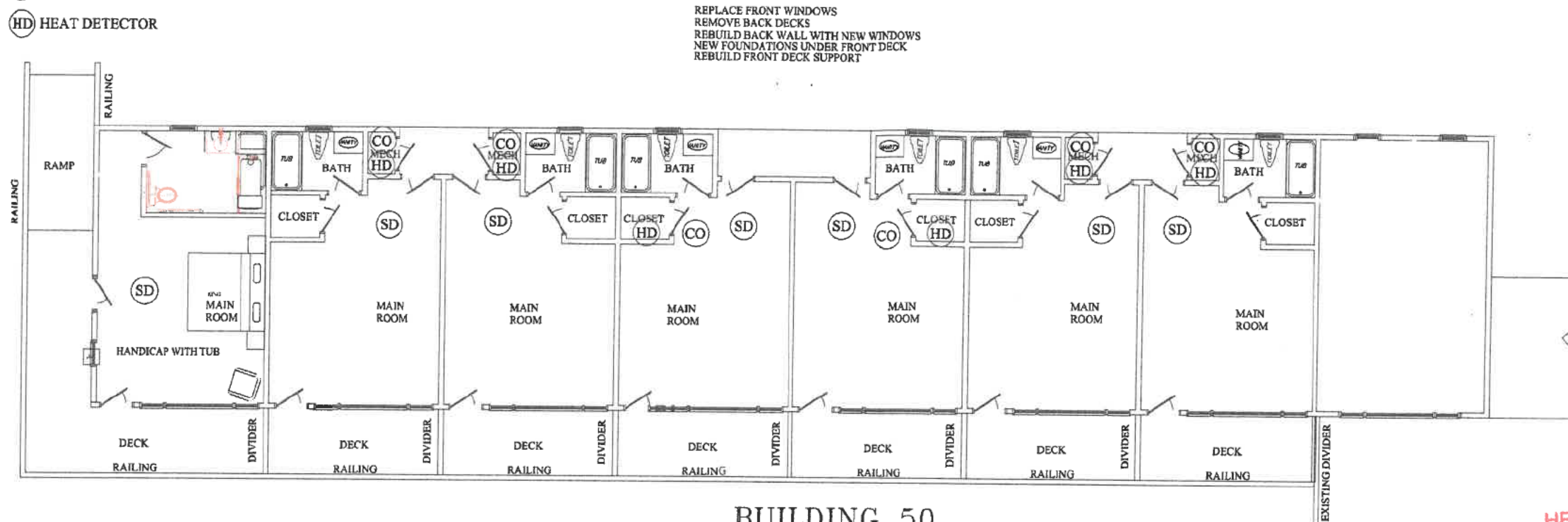
**REMODEL  
BUILDINGS  
10, 20, 30, 40, & 50  
DUNE CREST HOTEL  
535 ROUTE 6, TRURO, MA**

**EXISTING FLOOR PLAN  
AND  
DEMOLITION PLAN**

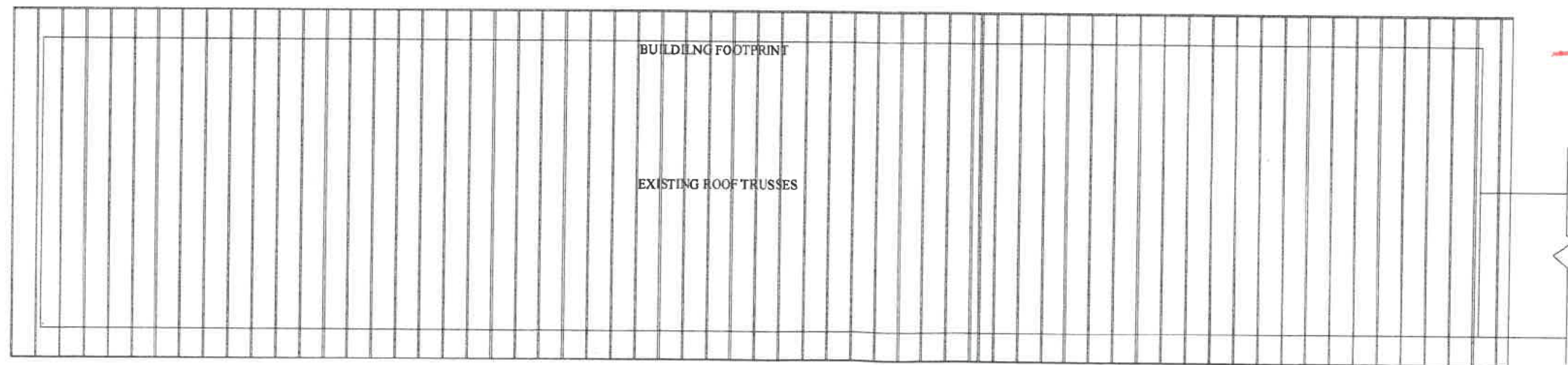
DWG. NO. BLDG 50  
**35**

DATE: 7/8/2024

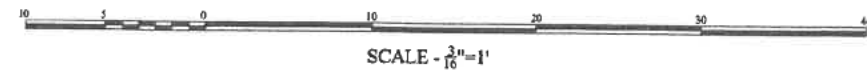
- CO CARBON MONOXIDE DETECTOR
- SD SMOKE DETECTOR
- HD HEAT DETECTOR



BUILDING 50  
PROPOSED FIRST FLOOR PLAN  
SCALE  $\frac{1}{8}"=1'$



BUILDING 50  
EXISTING & PROPOSED ROOF TRUSS SYSTEM  
SCALE  $\frac{1}{8}"=1'$   
NO PROPOSED MODIFICATION TO ROOF SYSTEM



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PROJECT SHOWN. IT IS THEREFORE THE  
RESPONSIBILITY TO VERIFY ACCURACY AND  
CONSISTENCY WITH ALL REGULATORY AGENCIES  
PRIOR TO CONSTRUCTION. THEIR REQUIRE-  
MENTS MUST TAKE PRECEDENCE OVER THOSE  
SHOWN, AND FIELD ADJUSTMENTS MADE  
ACCORDINGLY.

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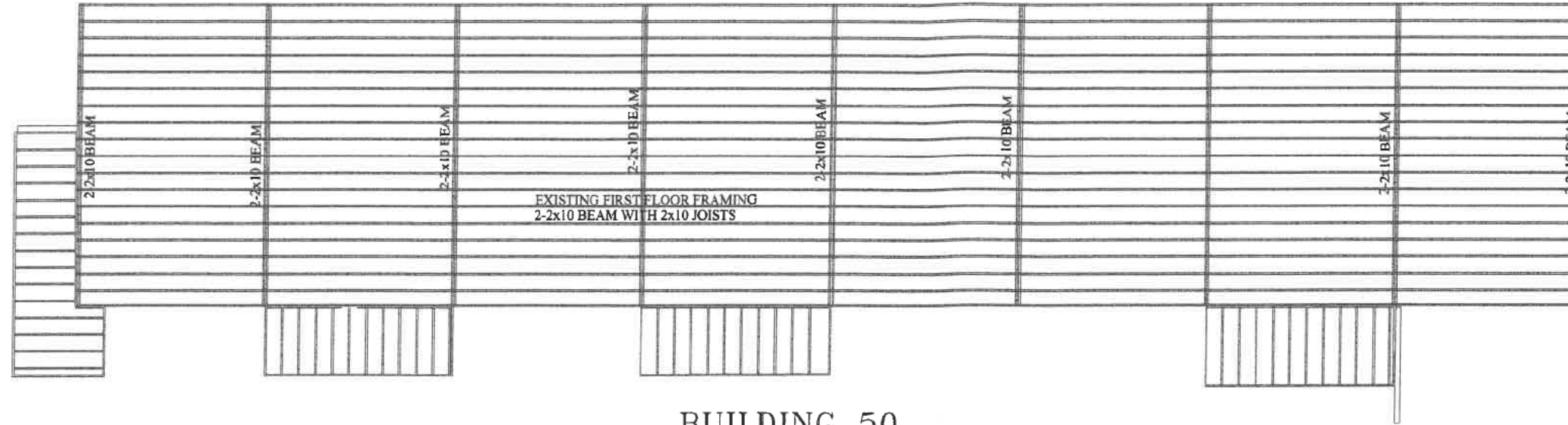
REMODEL  
BUILDINGS  
10, 20, 30, 40, & 50  
DUNE CREST HOTEL  
535 ROUTE 6, TRURO, MA

PROPOSED  
FIRST FLOOR PLAN  
&  
EXISTING & PROPOSED  
ROOF TRUSS SYSTEM

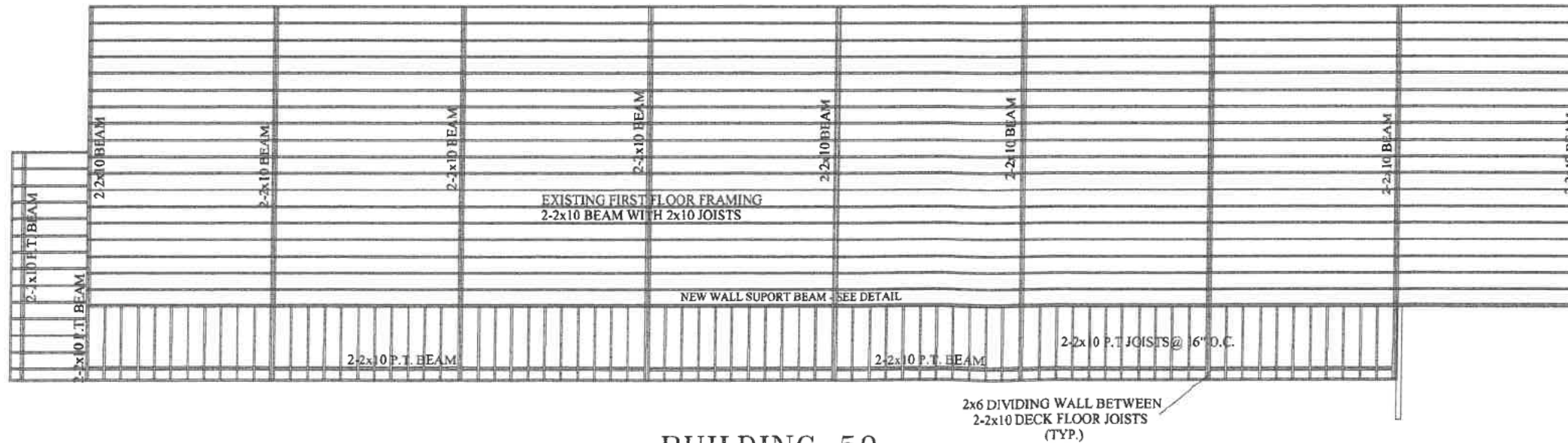
DWG. NO.  
36

DATE: 7/8/2024





BUILDING 50  
EXISTING FIRST FLOOR FRAMING PLAN  
SCALE  $\frac{1}{8}"=1'$



BUILDING 50  
PROPOSED FIRST FLOOR FRAMING PLAN



BUILDING 50

DATE: 7/8/2024

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EXPERIENCED BUILDER TO CONSTRUCT THE  
PROJECT ACCORDING TO THE SPECIFICATIONS  
AND REQUIREMENTS OF THE TOWN OF TRIURO.  
THE ARCHITECT IS NOT RESPONSIBLE FOR  
COMPLIANCE WITH ALL REGULATORY AGENCIES  
PRIOR TO CONSTRUCTION. THE REQUIRED  
PERMITS MUST TAKE PRECEDENCE OVER THOSE  
SHOWN, AND FIELD ADJUSTMENTS MADE  
ACCORDINGLY.

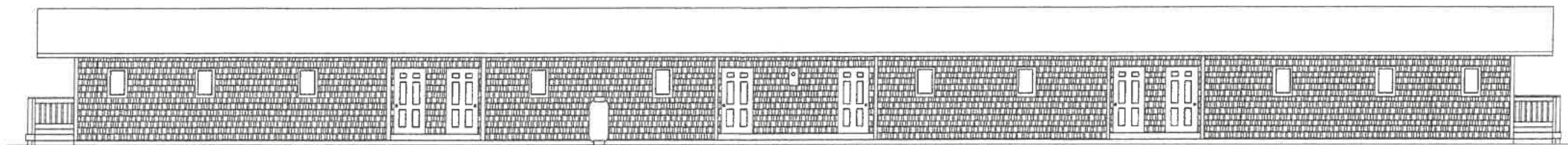
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BUILDINGS  
10, 20, 30, 40, & 50  
DUNE CREST HOTEL  
535 ROUTE 6, TRURO, MA

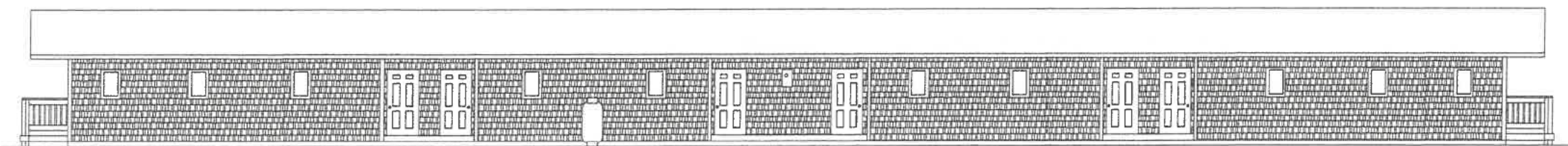
EXISTING & PROPOSED  
FIRST FLOOR  
FRAMING PLAN

DWG. NO. BLDG 50  
**37**

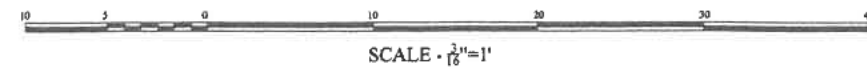
HEALTH DEPARTMENT  
TOWN OF TRIURO  
JUL 30 2024  
RECEIVED BY



**BUILDING 30**  
EXISTING FRONT – NORTHEAST ELEVATION  
SCALE  $\frac{1}{8}"=1'$



**BUILDING 30**  
PROPOSED FRONT – NORTHEAST ELEVATION  
SCALE  $\frac{1}{8}"=1'$



BUILDING 30

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TOWN OF TRURO  
  
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MENTS MUST TAKE PRECEDENCE OVER THOSE  
SHOWN, AND FIELD ADJUSTMENTS MADE  
ACCORDINGLY.

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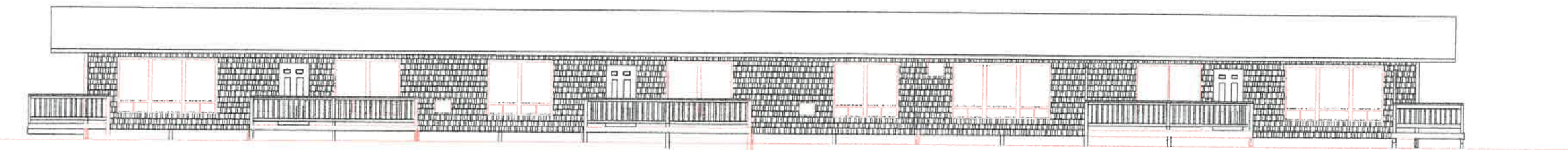
**REMODEL  
BUILDINGS  
10, 20, 30, 40, & 50  
DUNE CREST HOTEL  
535 ROUTE 6, TRURO, MA**

**EXISTING & PROPOSED  
FRONT – NORTH  
ELEVATIONS**

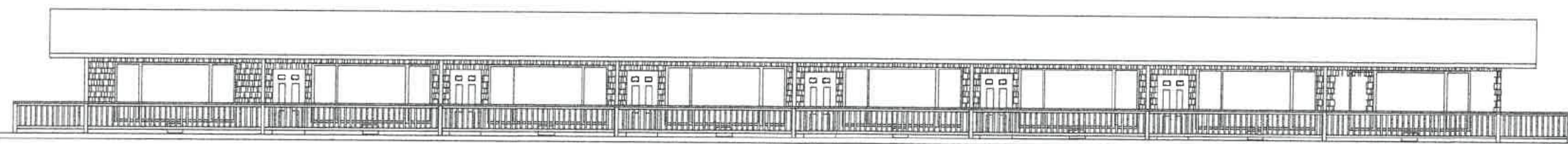
DWG. NO. BLDG 30  
**17**

DATE: 7/8/2024

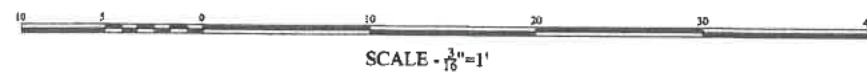




BUILDING 30  
EXISTING REAR - SOUTHWEST ELEVATION  
SCALE  $\frac{1}{16}"=1'$



BUILDING 30  
PROPOSED REAR - NORTHEAST ELEVATION  
SCALE  $\frac{1}{16}"=1'$



BUILDING 30

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10, 20, 30, 40, & 50  
DUNE CREST HOTEL  
535 ROUTE 6, TRURO, MA

**EXISTING & PROPOSED BACK - SOUTH ELEVATIONS**

DWG. NO. BLDG 30  
**18**

DATE: 7/8/2024



BUILDING 30  
EXISTING LEFT - SOUTHEAST ELEVATION  
SCALE  $\frac{1}{16}"=1'$



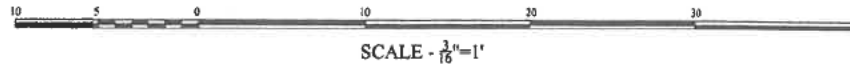
BUILDING 30  
PROPOSED LEFT - SOUTHEAST ELEVATION  
SCALE  $\frac{1}{16}"=1'$



BUILDING 30  
EXISTING RIGHT - NORTHWEST ELEVATION  
SCALE  $\frac{1}{16}"=1'$



BUILDING 30  
PROPOSED RIGHT - NORTHWEST ELEVATION  
SCALE  $\frac{1}{16}"=1'$



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SHOWN HEREIN. FIELD ADJUSTMENTS MADE  
ACCORDINGLY.

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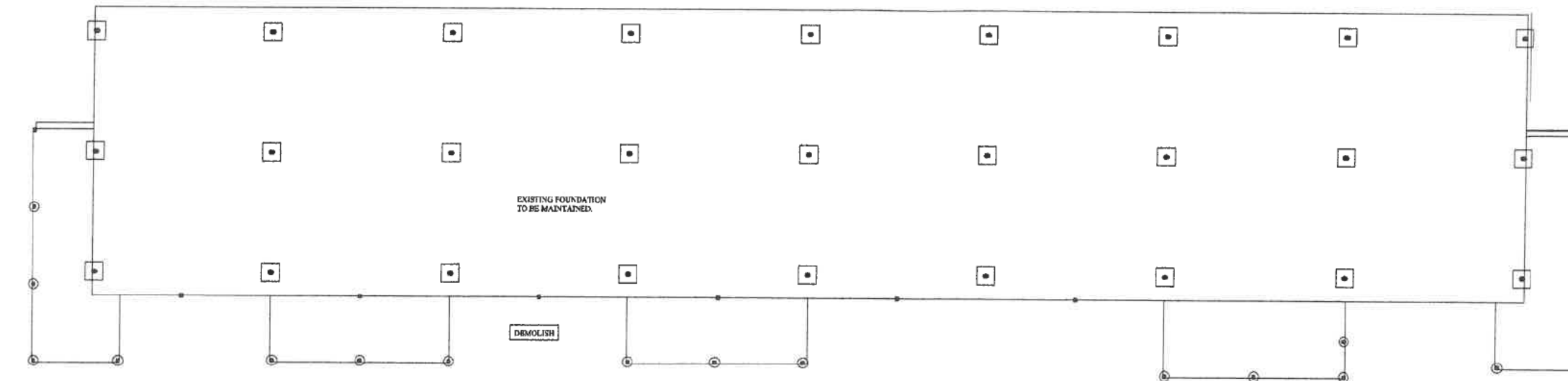
**REMODEL  
BUILDINGS**  
10, 20, 30, 40, & 50  
DUNE CREST HOTEL  
535 ROUTE 6, TRURO, MA

**EXISTING & PROPOSED  
EACH END  
ELEVATIONS**

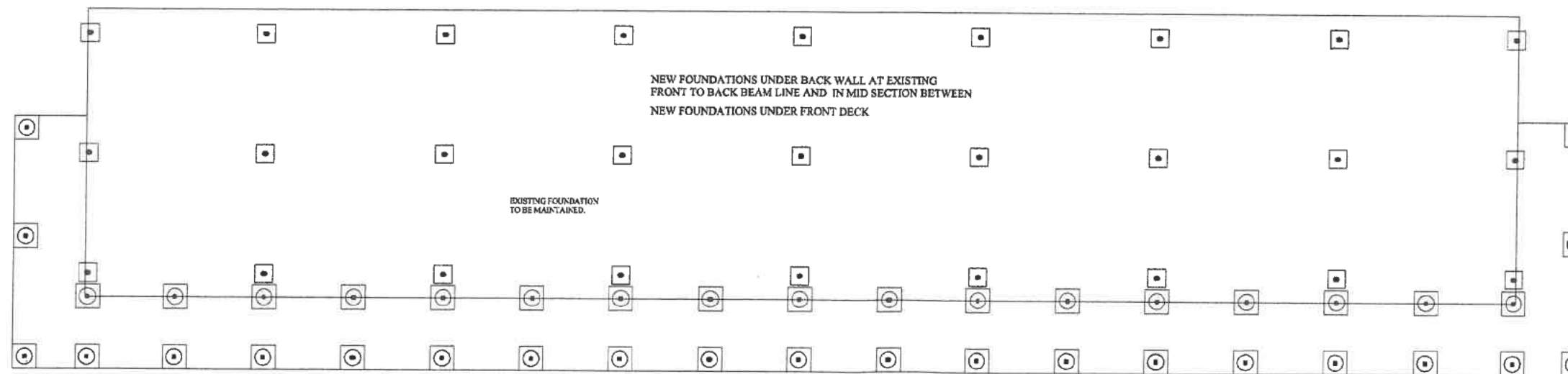
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**19**

DATE: 7/8/2024

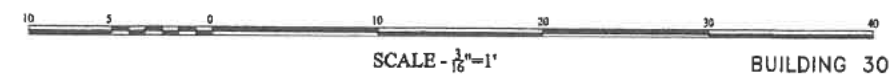
BUILDING 30



BUILDING 30  
EXISTING FOUNDATION PLAN  
SCALE  $\frac{1}{8}"=1'$



BUILDING 30  
PROPOSED FOUNDATION PLAN  
SCALE  $\frac{1}{16}"=1'$



DATE: 7/8/2024

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PRIOR TO CONSTRUCTION. THEIR REQUIRE-  
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SHOWN HEREIN. FIELD ADJUSTMENTS MADE  
ACCORDINGLY.

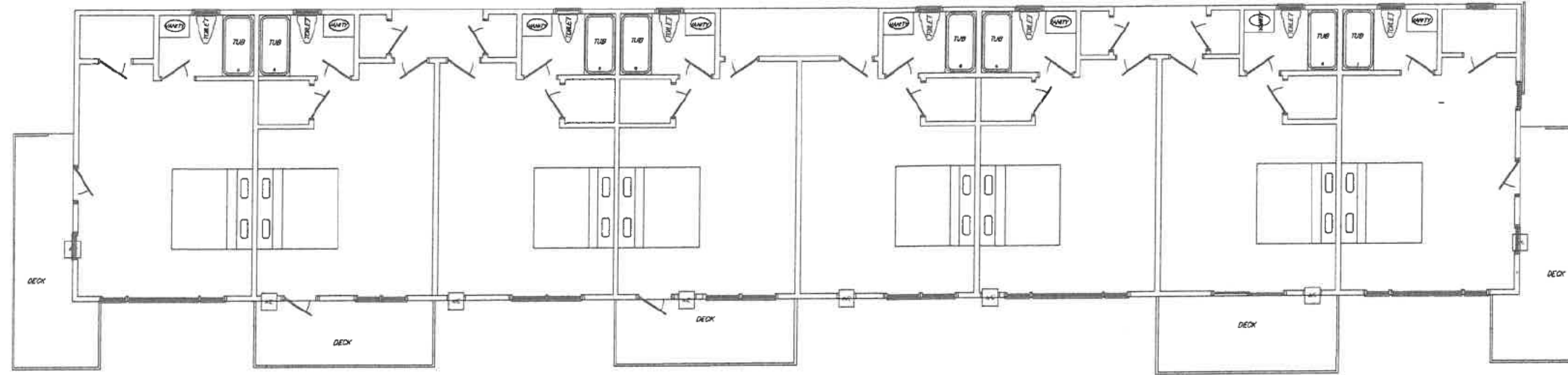
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REMODEL  
BUILDINGS  
10, 20, 30, 40, & 50  
DUNE CREST HOTEL  
535 ROUTE 6, TRURO, MA

EXISTING & PROPOSED  
FOUNDATION

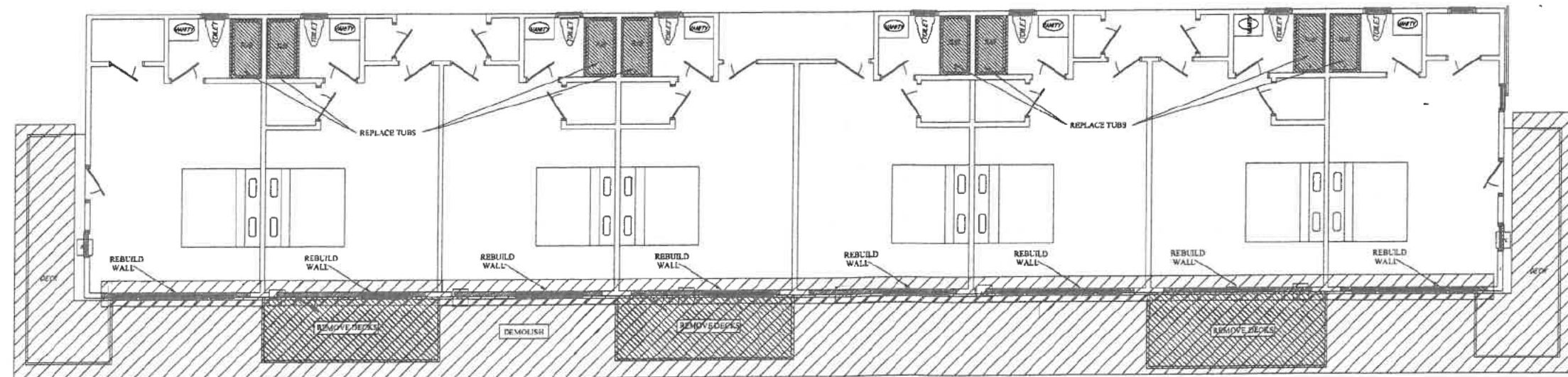
DWG. NO. BLDG 30  
20





BUILDING 30  
EXISTING FIRST FLOOR PLAN  
SCALE  $\frac{1}{8}"=1'$

REPLACE FRONT WINDOWS  
REMOVE BACK DECKS  
REBUILD BACK WALL WITH NEW WINDOWS



BUILDING 30  
DEMOLITION PLAN  
SCALE  $\frac{1}{8}"=1'$

10 5 0 10 20 30 40  
SCALE -  $\frac{3}{16}"=1'$

BUILDING 30

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RESPONSIBILITY TO VERIFY ACCURACY AND  
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PRIOR TO CONSTRUCTION. THEIR REQUIRE-  
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SHOWN, AND FIELD ADJUSTMENTS MADE  
ACCORDINGLY.

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REMODEL  
BUILDINGS  
10, 20, 30, 40, & 50  
DUNE CREST HOTEL  
535 ROUTE 6, TRURO, MA

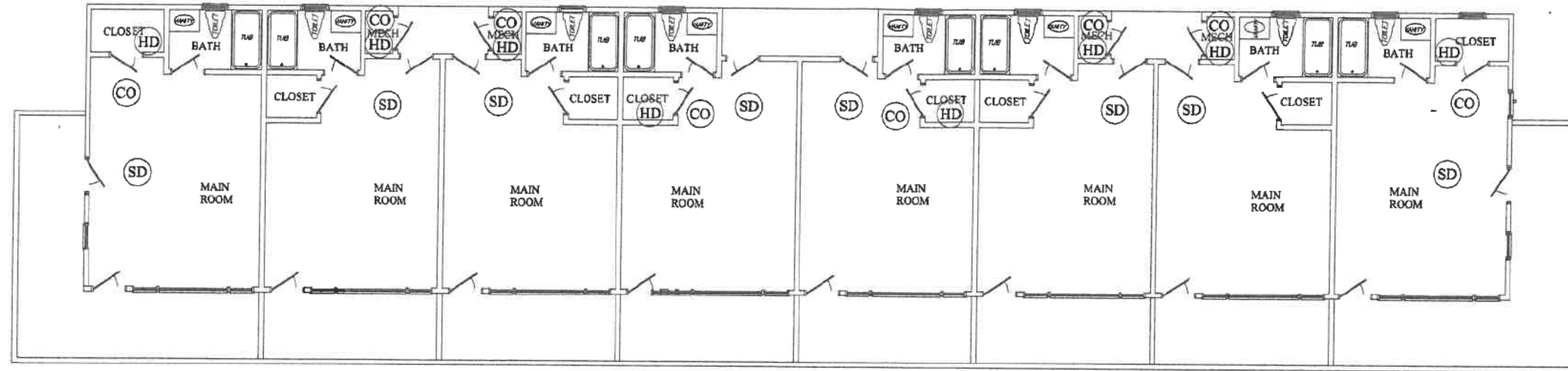
EXISTING FLOOR PLAN  
AND  
DEMOLITION PLAN

DATE: 7/8/2024

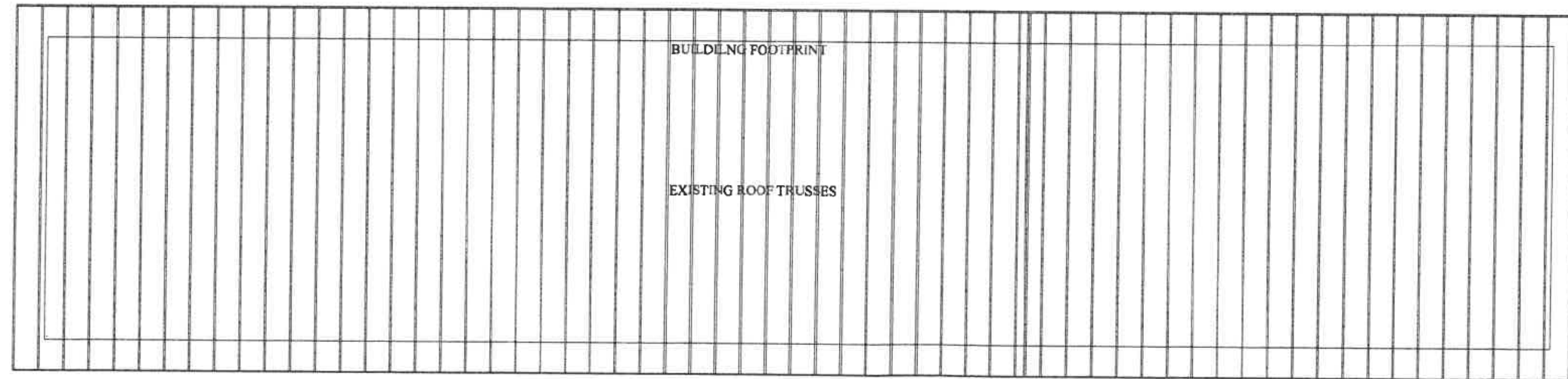
DWG. NO. BLDG 30  
21

- (CO) CARBON MONOXIDE DETECTOR  
(SD) SMOKE DETECTOR  
(HD) HEAT DETECTOR

REPLACE FRONT WINDOWS  
REMOVE BACK DECKS  
REBUILD BACK WALL WITH NEW WINDOWS  
NEW FOUNDATIONS UNDER FRONT DECK  
REBUILD FRONT DECK SUPPORT



BUILDING 30  
PROPOSED FIRST FLOOR PLAN  
SCALE  $\frac{1}{16}''=1'$



BUILDING 30  
EXISTING & PROPOSED ROOF TRUSS SYSTEM  
SCALE  $\frac{1}{16}''=1'$   
NO PROPOSED MODIFICATION TO ROOF SYSTEM

10 5 0 10 20 30 40  
SCALE -  $\frac{1}{16}''=1'$

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SHOWN, AND FIELD ADJUSTMENTS MADE  
ACCORDINGLY.

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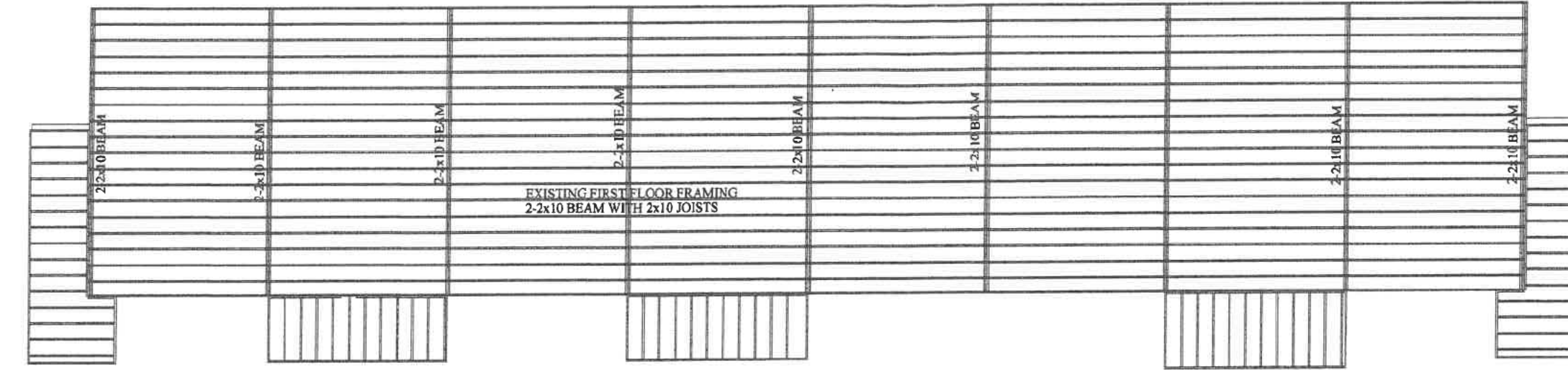
REMODEL  
BUILDINGS  
10, 20, 30, 40, & 50  
DUNE CREST HOTEL  
535 ROUTE 6, TRURO, MA

PROPOSED  
FIRST FLOOR PLAN  
& PROPOSED  
ROOF TRUSS SYSTEM

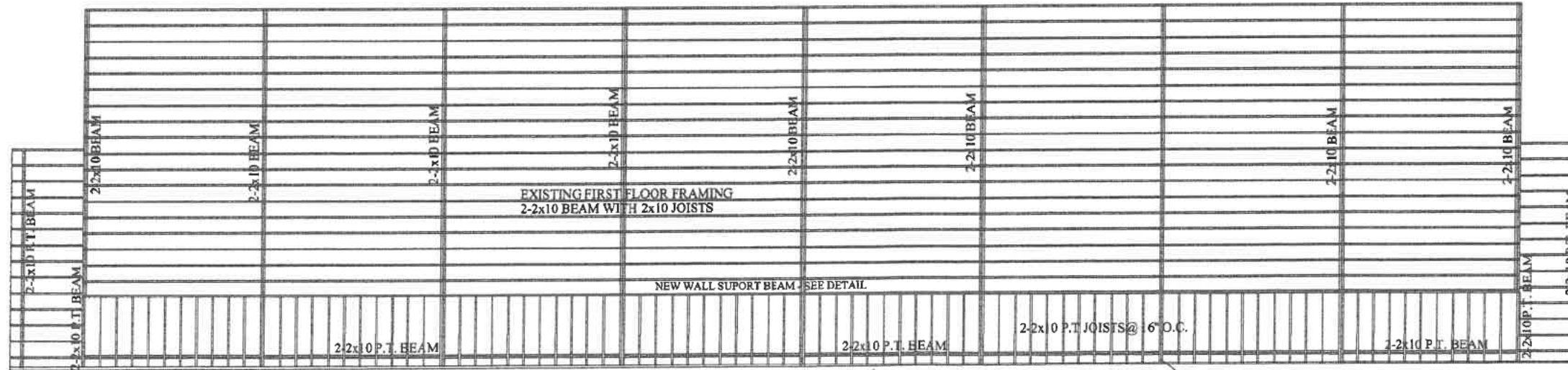
DWG. NO. BLDG 30  
22

DATE: 7/8/2024

BUILDING 30



BUILDING ~~30~~ 30  
EXISTING FIRST FLOOR FRAMING PLAN  
SCALE  $\frac{1}{8}"=1'$



BUILDING ~~30~~ 30  
PROPOSED FIRST FLOOR FRAMING PLAN  
SCALE  $\frac{1}{8}"=1'$

10 5 0 10 20 30 40  
SCALE -  $\frac{3}{16}"=1'$

BUILDING 30

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BEFORE CONSTRUCTION. THEIR REQUIRE-  
MENTS MUST TAKE PRECEDENCE OVER THOSE  
SHOWN, AND FIELD ADJUSTMENTS MADE  
ACCORDINGLY.

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REMODEL  
BUILDINGS  
10, 20, 30, 40, & 50  
DUNE CREST HOTEL  
535 ROUTE 6, TRURO, MA

EXISTING & PROPOSED  
FIRST FLOOR  
FRAMING PLAN

DWG. NO. BLDG 30  
23

DATE: 7/8/2024



Massachusetts Department of Environmental Protection  
Bureau of Water Resources - Wetlands

**WPA Form 1- Request for Determination of Applicability**  
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

10492  
**PAID**

Municipality

Conservation Commission  
TOWN OF TRURO

AUG 16 2024

**Important:**

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



**A. General Information**

1. Applicant:

First Name

Last Name

Address

City/Town

State

Zip Code

Phone Number

Email Address

2. Property Owner (if different from Applicant):

COBB FARM HOMEOWNERS ASSOC  
First Name

Larry  
C/O GAIL PISAPIO  
Last Name

100 GRETEHEW LANE  
Address

HOLLISTON  
City/Town

MA

01746  
Zip Code

3. Representative (if any)

Doug Cox  
First Name

Last Name

Unlimited Landscapes  
Company Name

22 Shore Rd  
Address

NORTH TRURO  
City/Town

MA  
State

02666  
Zip Code

**B. Project Description**

1. a. Project Location (use maps and plans to identify the location of the area subject to this request):

Street Address

12 QUANSET

TRURO  
City/Town

70.07189

Latitude (Decimal Degrees Format with 5 digits after decimal e.g. XX.XXXXX)

41.969

Longitude (Decimal Degrees Format with 5 digits after decimal e.g. -XX.XXXXX)

59

Assessors' Map Number

43

Assessors' Lot/Parcel Number

b. Area Description (use additional paper, if necessary):

TENNIS COURT ADJACENT TO CVP

c. Plan and/or Map Reference(s): (use additional paper if necessary)

SKETCH

Title

Date

8/16/24

Title

Date

[How to find Latitude and Longitude](#)

[and how to convert to decimal degrees](#)





Massachusetts Department of Environmental Protection  
Bureau of Water Resources - Wetlands

**WPA Form 1- Request for Determination of Applicability**

Truro  
Municipality

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**B. Project Description (cont.)**

2. a. Activity/Work Description (use additional paper and/or provide plan(s) of Activity, if necessary):

#12 Quanset Tennis Court  
Tree Removal Project

b. Identify provisions of the Wetlands Protection Act or regulations which may exempt the applicant from having to file a Notice of Intent for all or part of the described work (use additional paper, if necessary).

NA

3. a. If this application is a Request for Determination of Scope of Alternatives for work in the Riverfront Area, indicate the one classification below that best describes the project.

NA

- ☐ Single family house on a lot recorded on or before 8/1/96
- ☐ Single family house on a lot recorded after 8/1/96
- ☐ Expansion of an existing structure on a lot recorded after 8/1/96
- ☐ Project, other than a single-family house or public project, where the applicant owned the lot before 8/7/96
- ☐ New agriculture or aquaculture project
- ☐ Public project where funds were appropriated prior to 8/7/96
- ☐ Project on a lot shown on an approved, definitive subdivision plan where there is a recorded deed restriction limiting total alteration of the Riverfront Area for the entire subdivision
- ☐ Residential subdivision; institutional, industrial, or commercial project
- ☐ Municipal project
- ☐ District, county, state, or federal government project
- ☐ Project required to evaluate off-site alternatives in more than one municipality in an Environmental Impact Report under MEPA or in an alternatives analysis pursuant to an application for a 404 permit from the U.S. Army Corps of Engineers or 401 Water Quality Certification from the Department of Environmental Protection.

b. Provide evidence (e.g., record of date subdivision lot was recorded) supporting the classification above (use additional paper and/or attach appropriate documents, if necessary.)



Massachusetts Department of Environmental Protection  
Bureau of Water Resources - Wetlands

**WPA Form 1 - Request for Determination of Applicability**

TRURO  
Municipality

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**C. Determinations**

1. I request the TRURO Conservation Commission make the following determination(s). Check any that apply:

- ☐ a. whether the **area** depicted on plan(s) and/or map(s) referenced above is an area subject to jurisdiction of the Wetlands Protection Act.
- ☐ b. whether the **boundaries** of resource area(s) depicted on plan(s) and/or map(s) referenced above are accurately delineated.
- ☒ c. whether the **Activities** depicted on plan(s) referenced above is subject to the Wetlands Protection Act and its regulations.
- ☒ d. whether the area and/or Activities depicted on plan(s) referenced above is subject to the jurisdiction of any **municipal wetlands' ordinance** or **bylaw** of:

TRURO  
Name of Municipality

- ☐ e. whether the following **scope of alternatives** is adequate for Activities in the Riverfront Area as depicted on referenced plan(s).

NA

**D. Signatures and Submittal Requirements**

I hereby certify under the penalties of perjury that the foregoing Request for Determination of Applicability and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge.

I further certify that the property owner, if different from the applicant, and the appropriate DEP Regional Office were sent a complete copy of this Request (including all appropriate documentation) simultaneously with the submittal of this Request to the Conservation Commission.

Failure by the applicant to send copies in a timely manner may result in dismissal of the Request for Determination of Applicability.

Signatures:

I also understand that notification of this Request will be placed in a local newspaper at my expense in accordance with Section 10.05(3)(b)(1) of the Wetlands Protection Act regulations.

LAURENCE PISAPIN  
Signature of Applicant  
THASIEC  
Jim McRay Douglas W Cox  
Signature of Representative (if any)

8-9-2024  
Date

8/16/24  
Date

# Quanset Rd

NOT  
TO  
SCALE

Access  
for work  
Re Veg  
Bear Berry + Native Grass  
Jute + mulch (E)

6' work Limit Line

3' Built up Debris Removal Line  
FENCE

Trees first cut +  
Removed from site.

Removal of trees that  
will or are impacting  
Tennis Court.

Request Site Visit  
with Conservation Agent  
Prior to work Start.

22 total

← TREES to  
Be Removed

(N)

(S)

work  
Access

Asphalt  
+ Jute

Gate

FENCE

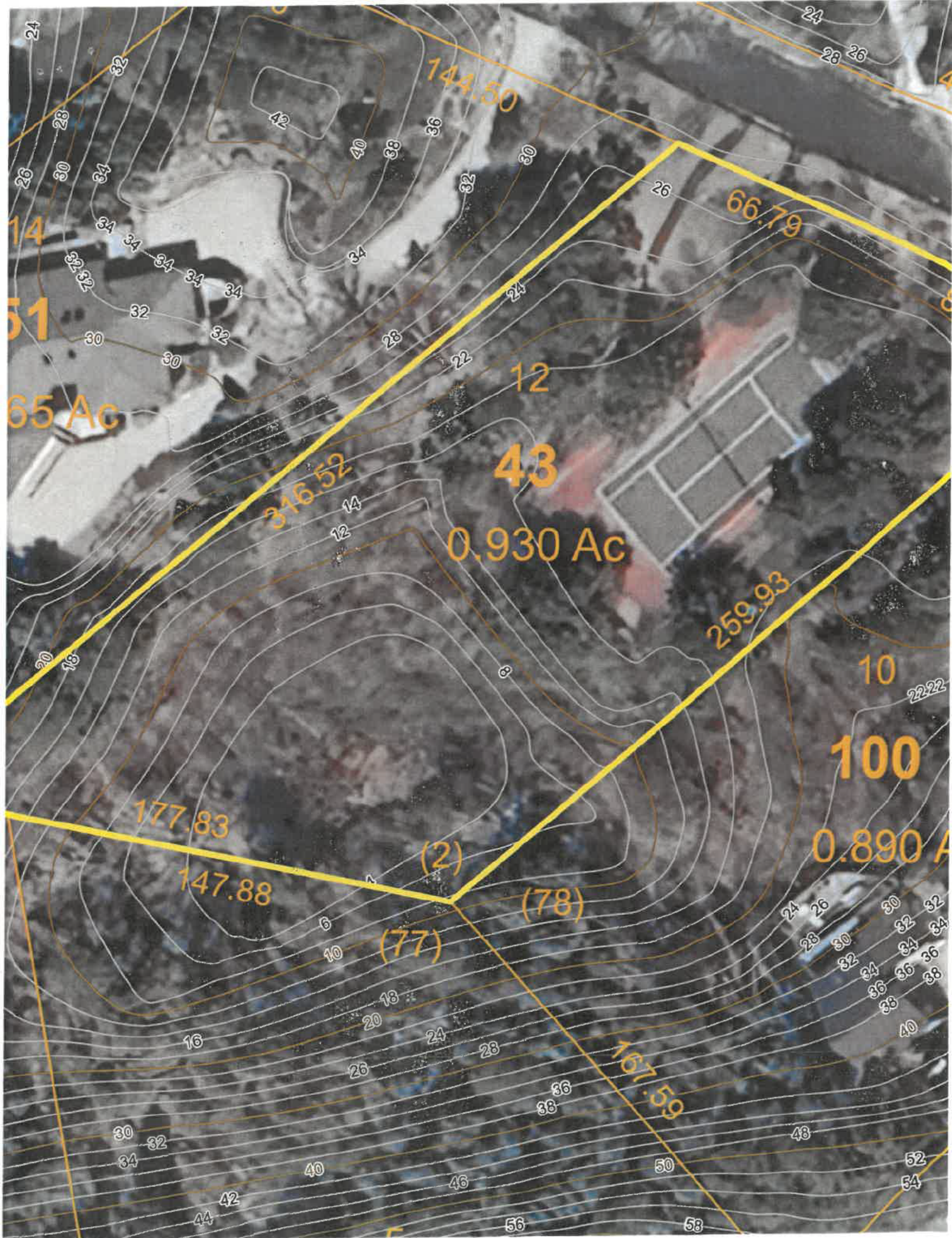
Replant  
with  
High Bush  
Blueberry  
+  
Beech Plu

Quanset Court  
Project

8/16/24

Dough W. Cox  
Douglas W. Cox







0.960 Ac

20-20-20

211.29

5.50

144.50

Quanset Rd

66.79

5 Ac

43

0.930 Ac

316.52

259.93

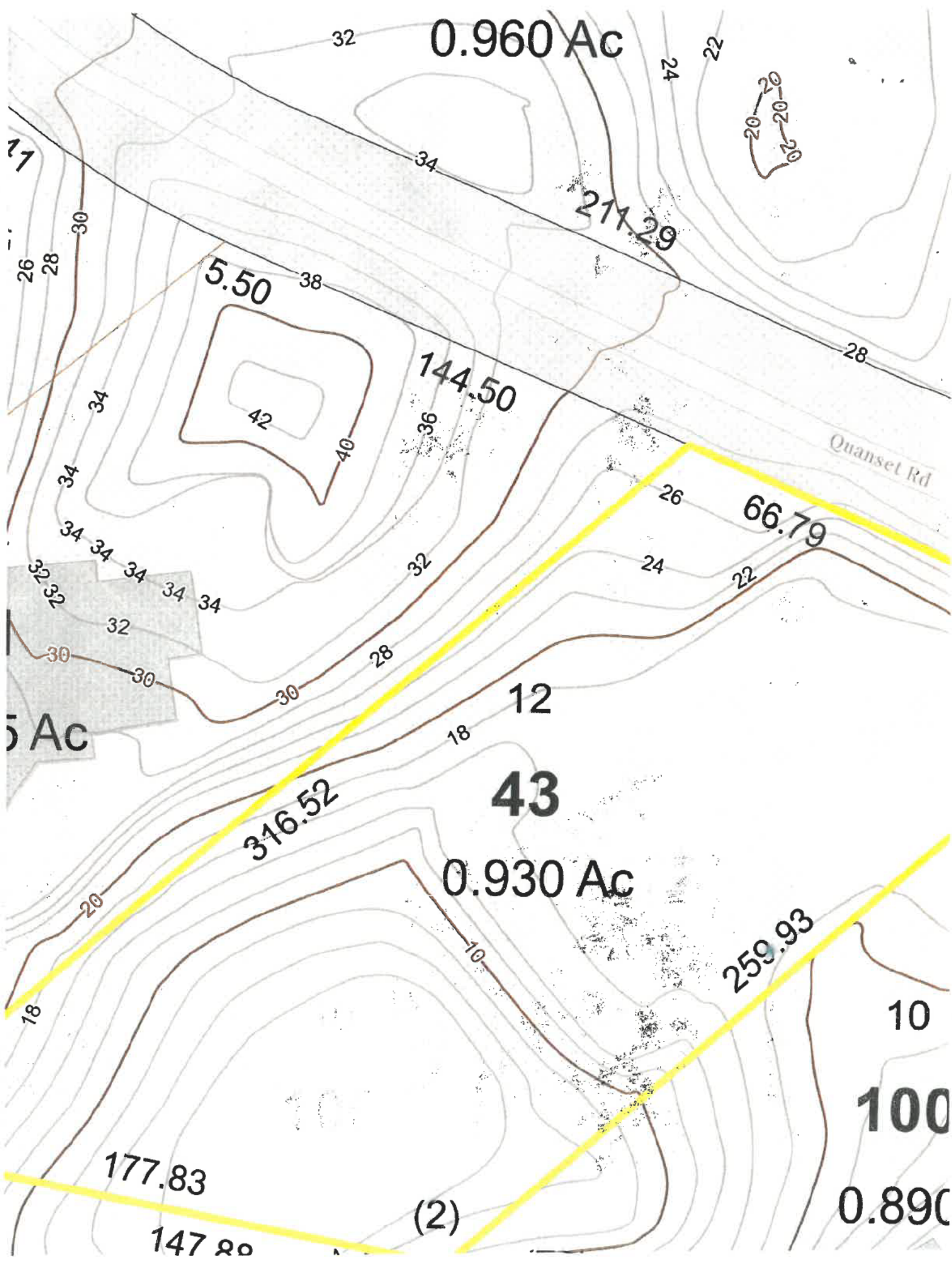
100

0.890

177.83

147.80

(2)



JUN 27 2024

PERMIT # 2024-24



# TOWN OF TRURO

## Conservation Commission

24 Town Hall Road  
P.O. Box 2030, Truro MA 02666

### APPLICATION FOR ADMINISTRATIVE REVIEW PERMIT

PERMIT FEE \$20

Applicant Name: Russell Braun Telephone: [REDACTED]

Email address: [REDACTED]

Owner Name: same Telephone: [REDACTED]

(If the applicant is not the owner of the property, written consent to the work MUST be attached to this Application.)

Address of subject property: 510 Shore Rd. unit C Map: 7 Parcel: 9.c

Description of proposed work: Reconstruction of existing deck. Relocation of existing egress stairs to more protected location. Existing location highly subject to damage from wave-borne debris. SAME DECK "FOOTPRINT"

Proximity to Resource Areas: In velocity zone on beach.

### CRITERIA FOR ADMINISTRATIVE REVIEW (AR) PERMITS

60-day  
extension  
request

any inland or coastal wetland resource.

ear cutting.

demonstrated to be necessary, e.g., to protect  
y, traffic visibility, etc.

e., an area to be planted with native species of trees

ged for inspection.

is required or proposed.

#### jects:

wetland resource except for minimal projects with the  
Agent.

tion is more than 50' from the edge of resource area.  
y is required or proposed.

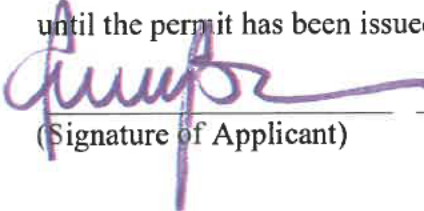
- Foundation for structure shall be concrete blocks, sono tubes, diamond piers
- Repairs or replacement of existing structures remain within the same footprint.
- New structures must be less than 160 square feet.
- Only minimal projects such as biomimicry, sand nourishment, beach grass and planting of native species shall be allowed under this permit

#### Procedure:

- The fee shall be submitted with the Administrative Review Application.
- The Agent shall conduct a site visit, at which time the proposed project must be clearly defined in the field with stakes. Trees shall be flagged.

- If the Agent determines that all of the conditions of this Policy are met, the Agent may approve the Application. If the conditions of this policy are not met; the application is incomplete; or the field ID is inadequate the application is denied.
- **If the Agent approves the application, such approval must be ratified by the Truro Conservation Commission prior to the issuance of this permit and prior to the commencement of any work.**
- Any Property Owner, contractor or other agent of the owner performing any work pursuant to an Administrative Review permit shall have a copy of the permit available at the site at all times during the period that the work is being performed.
- Upon approval and ratification by the Commission, an Administrative Permit shall issue.
- The applicant shall notify the Commission prior to the start of the work, and must complete the work within thirty (30) days of issuance of the permit, unless otherwise permitted by the Commission.
- The Conservation Agent shall inspect the property to verify that the work completed is within the scope of the Approved Application.
- Any work beyond the scope of the approved Administrative Review shall be subject to enforcement action.
- NOTE: Use of town property for beach access or staging of construction materials requires a permit issued by the Board of Selectmen.

By signing this permit application, you are acknowledging that you have read and understand the terms as stated herein. You are also aware that no work shall go forward until the permit has been issued by the Conservation Commission.

 6.26.24  
(Signature of Applicant) (Date)

**FOR OFFICE USE ONLY**

Agent's Comments

same as the deck rebuilds on the other units which were approved on ARs since they are raised.

Site Inspection Date: 7/2/2024 Application Approved: ☒ Yes ☐ No

Conservation Commission Review: Meeting Date: 8/5/2024 Permit Approved: ☒ Yes ☐ No  
Conditions:

Signature of Commission Chair or Agent: C Warren Date: 8/6/2024