

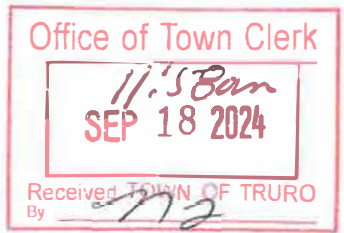


Truro Planning Board Agenda

Remote Zoom Meeting

Wednesday, September 25, 2024 – 5:00 pm

www.truro-ma.gov



Join the meeting from your computer, tablet or smartphone:

<https://us02web.zoom.us/j/88643445765>

Dial in: +1-646-931-3860

Meeting ID: 886 4344 5765

Passcode: 586660

Open Meeting

This will be a remote public meeting. Citizens can view the meeting on Channel 8 in Truro and on the web: Town of Truro website (www.truro-ma.gov), "Helpful Links", "Truro TV Channel 8". Click on the green "Watch" button in the upper right corner of the page. Please note that there may be a slight delay (approx. 15-30 seconds) between the meeting and the television broadcast/livestream.

Citizens can join the meeting to listen and provide public comment by entering the meeting link; clicking on the agenda's highlighted link; clicking on the meeting date in the Event Calendar; or by calling in toll free. Citizens will be muted upon entering the meeting until the public comment portion of the hearing. If you are joining the meeting while watching the television broadcast/livestream, please lower or mute the volume on your computer or television during public comment so that you may be heard clearly. Citizens may also provide comment via postal mail or by emailing Liz Sturdy, Planning Department Assistant, at esturdy@truro-ma.gov, one week prior to the meeting; or may instead speak during the Public Comment portion of the hearing.

Public Comment Period

The Commonwealth's Open Meeting Law limits any discussion by members of the Board of an issue raised to whether that issue should be placed on a future agenda. Speakers are limited to no more than 5 minutes.

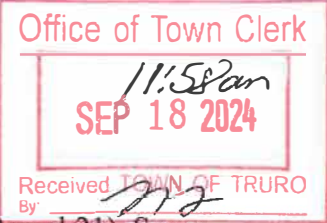
1. **Planner Report**
2. **Chair Report**
3. **Minutes** – None

Board Action/Review

2024-005/PB ANR – The Claire A. Perry Living Trust Agreement seeks approval of Form A – Application for Determination that Plan Does Not Require Approval (ANR) pursuant to G.L. c. 41, s. 81 and Section 2.2 of the Town of Truro Rules and Regulations Governing the Subdivision of Land with respect to property at 23 Perry Road (Atlas Map 45, Parcel 131).

Public Hearing – New

2024-004/PB Crown Castle for T-Mobile – 344 Route 6 (Atlas Map 39, Parcel 172A). Applicant seeks a Special Permit under §40.5 to modify existing collocated equipment.



Board Action/Review

2024-006/PB Preliminary Subdivision – 32 Union Field Road (Atlas Map 47, Parcel 21), Susan Dyer Lambert and William R. Dyer.

Discussion and Vote on Proposed 2025 Planning Board Meeting Schedule

Board Discussion/Action

- ◆ Updates on work for next year
 - Lot Clearing
 - Sign Code
 - Lot Coverage
 - Climate Change
 - Stormwater
- ◆ Street Inventory List

Next Meeting: Wednesday, October 9, 2024 at 5:00 pm

Adjourn

STAFF MEMORANDUM

To: Truro Planning Board

From: Barbara Carboni, Town Planner and Land Use Counsel

Date: September 24, 2024

Re: Meeting September 25, 2024

2024-005/PB ANR –23 Perry Road. The Claire Perry Living Trust Agreement seeks approval of Form A – Application for Determination that Plan Does Not Require Approval (ANR) under the Subdivision Control Law and Truro Rules and Regulations Governing the Subdivision of Land.

An updated ANR plan was submitted on September 23, 2024, and circulated to the Board. This ANR plan replaces the one originally filed with the Form A.

The ANR plan depicts property located at 23 Perry Road, consisting of approximately 9.7 acres. The proposed division of land would create Lot 1, containing .92 acres with sufficient frontage on Hardings Way, and Lot 2, containing 8.78 acres with sufficient frontage on both Hardings Way and Perry Road.

Prior Proceedings

As some members of the Board are aware, an ANR plan concerning the same property (identified as Lot 13, Plan Book 632, Page 67) was submitted to the Board in 2020, and other plans had been submitted to the Board in prior years. A threshold issue for the Board on all of these occasions, including 2020, was whether the ANR was required to be referred to the Cape Cod Commission as a Development of Regional Impact (DRI) based on the 30+ acre regulatory trigger – that is, a proposed division of land totaling 30 acres or more in common ownership or control after September 30, 1994. See Section 3(c) of Enabling Regulations. The Board had referred the ANR to the Commission as a DRI on occasions prior to 2020, and it did so again with the 2020 ANR. The owners subsequently withdrew the ANR application, which had the effect of withdrawal from the Commission as well.

Guidance of Town Counsel

I have requested guidance from Town Counsel regarding this threshold issue and the current ANR application; I will advise the Board when I receive it.

Approval Not Required endorsement

Aside from the threshold issue of DRI referral, there appear no obstacles to the Board's endorsement of the Plan as Approval Not Required. The lots delineated have frontage on an

approved way, Hardings Way (as shown on an approved subdivision plan, Plan Book 596, Page 91), and have conforming frontage.

2024-004/PB Crown Castle for T-Mobile - 344 Route 6. Applicant seeks a special permit under Zoning Bylaw s. 40.5 for modifications to existing collocated equipment.

Existing Conditions and Proposed Project

The telecommunications tower at the Public Safety Building is 170 feet in height. Existing antennas are located at various heights on the tower, between 96 feet to 170 feet. This is best seen on Sheet C-2 of the plan set (depicting Existing Tower Elevation and Final (proposed) Tower Elevation.

The applicant (Crown Castle, on behalf of T-Mobile), seeks to remove an antenna, radio, cable and other equipment from a location between 96 and 98 feet; to relocate a radio and other equipment; and install replacement and additional antenna, radio, cable and other equipment at the same height on the tower. See Project Description and Sheet C-2; see also Application (proposal is to replace 3 antennas and 3 radios with 6 antennas and 3 radios and ancillary equipment). Additional work on the ground (removal and replacement of certain equipment, as well as the installation of a 5'0" ice bridge), is proposed. See Project Description.

Relief required

Zoning Bylaw s. 40.5 requires a special permit for construction “a communications structure, building or appurtenance.” See s. 40.5.B.1. The Board now has a modified special permit process for Modifications to Existing Telecommunication Structures, where the work proposed is simply a swap out of equipment on an existing tower. This provides a more streamlined proceeding for the applicant.

Bylaw Section 30.8 requires that for any special permit application, the Board may approve the proposal only if it finds that “the proposed use is in the opinion of the Board in harmony with the general public good and intent of this bylaw.” Such finding is therefore required in this case.

Waivers

It has been the Board’s past practice to grant waivers from certain requirements of Section 40.5 in the case of equipment swap outs such as the current application. Such waivers are allowed under Section 40.5(B)(24) where the Board finds that the requested waiver “would not be detrimental to the public interest, cause the Town any expense, or be inconsistent with the intent and purpose of this bylaw.” Due to the limited nature of the project, and consistent with comparable prior applications/ special permits, it would be appropriate to grant such waivers in this case.

It does not appear that an itemized list of waivers has been submitted. In a 2020 decision on modification to T-Mobile equipment on this tower, the Board waived the requirements under Section 40.5(B)(19)(a)-(i), and the requirements of Section 40.5(B)(20)(b), (c) and (d).

Application as Eligible Facilities Request

As the Board is aware, telecommunications facilities are regulated in the first instance by Federal law. A streamlined process is set out in federal regulations for approval of modifications to existing facilities; this is accomplished through the submission of an Eligible Facilities Request. If the proposal meets the criteria for an Eligible Facilities Request (essentially a determination that the changes are minor), it must be granted. With Truro's more detailed Bylaw special permit process in place, the Eligibility Facilities Request process would seem redundant. Nevertheless, compliance with the formalities is recommended, and the Board has previously addressed the EFR in its decisions on telecommunications equipment swap outs.

The applicant's EFR references six criteria specified by the FCC. See p. 3 of Eligible Facilities Request, "Substantial Change Checklist for Towers Outside of the Public Right of Way." The completed checklist indicates that the proposed modifications to the tower do not meet any of the six criteria, and therefore the modification does not constitute a substantial change to the existing tower. Where there is no substantial change, approval is required.

The applicant may reasonably be asked to briefly explain/confirm the proposal's compliance with each of the criteria (e.g., #2."The modifications to the Transmission Equipment do not protrude from the edge of the tower by twenty feet or more than the width of the Tower (whichever of these two dimensions is greater) at the level where the transmission equipment modifications are made."

Conditions

In previous decisions of the Planning Board with respect to equipment installation, several standard conditions have been included. The inclusion of these conditions is recommended in this case. Draft conditions below:

1. Applicant and agents shall comply with all requirements of the Truro Police Department, Fire Department, and Department of Public Works with respect to entry of persons and equipment on the site, including any required background checks. Applicant shall contact the Police Chief, Fire Chief, and Director of the Department of Public Works prior to the anticipated date of work regarding such requirements.
2. Applicant and agents shall comply with all United States Department of Agriculture Wildlife Services requirements with respect to nests and nesting season, including but not limited to inspection of the nest for activity prior to work on the tower. Applicant shall submit a report from USDA stating that the nest is inactive prior to performing the work here approved.
3. Under any circumstances in which the applicant and/or T Mobile discontinue use of the equipment installed on the tower and the premises, the Applicant or Agent will remove all T Mobile equipment from the tower and from the lot.
4. The equipment shall be installed and maintained so as to minimize noise and vibration levels. This includes but is not limited to: cutting vertical pipes flush or below the

antenna panel; capping the mount pipes to minimize any additional wind noise resulting; bundling wires where feasible; securing cables so as to prevent “whistling”; and utilizing any additional abatement measures where feasible.

5. This Special Permit is valid for the Applicant Crown Castle and T Mobile only and it may not be re-assigned, leased or sold.

Action by Board

The Board should 1) vote on the grant of a special permit under Section 40.5, including the required finding under Section 30.8; 2) vote on the approval of an Eligible Facilities Request; and 3) vote to approve the above and any other conditions for inclusion in a decision.

2024-006/PB Preliminary Subdivision - 32 Union Field Road. Susan Dyer Lambert and William R. Dyer. Applicants seek approval of a Preliminary Subdivision Plan.

The subject property contains a total of 2.637 acres and is located in the Residential District. The lot has (per Assessor's Map) 218 feet of frontage on Union Field End, which is a cul de sac at the end of Union Field Road. The property is currently vacant.

The Preliminary Subdivision Plan has been filed with the Board pursuant to G.L. c. 81S. The application proposes a two-lot subdivision. As proposed, Lot 2, containing 51,242 square feet, will be served by 157.86 feet of frontage on Union Field End. Lot 1, containing 51,223 square feet, will be served by frontage on a proposed extension of Union Field Road ending in a cul-de-sac.

Anticipating a requirement under the Natural Heritage and Endangered Species Program that a portion of the property be preserved as open space, the subdivision plan depicts two areas, "Lot 1 Restrictive Easement Area" and "Lot 2 Restrictive Easement Area. Lot 2's Restrictive Easement Area is adjacent to the "development area" of Lot 2; Lot 1's Restrictive Easement Area is connected to the Lot 1 "development area" by a thin strip of land running along the edge of Lot 2. The applicant may be asked to explain this configuration more fully; it is not the only way in which an area of the property might be set aside as open space.

The application proposes waivers of road construction design standards for the extension of Union Field Road, on the grounds that Union Field Road does not currently meet those standards. The application also proposes waivers of construction requirements pertaining to stormwater, on the same grounds. See Letter at p. 2.

Preliminary Subdivision Plan review

Unlike a Definitive Subdivision Plan filed under G.L. c. 81, s. 81T, a Preliminary Plan, even if approved, cannot be filed in the Registry of Deeds. An approved Preliminary Plan freezes zoning and thereby preserves the owner's rights in the event of a zoning change, but provides no other legal right to the owner. The denial of a Preliminary Plan is not appealable. Typically, a Preliminary Plan would be filed, approved or disapproved without great depth of inquiry,

followed by the filing of a Definitive Plan, at which point the Planning Board would review the proposal in depth. In fact, G.L. c. 81S provides that “the provisions of the subdivision control law relating to a plan shall not be applicable to a preliminary plan.” However, it serves both the applicant and the Board to have some discussion of any issues of significance raised during review of the Preliminary Plan.



September 10, 2024

Town of Truro Planning Board
Truro Town Offices

Re. 23 Perry Rd. Truro

To the Planning Board

Enclosed is the Approval Not Required checklist, ten copies of Form A ANR application, ten copies of the ANR Plan and a check made out to the Town of Truro for \$275.00.

The electronic version will be submitted to Elizabeth Sturdy

Thank you for your consideration.

Please don't hesitate to contact us with any questions at 508-255-0477.

Thank you.

Sincerely,

Dawn Sternlieb
Office Manager



Town of Truro Planning Board

P.O. Box 2030, Truro, MA 02666

FORM A

APPLICATION FOR DETERMINATION THAT PLAN DOES NOT REQUIRE APPROVAL (ANR)

To the Planning Board of the Town of Truro, MA

Date 9/6/24

The undersigned owners of all the land described herein submitted the accompanying plan entitled: Plan of Land
23 Perry Road Truro, MA for Hillside Farm LLC and dated August 27, 2024, requests a
determination and endorsement by said Board that approval by it under the Subdivision Control Law is not required.

Property Location: 23 Perry Road Map(s) and Parcel(s): Map 45 Parcel 131

Number of Lots Created: 2 Total Land Area: 9.7 +/- acres

The owner's title to said land is derived under deed from The Claire A Perry Living Trust Agreement,
dated 5/6/2019, and recorded in the Barnstable Registry of Deeds Book and Page 3999/350 or
Land Court Certificate of Title No. _____ registered in Barnstable County.

The undersigned believes that such approval is not required for the following reasons: (check as appropriate)

- ☐ The accompanying plan is not a subdivision because the plan does not show a division of land.
- ☒ The division of the tract of land shown on the accompanying plan is not a subdivision because every lot shown on the plan has frontage of at least such distance as is presently required by the Truro Zoning Bylaw under Section 50.1(A) which requires 150 feet for erection of a building on such lot; and every lot shown on the plan has such frontage on:
- ☐ a public way or way which the Town Clerk certifies is maintained and used as a public way, namely _____, or
- ☒ a way shown on a plan theretofore approved and endorsed in accordance with the subdivision control law, namely Hardings Way on 10/19/2004 PB 596/91 and subject to the following conditions _____; or
- ☐ a private way in existence on December 8, 1955, the date when the subdivision control law became effective in the Town of Truro having, in the opinion of the Planning Board, sufficient width, suitable grades, and adequate construction to provide for the needs of vehicular traffic in relation to the proposed use of the land abutting thereon or served thereby, and for the installation of municipal services to serve such land and the buildings erected or to be erected thereon, namely _____.
- ☐ The division of the tract of land shown on the accompanying plan is not a "subdivision" because it shows a proposed conveyance/other instrument, namely _____ which adds to/takes away from/changes the size and shape of, lots in such a manner that no lot affected is left without frontage as required by the Truro Zoning Bylaw under Section 50.1(A), which requires 150 feet.

- ☐ The division of the tract of land shown on the accompanying plan is not a subdivision because two or more buildings, specifically _____ buildings were standing on the property prior to December 8, 1955, the date when the subdivision control law went into effect in the Town of Truro and one of such buildings remains standing on each of the lots/said buildings as shown and located on the accompanying plan. Evidence of the existence of such buildings prior to the effective date of the subdivision control law as follows:

- ☐ Other reasons or comments: (See M.G. L., c.41, §81-L)

All other information as required in the Rules and Regulations Governing Subdivisions of Land shall be submitted as part of the application.

Samantha E. Perry
(Printed Name of Owner)

Samantha E Perry
(Signature)

(Printed Name of Owner)

(Signature)

(Address of Owner(s))

(Address of Owner(s))

(Printed Name of Agent)

(Signature)

(Address of Agent)

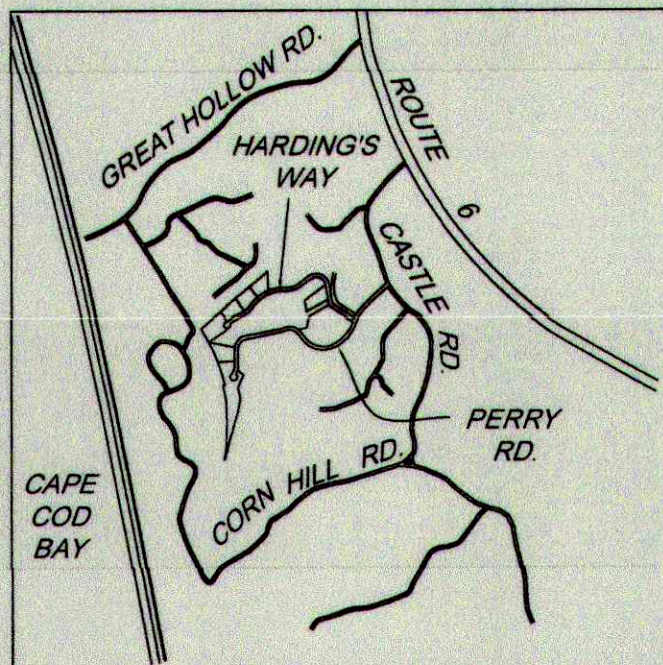
File ten (10) copies each of this form and applicable plan(s) with the Town Clerk; and a complete copy, including all plans and attachments, submitted electronically to the Planning Department Assistant at esturdy@truro-ma.gov

2.2 - APPROVAL NOT REQUIRED (ANR) PLAN ENDORSEMENT REVIEW CHECKLIST - Applicant

Address: <u>23 Perry Road</u>		Applicant Name: <u>Samantha Perry</u>		Date: <u>9/18/24</u>
No.	Requirement	Included	Not Included	Explanation, if needed
<u>2.2.2 Submission Requirements</u>				
Any person may submit a plan seeking endorsement that the plan does not require approval under the Subdivision Control Law by providing the Board with the following:				
a.	A properly executed application for Approval Not Required Endorsement (Form A).	✓		
b.	Ten (10) paper prints of the plan. Said plan shall be prepared in such a manner as to meet the Registry of Deeds and/or Land Court requirements for recording and shall contain the following information:	✓		
b.1	The boundaries, area, frontage and dimensions of the lot or lots for which ANR endorsement is sought.	✓		
b.2	The date of the plan, scale, north arrow and assessor's map and parcel number of all land shown on the plan and directly abutting the land shown on the plan.	✓		
b.3	The name(s) of the owner(s) of record of the lots shown on the plan and of the applicant, together with the name, address seal and signature of the land surveyor who prepared the plan.	✓		
b.4	Relevant zoning classification data.	✓		
b.5	A locus plan containing sufficient information to locate the land and showing streets bounding or providing access to the property.	✓		
b.6	The name(s) of the way(s) on which the lots front, information as to ownership of the way(s) and the physical condition of the way(s) including actual width, surface type and condition.	✓		
b.7	The location and dimension of any natural features which might affect the use of the frontage for access.			N/A
b.8	The location, including setbacks to all lot lines, of all buildings and other structures on the proposed ANR lots shown on the plan.			N/A
b.9	The location of any wetland on the land shown on the plan or within one hundred (100) feet of its boundaries.			N/A
b.10	The location of all bounds and easements on the proposed ANR lots shown on the plan.	✓		

2.2 - APPROVAL NOT REQUIRED (ANR) PLAN ENDORSEMENT REVIEW CHECKLIST - Applicant

Address: <u>23 Perry Road</u> Applicant Name: <u>Samantha Perry</u> Date: <u>9/10/24</u>				
No.	Requirement	Included	Not Included	Explanation, if needed
b.11	The statement "Approval under the Subdivision Control Law Not Required", and sufficient space for the date of the application submittal and the date of endorsement, docket number and the signatures of all Board members.	✓		
b.12	The statement "Planning Board endorsement of this plan indicates only that the plan is not a subdivision under MGL, Chapter 41, Section 81-L and does not indicate that a lot is buildable or that it meets Zoning, Health or General Bylaw requirements."	✓		



LOCUS MAP (not to scale)
ASSESSORS MAP 45, PARCEL 131

For Registry Use

Zoning = Residential
Minimum Lot Size = 33,750 Sq.Ft.
Minimum Lot Frontage = 150'

APPROVAL UNDER THE SUBDIVISION CONTROL LAW NOT REQUIRED
Date: _____

Note: Planning Board endorsement of this plan indicates only that the plan is not a Subdivision under MGL Chap. 41, Sec 81-L, and does not indicate that a lot is buildable or that it meets Zoning, Health, or General Bylaw requirements.

Note: Zoning = R (Residential)

I hereby certify that this plan was prepared in accordance with the Rules and Regulations of the Registers of Deeds.

Donald T. Poole
Donald T. Poole PLS #32662

9/10/24
Date

James J Armstrong & Linda P. Armstrong, Trustee
10 High Ridge Road Ext.
Deed Book 28283, Page 95
Assessor's Pcl 045-107

Rebecca E. Goldstein, Trst.
14 Old Colony Way
Deed Book 34216, Page 40
Assessor's Pcl 045-106

Rose Investment Trust
trs: Austin L Jr & Mary L Rose
Assessor's Pcl 045-35

Scott W Perry
25 Perry Rd.
Deed Book 30141, Page 64
Assessor's Pcl 045-143

Douglas Green, Trst.
8 High Ridge Road Ext.
Deed Book 35875, Page 150
Assessor's Pcl 045-108

David W. & Lee A. Shapiro
17 Hardings Way
Deed Book 33105, Page 91
Assessor's Pcl 045-141

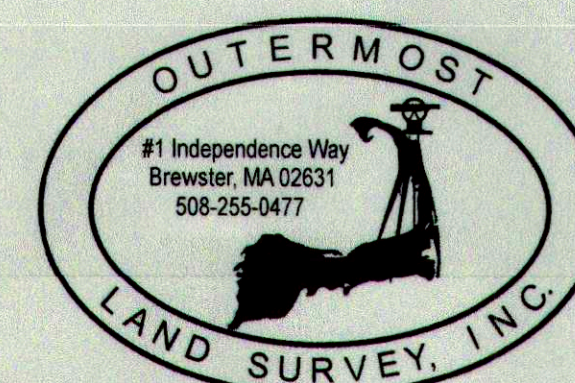
Perry Family LTD Partnership
Richard B Perry et al gen part
Assessor's Pcl 045-132

Hillside Farm LLC
Parcel C, Plan Book 672, Page 35
Assessors Pcl. 45-131-0

Henning Family trust
trs: Miriam K Henning
Assessor's Pcl 045-54

Lot 2
382,644 Sq.Ft.
8.78± Acres

Lot 1
40,067± Sq.Ft.
0.92 Acres



Plan of Land
23 Perry Road, Truro MA
Being a Division of Lot 13
Plan Book 632, Page 56
Prepared for
Hillside Farm LLC
Deed Book 31999, Page 350
Scale 1"=50' August 27, 2024
ols#664002





Site Locator
Support

Search

Functions

My Work

PMT



Site ID: 841273 > Site Name: TRURO

TIA CONDITION ASSESSMENT Read Only

Inspection Type: TIA Incident: ☐ Download Date: Mar 28 2020

Inspection Date: Mar 28 2020

Due Date: Oct 06 2020

Technician Name: Jeff Gass

Technician Company: TRYLON

TOWER MEMBER Read Only

Structure A

1. Bent members (Legs and Lacing)

☐ No Action Required ☐ Priority Action Required ☒ Routine Action Required ☐ Repaired ☐ NA

Detailed Issue Description

There is (1) bent horizontal angle member on face AB at 170ft that is supporting the top of the safety climb. The member size is L 2.5in x 2.5in x 1/8in by 89.5in long with bolted connections. The size of the bolts connecting the member are 5/8in x 2-3/8in.

2. Loose members

☒ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☐ NA

Detailed Issue Description

3. Missing members

☒ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☐ NA

Detailed Issue Description

4. Climbing facilities, platforms, catwalks - all secure

☒ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☐ NA

Detailed Issue Description

5. Loose and/or missing bolts (10% checked)

Visually inspect 100% of all tower bolts {all legs of a SST and/or GUY tower and 360 degrees around the flange connections of a MP}; and hand check tightness {utilizing an adjustable spud type wrench} of 10% of the flange bolts to a snug tight condition, equally distributed sampling across the entire tower structure.

☒ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☐ NA

Detailed Issue Description

6. Visible condition of welds (Quality)

☒ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☐ NA

Detailed Issue Description

7. Confirm leg drain holes in hollow tower legs at the tower base are open for drainage and display no evidence of rust scale collecting inside the tower leg? (Guyed/Self Support Towers)

☐ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☒ NA

Detailed Issue Description

8. Confirm drain holes in all hollow tower legs at every leg splice are open for drainage and display no evidence of rust inside the tower leg.

☐ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☒ NA

Detailed Issue Description

9. Confirm the hollow guyed tower legs are free of blockage by performing a "Ball Bearing Drop Test" on each leg. (BB test pass = No Action Required)

☐ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☒ NA

Detailed Issue Description

10. Confirm all tower legs and leg splices in each section are free of rust.

☒ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☐ NA

Detailed Issue Description

11. Confirm tower bracing members, gussets, welds and connection hardware are free of rust.

☒ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☐ NA

Detailed Issue Description

12. Confirm drain holes are installed at the top of grout (grout that is pumped into GT and SST Tower Legs)

☐ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☒ NA

Detailed Issue Description

TOWER FINISH Read Only

Structure A**1. Paint and/or galvanizing condition (paint due to jurisdiction or manufacturer galvanizing)**☒ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☐ NA**Detailed Issue Description**

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v

2. Rust and/or corrosion condition (including structure, nuts, bolts, etc.)☒ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☐ NA**Detailed Issue Description**

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v

3. FAA or ICAO color marking conditions (Orange and White tower paint)☐ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☒ NA**Detailed Issue Description**

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v

4. Water collection in members (to be remedied, e.g., unplug drain holes, etc.)☐ No Action Required ☐ Priority Action Required ☒ Routine Action Required ☐ Repaired ☐ NA**Detailed Issue Description**

The top of the tower on Leg A, B and C are not covered. Temporarily covered the Leg A, B and C with tape.

TOWER LIGHTING Read Only**Structure A****1. Conduit, junction boxes, and fasteners weather tight and secure**☐ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☒ NA**Detailed Issue Description**

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v

2. Drains and vents open☐ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☒ NA**Detailed Issue Description**

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v

3. Light lenses☐ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☒ NA**Detailed Issue Description**

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v

4. Tower Light Flash Head and Side Marker Cable (Secure and free from breaks and cuts)☐ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☒ NA**Detailed Issue Description**

^

v

5. Is top tower light fixture obstructed by appurtenances of 7/8" or larger? (changed from 1-1/4" on 7/26/2021)☐ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☒ NA**Detailed Issue Description**

^

v

6. Confirm no bird nests on or near tower lighting☐ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☒ NA**Detailed Issue Description**

^

v

7. Conduits and Power Cables attached securely fastened to tower.☐ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☒ NA**Detailed Issue Description**

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v

8. Conduits and Power Cables attached free from rust, corrosion and breaks.☐ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☒ NA**Detailed Issue Description**

^

v

TOWER SAFETY CLIMB Read Only**Structure A****1. Safety climb mounted, secured, and unrestricted for the extent of the entire structure.**

(Ensuring that the safety climb is mounted securely to the structure with-out being trapped or pinched behind attachments to the structure, such as antenna mounts, feedline mounts, etc.)

☒ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☐ NA**Detailed Issue Description**

^

v

2. Safety climb guides in place and secure☒ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☐ NA**Detailed Issue Description**

^

v

3. Safety climb rust or corrosion☐ No Action Required ☒ Priority Action Required ☐ Routine Action Required ☐ Repaired ☐ NA**Detailed Issue Description**

C3R on J-bolts for the top ladder securement.

ANTENNAS AND LINES Read Only**Structure A****1. Antenna condition**

☒ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☐ NA

Detailed Issue Description

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v

2. Mount and/or ice shield condition(bent, loose, and/or missing members)

☒ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☐ NA

Detailed Issue Description

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v

3. Feed line condition(flanges, seals, dents, jacket damage, grounding, etc.)

☒ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☐ NA

Detailed Issue Description

^

v

4. Hanger condition(snap-ins, bolt on, kellum grips, etc.)

☒ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☐ NA

Detailed Issue Description

^

v

5. Secure to structure

☒ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☐ NA

Detailed Issue Description

^

v

TOWER GROUNDING Read Only**Structure A****1. Tower grounds connections**

☒ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☐ NA

Detailed Issue Description

^

v

2. Lightning protection installed and secure (ie Rod, brushes, etc.)

☒ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☐ NA

Detailed Issue Description

^

v

TOWER BASE FOUNDATION Read Only**Structure A****1. Ground Conditions (Settlements or movements)**

☒ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☐ NA

Detailed Issue Description

^

v

2. Ground Surface Conditions (Erosion)

☒ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☐ NA

Detailed Issue Description

^

v

3. Ground Surface Conditions (Site Conditions(water, trees))

☒ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☐ NA

Detailed Issue Description

^

v

4. Base Condition (Nuts and lock nuts tight)

☒ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☐ NA

Detailed Issue Description

^

v

5. Base Condition (Grout Condition)

☒ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☐ NA

Detailed Issue Description

^

v

6. Base Condition (Anchor bolt corrosion and center pin corrosion)

☒ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☐ NA

Detailed Issue Description

^

v

7. Base Plate Welds (cracks, rust, corrosion, etc.)

☒ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☐ NA

Detailed Issue Description

^

v

8. Base Plate Gussets (welds, rust, corrosion, etc.)

☒ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☐ NA

Detailed Issue Description

^

v

9. Concrete Condition (Cracking, spalling or splitting)

☒ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☐ NA

Detailed Issue Description

^

v

10. Concrete Condition (Chipped or broken concrete)☒ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☐ NA**Detailed Issue Description****11. Concrete Condition (Honeycombing)**☒ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☐ NA**Detailed Issue Description****12. Concrete Condition (Low spots to collect moisture)**☒ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☐ NA**Detailed Issue Description****13. Weep Holes Clean and Open**☒ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☐ NA**Detailed Issue Description****TOWER ALIGNMENT** Read Only**Structure A****1. Tower Plumb and Twist**☐ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☒ NA**Detailed Issue Description****TOWER INSULATORS (AS REQUIRED)** Read Only**Structure A****AM DETUNING** Read Only**Structure A****1. AM detuning cables (Secure and unobstructed i.e. run freely in front of towers**☐ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☒ NA**Detailed Issue Description****2. AM detuning cables (corrosion)**☐ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☒ NA**Detailed Issue Description****3. Resistor inside cabinet intact**☐ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☒ NA**Detailed Issue Description****4. AM detuning system grounding (in good repair)**☐ No Action Required ☐ Priority Action Required ☐ Routine Action Required ☐ Repaired ☒ NA**Detailed Issue Description****GUYED TOWER ANCHORS** Read Only**Structure A- Questions only apply to Guyed Towers****GUYED TOWER GUYS** Read Only**Structure A- Questions only apply to Guyed Towers****GUYED TOWER TENSION** Read Only**Structure A- Questions only apply to Guyed Towers****TOWER TWIST AND OUT-OF-PLUMB** Read Only

Wind Speed: _____ MPH

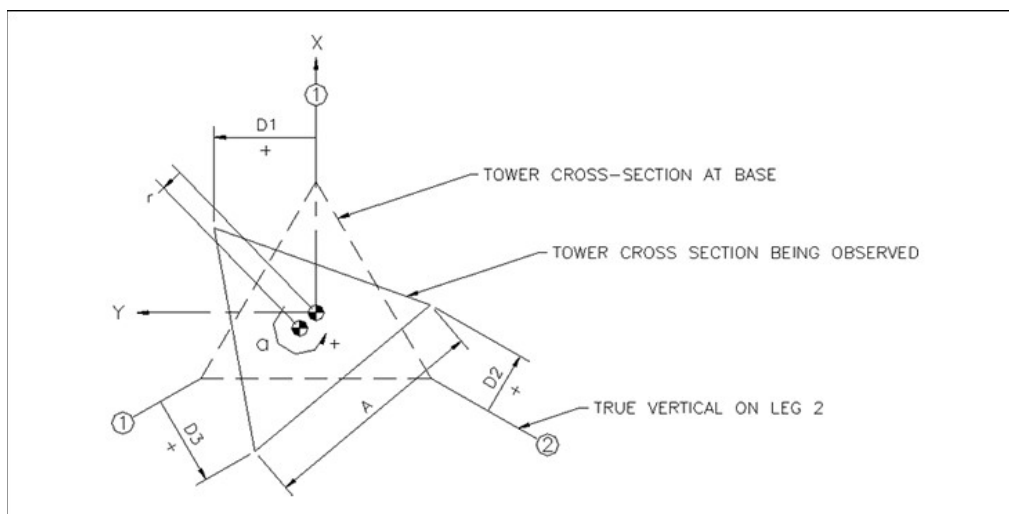
Wind Direction: _____ Azimuth

Structure A

***Note:**Three transit set-ups are required, one on each leg Azimuth sighting the corresponding tower leg at the base of the tower to set the true vertical. The Deflection at any point on the tower should be measured from this true vertical using the sign convention.

Twist and Out-of-Plumb Readings☐ Observed Mast Data ☐ Calculated TwistCalculates Out-of-Plumb

Mast Elev	A	D1	D2	D3	d	e	a	x	y	r
(ft)	(in)	(in)	(in)	(in)	(in)	(degrees)	(in)	(in)	(in)	(in)



APPURTENANCE AUDIT

Read Only

Contractor: 21151

Structure (A)

1. Did Tower Antenna/Appurtenance configuration agree with physical tower record? ☐ Yes ☒ No

Comment:

Does not match.

2. Did the current AsBuilt placement of Coax agree with last Structural Analysis? ☐ Yes ☒ No

Comment:

Does not match.

3. Is the Appurtenance Audit contractually required to be performed? ☒ Yes ☐ No

Highest Appurtenance:

Omni

Elevation of top of top Appurtenance:

180 Feet 0 Inches

Tower Lightning Rod:

☒ Yes ☐ No

Lighting System Type:

Lighting System Model Number:

No tower lights

Elevation for top Strobe/Beacon:

Elevation for Side Markers at 3/4 Tower Height:

Elevation for Side Markers at 2/3 Tower Height:

Elevation for Side Markers at 1/2 Tower Height:

Elevation for Side Markers at 1/3 Tower Height:

Elevation for Side Markers at 1/4 Tower Height:

STRUCTURE HEIGHT MEASUREMENT

Read Only

Structure (A)

1. Was a structure height audit performed? ☒ Yes ☐ No

Site Name:

TRURO

Tower Manufacturer:

Sabre

Site Business Unit:

841273

Tower Model

S3TL 01-06094

Number:

FCC Number:

21151

Lighting System

Type:

Report Prepared by (Company):

Phone:

5196698912

Total Height: (f + h + a)

180 Feet 5 Inches

FAA Approved Height

199 Feet

Height with Appurtenance: (hwa)

180 Feet 0 Inches

Height of Appurtenance: (a)*

10 Feet 0 Inches

What is the highest appurtenance:

Omni

Height of Structure: (h)*

170 Feet 0 Inches

Height of Foundation: (f)*

Feet 5 Inches

Height of Tower Extension:

Feet Inches

Height of Tower Light Side Marker

Feet Inches

Placements:

Height of Tower Light Side Marker

Feet Inches

Placements Value 2:

Height of Tower Light Side Marker

Feet Inches

Placements Value 3:

Method of measurement:

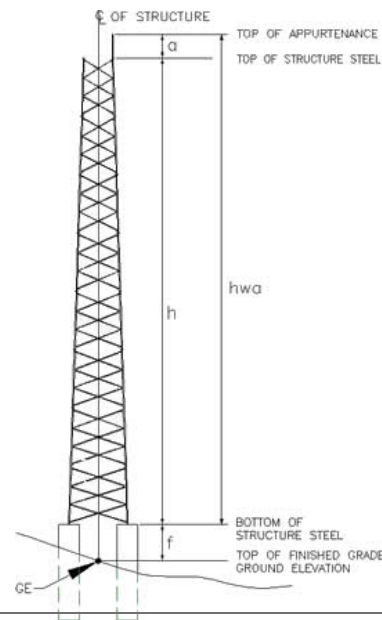
LSRNGF

Method of Measurement Comment:

Distance from centroid at base of

structure to laser tripod:

Feet Inches



Comments:

* - Items marked with a red asterisk indicate required fields

DOCUMENTATION Read Only

Is this site equipped with an elevator? ☐ Yes ☒ No

Structure A

1. Does structure match tower manufacturer drawings?

☒ Yes ☐ No

Comment:

2. Is there a tower reinforcement?

☐ Yes ☒ No

Comment:

No tower reinforcement.

3. Does the tower reinforcement installation match design drawings?

☒ Yes ☐ No

Comment:

No tower reinforcement.

NOC AND DATA TICKETS

NOC Tickets - Open

NOC Tickets - Closed (within the last 12 months)

Data Tickets - Open

Data Tickets - Closed (within the last 12 months)

0

SUMMARY NOTES

Summary Notes:

TIA inspection completed by Jeffrey Gass and Rodrigo Yamagishi of Trylon TSF on March 28, 2020. An Allfastener Safety Climb is present in the ladder climb on face AB. Tree branches are going over the west side of the compound fence. There is an empty nest on top of the tower at 170ft. (1) 1-1/4in coax is supported with rope from the AT&T carrier on leg C at 164ft. There are 1/8in gaps in the flange connections on Leg A, B and C at 80ft and 100ft. Tightened the nuts but unable to close the gaps. (1) 1/2in going to the Sprint carrier at 76ft is dead at 5ft. Deficiencies found on site: 1. C3R on J-bolts for the top ladder securement. 2. There is (1) bent horizontal angle member on face AB at 170ft that is supporting the top of the safety climb. The member size is L 2.5in x 2.5in x 1/8in by 89.5in long with bolted connections. The size of the bolts connecting the member are 5/8in x 2-3/8in. 3. The top of the tower on Leg A, B and C are not covered. Temporarily covered the Leg A, B and C with tape.

Priority Action Required Tickets ()

Tower Safety Climb: 3. Safety climb rust or corrosion

Detailed Issue Description: C3R on J-bolts for the top ladder securement.

Priority Action Required Tickets ()

Tower Finish: 4. Water collection in members (to be remedied, e.g., unplug drain holes, etc.)

Detailed Issue Description: The top of the tower on Leg A, B and C are not covered. Temporarily covered the Leg A, B and C with tape.

Tower Member: 1. Bent members (Legs and Lacing)

Detailed Issue Description: There is (1) bent horizontal angle member on face AB at 170ft that is supporting the top of the safety climb. The member size is L 2.5in x 2.5in x 1/8in by 89.5in long with bolted connections. The size of the bolts connecting the

member are 5/8in x 2-3/8in.



1800 W Park Dr rSuite 200
Westborough, MA 01581

Phone: (508) 621-9161
www.crowncastle.com

August 20, 2024

MA - TOWN OF TRURO
PLANNING DEPARTMENT
24 TOWN HALL ROAD
TRURO, MA 02666

Via E-Mail/FedEx

*****NOTICE OF ELIGIBLE FACILITIES REQUEST*****

RE: Request for Minor Modification to Existing Wireless Facility – Section 6409
Site Address: 344 ROUTE 6, NORTH TRURO, MA 02652
Crown Site Number: 841273 / Crown Site Name: TRURO
Customer Site Number: 4HY0568A / Application Number: 661717

On behalf of T-Mobile Northeast LLC (“T-Mobile” or “Applicant”), Crown Castle USA Inc. (“Crown Castle”) is pleased to submit this request to modify the existing wireless facility noted above through the collocation, replacement and/or removal of the Applicant’s equipment as an eligible facilities request for a minor modification under Section 6409¹ and the rules of the Federal Communications Commission (“FCC”).²

Section 6409 mandates that state and local governments must approve any eligible facilities request for the modification of an existing wireless tower or base station that does not substantially change the physical dimensions of such tower or base station. Under Section 6409, to toll the review period, if the reviewing authority determines that the application is incomplete, it must provide written notice to the applicant within 30 days, which clearly and specifically delineates all missing documents or information reasonably related to whether the request meets the federal requirements.³ Additionally, if a state or local government, fails to issue any approvals required for this request within 60 days, these approvals are deemed granted. The FCC has clarified that the 30-day and 60-day deadlines begins when an applicant: (1) takes the first step required under state or local law; and (2) submits information sufficient to inform the jurisdiction that this modification qualifies under the federal law⁴. Please note that with the submission of this letter and enclosed items, the thirty and sixty-day review periods have started. **Based on the date of this filing, the deadline for written notice of incomplete application is September 19, 2024, and the deadline for issuance of approval is October 19, 2024.**

¹ Middle Class Tax Relief and Job Creation Act of 2012, Pub. L. No. 112-96, § 6409 (2012) (codified at 47 U.S.C. § 1455).

² *Acceleration of Broadband Deployment by Improving Wireless Facility Siting Policies*, 29 FCC Rcd. 12865 (2014) (codified at 47 CFR § 1.6100); and *Implementation of State & Local Governments’ Obligation to Approve Certain Wireless Facility Modification Requests Under Section 6409(a) of the Spectrum Act of 2012*, WT Docket No. 19-250 (June 10, 2020).

³ See 47 CFR § 1.6100 (c)(3). ⁴ See 2020 Upgrade Order at paragraph 16.



1800 W Park Dr rSuite 200
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Phone: (508) 621-9161
www.crowncastle.com

The proposed scope of work for this project includes:

Add or replace antennas, ancillary equipment and ground equipment as per plans for an existing carrier on an existing wireless communication facility.

At the end of this letter is a checklist outlining the applicable substantial change criteria under Section 6409. Additionally, the following items are included in support of this request:

- Application
- Construction Drawings
- Certified List of Abutters
- \$350 Filing Fee

As these documents indicate, (i) the modification involves the collocation, removal or replacement of transmission equipment; and (ii) such modification will not substantially change the physical dimensions of such tower or base station. As such, it is an “eligible facilities request” as defined in the FCC’s rules to which the 60-day deadline for approval applies. Accordingly, Applicant requests all authorization necessary for this proposed minor modification under Section 6409.

Our goal is to work with you to obtain approvals earlier than the deadline. We will respond promptly to any request for related information you may have in connection with this request. Please let us know how we can work with you to expedite the approval process. We look forward to working with you on this important project, which will improve wireless telecommunication services in your community using collocation on existing infrastructure. If you have any questions, please do not hesitate to contact me.

Regards,

Domenica Tatasciore

Domenica Tatasciore
Permitting Specialist, Tower Services
Crown Castle, Agent for T-Mobile
(508) 621-9161
Domenica.Tatasciore@crowncastle.com

Section 6409 Substantial Change Checklist for Towers Outside of the Public Right of Way

The Federal Communications Commission has determined that a modification substantially changes the physical dimension of a wireless tower or base station under 47 U.S.C. § 1455(a) if it meets one of six enumerated criteria under 47 C.F.R. § 1.6100.

Criteria for Towers Outside of the Public Rights of Way

YES/NO NO	Does the modification increase the height of the tower by more than the greater of: (a) 10%; or (b) the height of an additional antenna array plus separation of up to 20 feet from the top of the nearest existing antenna?
YES/NO NO	Does the modification add an appurtenance to the body of the tower that would protrude from the edge of the tower more than 20 feet or more than the width of the tower structure at the level of the appurtenance, whichever is greater?
YES/NO NO	Does the modification involve the installation of more than the standard number of new equipment cabinets for the technology involved or add more than four new equipment cabinets?
YES/NO NO	Does the modification entail any excavation or deployment outside the current site by more than 30 feet in any direction, not including any access or utility easements?
YES/NO NO	Does the modification defeat the concealment elements of the eligible support structure?
YES/NO NO	Does the modification violate conditions associated with the siting approval for the tower or base station other than as specified in 47 C.F.R. § 1.6100(c)(7)(i) – (iv)?

If all questions in the above section are answered “NO,” then the modification does not constitute a substantial change to the existing tower under 47 C.F.R. § 1.6100.



Town of Truro Planning Board

P.O. Box 2030, Truro, MA 02666

APPLICATION FOR MODIFICATIONS TO EXISTING TELECOMMUNICATION STRUCTURES BY SPECIAL PERMIT UNDER §40.5 PROCEDURES

To the Town Clerk and the Planning Board of the Town of Truro, MA

Date 8/20/2024

The undersigned hereby files an application with the Truro Planning Board for a Special Permit to modify an existing telecommunication structure pursuant to §40.5 of the Truro Zoning Bylaw:

1. General Information

Proposed project (*describe*): T-Mobile proposes to replace 3 antennas & 3 radios with 6 antennas and 3 radios and ancillary equipment and ground work on an existing telecommunications tower. No proposed change to tower height or compound size.

Property Address 344 Route 6 Map(s) and Parcel(s) 39-172

Registry of Deeds title reference: Book _____, Page _____, or Certificate of Title Number _____ and Land Ct. Lot # _____ and Plan # _____

Applicant's Name T-Mobile / Crown Castle

Applicant's Legal Mailing Address 1800 W. Park Drive, Suite 200, Westborough, MA 01581

Applicant's Phone(s), Fax and Email 508-621-9161, Domenica.Tatasciore@crowncastle.com

Applicant is one of the following: (*please check appropriate box*)

*Written Permission of the owner is required for submittal of this application.

☒ Tower Owner ☐ Prospective Buyer* ☐ Other*

Owner's Name and Address Town of Truro, PO BOX 2030

Owner's Phone(s), Fax and Email 508-349-7004

Representative's Name and Address Domenica Tatasciore, 1800 W. Park Drive, Westborough, MA 01581

Representative's Phone(s), Fax and Email 508-621-9161, Domenica.Tatasciore@crowncastle.com

2. Waiver(s) Request – The Planning Board may, upon the request of the applicant, waive submission requirements of §40.5.B.19.

3. The completed application **shall also** be submitted **electronically** to the Planning Department Assistant at esturdy@truro-ma.gov in its entirety (including all plans and attachments).

- The applicant is **advised** to consult with the Building Commissioner and/or Planning Department prior to submitting this application.

Signature(s)

Domenica Tatasciore for Crown Castle USA Inc.

Applicant(s)/Representative Printed Name(s)

Handwritten signature of Domenica Tatasciore in black ink.

Applicant(s)/Representative Signature(s)

Owner(s) Printed Name(s) or written permission

Owner(s) Signature(s) or written permission

Your signature on this application authorizes the Members of the Planning Board and town staff to visit and enter upon the subject property.

Project Narrative

344 Route 6 for T-Mobile

Aug. 20, 2024

T-Mobile is an existing carrier located at an existing 170-foot telecommunications tower at 344 Route 6 in Truro.

There is no proposed change to either tower height or compound size.

T-Mobile proposes the following equipment upgrades/antenna swaps at the 98-foot tower centerline:

PROJECT DESCRIPTION

THE PURPOSE OF THIS PROJECT IS TO ENHANCE BROADBAND CONNECTIVITY AND CAPACITY TO THE EXISTING ELIGIBLE WIRELESS FACILITY.

TOWER SCOPE OF WORK:

- REMOVE (3) ERICSSON - AIR21_KRC118023/1_B2P_B4A (QUAD) ANTENNA
- REMOVE (3) ERICSSON - RRUS11 B2 RADIO
- REMOVE (3) RFS - TWIN STYLE 1A - ATM190 0D- 1A20 TMA
- REMOVE (4) ANDREW - LDF5-50A CABLE
- REMOVE (1) HUBER AND SUHNER - MLE HYBRID 3POWER/6FIBER RL 2 CABLE CABLE
- RELOCATE (3) RFS/CELWAVE - APXVAALL24_43-U-NA20 (OCTO) ANTENNA
- RELOCATE (3) ERICSSON - RADIO 4449 B71+B85 RADIO
- INSTALL MOUNT MODIFICATIONS PER MOUNT ANALYSIS
- INSTALL (3) ERICSSON - AIR 6419 B41 (ACTIVE ANTENNA - MASSIVE MIMO) ANTENNA
- INSTALL (3) RFS/CELWAVE - APXVLL19P_43-C-A20 (QUAD) ANTENNA
- INSTALL (3) ERICSSON - RADIO 4460 B25+B66 RADIO
- INSTALL (3) RFS/CELWAVE - HB158-21U6S24- XXM_TMO CABLE

GROUND SCOPE OF WORK:

- REMOVE (1) ERICSSON - RBS 2106 ENCLOSURE
- REMOVE (1) ERICSSON - RBS 6131 ENCLOSURE
- REMOVE (1) ±6'-2" CABLE TRAY
- INSTALL (1) ERICSSON - ENCLOSURE 6160_V2 AC ENCLOSURE
- INSTALL (1) ERICSSON - B160 ENCLOSURE
- INSTALL (1) NEMA 3R RATED SLACK BOX
- INSTALL (1) LED LIGHT
- INSTALL (1) ±5'-0" ICE BRIDGE



1800 W Park Dr rSuite 200
Westborough, MA 01581

Phone: (508) 621-9161
www.crowncastle.com

Crown Castle Letter of Authorization


**MA - TOWN OF TRURO
Planning Department
24 TOWN HALL ROAD
TRURO, MA 02666**

**Re: Application for Zoning/Building Permit
Crown Castle telecommunications site at: 344 ROUTE 6, NORTH TRURO, MA 02652**

NCWPCS MPL 24 - YEAR SITES TOWER HOLDINGS LLC ("Crown Castle") hereby authorizes T-MOBILE, including their Agent, to act as our Agent in the processing of all zoning applications, building permits and approvals through the MA - TOWN OF TRURO for the existing wireless communications site described below:

**Crown Site ID/Name: 841273/TRURO
Customer Site ID: 4HY0568A/HY568/Cingular Truro
Site Address: 344 ROUTE 6, NORTH TRURO, MA 02652
APN: 039-000-172-00**

Crown Castle

By:  Date: 8/20/24
Domenica Tatasciore
Permitting Specialist

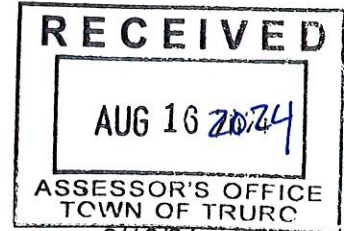


TOWN OF TRURO

Assessors Office

Certified Abutters List

Request Form



DATE: 8/13/24

NAME OF APPLICANT: TMobile / Domenica Tatasciore for Crown Castle

NAME OF AGENT (if any): _____

MAILING ADDRESS: 1800 W. Park Drive, Suite 200, Westborough, MA 01581

CONTACT: HOME/CELL 508-621-9161

EMAIL Domenica.Tatasciore@crowncastle.com

PROPERTY LOCATION: 344 Route 6

(street address)

PROPERTY IDENTIFICATION NUMBER: MAP 39

PARCEL 172-~~45~~

EXT. A

(if condominium)

ABUTTERS LIST NEEDED FOR:

(please check all applicable)

FEE: \$15.00 per checked item

(Fee must accompany the application unless other arrangements are made)

☐ Board of Health⁵

☐ Planning Board (PB)

☐ Zoning Board of Appeals (ZBA)

☐ Cape Cod Commission

☒ Special Permit¹

☐ Special Permit¹

☐ Conservation Commission⁴

☐ Site Plan²

☐ Variance¹

☐ Licensing

☐ Preliminary Subdivision³

Type: _____

☐ Definitive Subdivision³

☐ Accessory Dwelling Unit (ADU)²

☐ Other _____

(Fee: Inquire with Assessors)

(Please Specify)

Note: Per M.G.L., processing may take up to 10 calendar days. Please plan accordingly.

THIS SECTION FOR ASSESSORS OFFICE USE ONLY

Date request received by Assessors: 8/16/2024

Date completed: 8/16/2024

List completed by: [Signature]

Date paid: 8/16/2024

Cash/Check

\$298675

¹ Abutters, owners of land directly opposite on any public or private street or way, and abutters to the abutters within 300 feet of the property line.

² Abutters to the subject property, abutters to the abutters, and owners of properties across the street from the subject property.

³ Landowners immediately bordering the proposed subdivision, landowners immediately bordering the immediate abutters, and landowners located across the streets and ways bordering the proposed subdivision. **Note:** For Definitive Subdivision only, responsibility of applicant to notify abutters and produce evidence as required.

⁴ All abutters within 300 feet of parcel, except Beach Point between Knowles Heights Road and Provincetown border, in which case it is all abutters within 100 feet. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.

⁵ Abutters sharing any boundary or corner in any direction – including land across a street, river or stream. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.



TRURO ASSESSORS OFFICE

PO Box 2012 Truro, MA 02666

Telephone: (508) 214-0921

Fax: (508) 349-5506

Date: August 16, 2024

To: Crown Castle, Agents for TMobile

From: Assessors Department

Certified Abutters List: 344 Route 6 (Map 39, Parcel 172, Ext. A)

Planning Board/ Special Permit

Attached is a combined list of abutters for 344 Route 6.

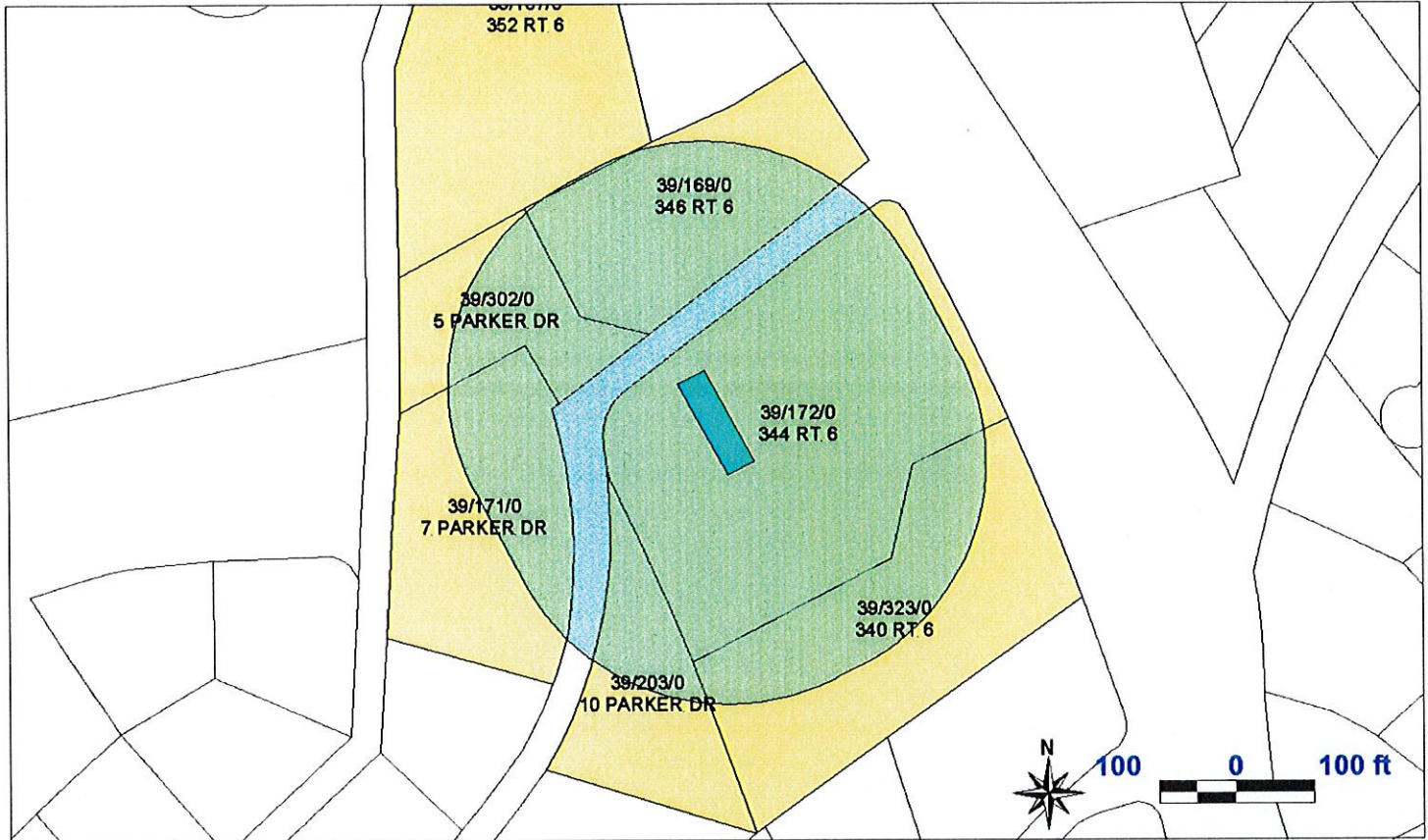
The current owner is Southwestern Bell Mobile Systems D/B/A Cingular Wireless-AT&T Services.

The names and addresses of the abutters are as of August 9, 2024 according to the most recent documents received from the Barnstable County Registry of Deeds.

Certified by: _____

Olga Farrell
Assessing Clerk

Abutters List Within 300 feet of Parcel 39/172/A



Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	ZipCd/Country
1291	39-167-0-R	TRI-S PROPERTIES LLC	352 RT 6	PO BOX 1081	TRURO	MA	02666-1081
1293	39-169-0-R	SEAMENS BANK	346 RT 6	PO BOX 74	NO TRURO	MA	02652
1294	39-171-0-R	TRIBUNA JR MICHAEL A	7 PARKER DR	192 MILTON ST	QUINCY	MA	02170
1295	39-172-0-E	TOWN OF TRURO	344 RT 6	PO BOX 2030	TRURO	MA	02666-2030
1296	39-172-A-R	SOUTHWESTERN BELL MOBILE SYSTE D/B/A CINGULAR WRLS-AT&T SVCS	344 RT 6	ATTN: TOWER PROPERTY TAX TEAM 1010 PINE ST, RM 9E-L-01 NREA	ST LOUIS	MO	63101
1324	39-203-0-R	COHEN JENNIFER S	10 PARKER DR	110 W 96TH ST #11A	NEW YORK	NY	10025
1421	39-302-0-R	DIANA PRIDEAUX-BRUNE REV TRUST TRS: DIANA E PRIDEAUX-BRUNE	5 PARKER DR	10 MUSEUM WAY, UNIT 1929	CAMBRIDGE	MA	02141
6429	39-323-0-E	TOWN OF TRURO	340 RT 6	PO BOX 2030	TRURO	MA	02666-2030

39-167-0-R

TRI-S PROPERTIES LLC
PO BOX 1081
TRURO, MA 02666-1081

39-169-0-R

SEAMENS BANK
PO BOX 74
NO TRURO, MA 02652

39-171-0-R

TRIBUNA JR MICHAEL A
192 MILTON ST
QUINCY, MA 02170

39-172-0-E

TOWN OF TRURO
PO BOX 2030
TRURO, MA 02666-2030

39-172-A-R

SOUTHWESTERN BELL MOBILE SYSTE
D/B/A CINGULAR WRLS-AT&T SVCS
ATTN: TOWER PROPERTY TAX TEAM
1010 PINE ST, RM 9E-L-01 NREA
ST LOUIS, MO 63101

39-203-0-R

COHEN JENNIFER S
110 W 96TH ST #11A
NEW YORK, NY 10025

39-302-0-R

DIANA PRIDEAUX-BRUNE REV TRUST
TRS: DIANA E PRIDEAUX-BRUNE
10 MUSEUM WAY, UNIT 1929
CAMBRIDGE, MA 02141

39-323-0-E

TOWN OF TRURO
PO BOX 2030
TRURO, MA 02666-2030



THE COMMONWEALTH OF MASSACHUSETTS
Department of Industrial Accidents
Office of Investigations
Lafayette City Center
2 Avenue de Lafayette, Boston, MA 02111-1750
www.mass.gov/dia

Workers' Compensation Insurance Affidavit: General Businesses

Applicant Information

Please Print Legibly

Business/Organization Name: Timberline Communications Inc

Address: 300 Pine Street

City/State/Zip: Canton, MA 02021

Phone #: 339-502-5000

Are you an employer? Check the appropriate box:

1. ☒ I am an employer with 76 employees (full and/or part-time).*
2. ☐ I am a sole proprietor or partnership and have no employees working for me in any capacity. [No workers' comp. insurance required]
3. ☐ We are a corporation and its officers have exercised their right of exemption per c. 152, §1(4), and we have no employees. [No workers' comp. insurance required]**
4. ☐ We are a non-profit organization, staffed by volunteers, with no employees. [No workers' comp. insurance req.]

Business Type (required):

5. ☐ Retail
6. ☐ Restaurant/Bar/Eating Establishment
7. ☐ Office and/or Sales (incl. real estate, auto, etc.)
8. ☐ Non-profit
9. ☐ Entertainment
10. ☐ Manufacturing
11. ☐ Health Care
12. ☒ Other Telecommunications

*Any applicant that checks box #1 must also fill out the section below showing their workers' compensation policy information.

**If the corporate officers have exempted themselves, but the corporation has other employees, a workers' compensation policy is required and such an organization should check box #1.

I am an employer that is providing workers' compensation insurance for my employees. Below is the policy information.

Insurance Company Name: Continental Casualty Company

Insurer's Address: 151 North Franklin Street

City/State/Zip: Chicago, IL 60606

Policy # or Self-ins. Lic. # 6081019848

Expiration Date: 6/20/25

Attach a copy of the workers' compensation policy declaration page (showing the policy number and expiration date).

Failure to secure coverage as required under § 25A of MGL c. 152 can lead to the imposition of criminal penalties of a fine up to \$1,500.00 and/or one-year imprisonment, as well as civil penalties in the form of a STOP WORK ORDER and a fine of up to \$250.00 a day against the violator. Be advised that a copy of this statement may be forwarded to the Office of Investigations of the DIA for insurance coverage verification.

I do hereby certify, under the pains and penalties of perjury that the information provided above is true and correct.

Signature: [Signature]

Date: 6/20/24

Phone #: 339-502-5000

Official use only. Do not write in this area, to be completed by city or town official.

City or Town: _____ Permit/License # _____

Issuing Authority (check one):

1. ☐ Board of Health 2. ☐ Building Department 3. ☐ City/Town Clerk 4. ☐ Licensing Board
5. ☐ Selectmen's Office 6. ☐ Other _____

Contact Person: _____ Phone #: _____

Information and Instructions

Massachusetts General Laws chapter 152 requires all employers to provide workers' compensation for their employees. Pursuant to this statute, an **employee** is defined as "...every person in the service of another under any contract of hire, express or implied, oral or written."

An **employer** is defined as "an individual, partnership, association, corporation or other legal entity, or any two or more of the foregoing engaged in a joint enterprise, and including the legal representatives of a deceased employer, or the receiver or trustee of an individual, partnership, association or other legal entity, employing employees. However, the owner of a dwelling house having not more than three apartments and who resides therein, or the occupant of the dwelling house of another who employs persons to do maintenance, construction or repair work on such dwelling house or on the grounds or building appurtenant thereto shall not because of such employment be deemed to be an employer."

MGL chapter 152, §25C(6) also states that **"every state or local licensing agency shall withhold the issuance or renewal of a license or permit to operate a business or to construct buildings in the commonwealth for any applicant who has not produced acceptable evidence of compliance with the insurance coverage required."** Additionally, MGL chapter 152, §25C(7) states "Neither the commonwealth nor any of its political subdivisions shall enter into any contract for the performance of public work until acceptable evidence of compliance with the insurance requirements of this chapter have been presented to the contracting authority."

Applicants

Please fill out the workers' compensation affidavit completely, by checking the boxes that apply to your situation and, if necessary, supply your insurance company's name, address and phone number along with a certificate of insurance. Limited Liability Companies (LLC) or Limited Liability Partnerships (LLP) with no employees other than the members or partners, are not required to carry workers' compensation insurance. If an LLC or LLP does have employees, a policy is required. Be advised that this affidavit may be submitted to the Department of Industrial Accidents for confirmation of insurance coverage. **Also be sure to sign and date the affidavit.** The affidavit should be returned to the city or town that the application for the permit or license is being requested, **not** the Department of Industrial Accidents. Should you have any questions regarding the law or if you are required to obtain a workers' compensation policy, please call the Department at the number listed below. Self-insured companies should enter their self-insurance license number on the appropriate line.

City or Town Officials

Please be sure that the affidavit is complete and printed legibly. The Department has provided a space at the bottom of the affidavit for you to fill out in the event the Office of Investigations has to contact you regarding the applicant. Please be sure to fill in the permit/license number which will be used as a reference number. In addition, an applicant that must submit multiple permit/license applications in any given year, need only submit one affidavit indicating current policy information (if necessary). A copy of the affidavit that has been officially stamped or marked by the city or town may be provided to the applicant as proof that a valid affidavit is on file for future permits or licenses. A new affidavit must be filled out each year. Where a home owner or citizen is obtaining a license or permit not related to any business or commercial venture (i.e. a dog license or permit to burn leaves etc.) said person is NOT required to complete this affidavit.

The Office of Investigations would like to thank you in advance for your cooperation and should you have any questions, please do not hesitate to give us a call.

The Department's address, telephone and fax number:

The Commonwealth of Massachusetts
Department of Industrial Accidents
Office of Investigations
Lafayette City Center
2 Avenue de Lafayette,
Boston, MA 02111-1750
Tel. (857) 321-7406 or 1-877-MASSAFE
Fax (617) 727-7749
www.mass.gov/dia

Date: **May 10, 2024**



Tower Engineering Professionals
326 Tryon Road
Raleigh, NC 27603
(919) 661-6351

Subject: Structural Analysis Report

Carrier Designation:

T-Mobile Co-Locate

Site Number:

4HY0568A

Site Name:

HY568/Cingular Truro

Crown Castle Designation:

BU Number:

841273

Site Name:

Truro

JDE Job Number:

2106552

Work Order Number:

2296658

Order Number:

661717 Rev. 0

Engineering Firm Designation:

TEP Project Number:

82785.955057

Site Data:

344 Route 6, North Truro, Barnstable County, MA 02652

Latitude 42° 1' 18.00", Longitude -70° 4' 30.00"

170 Foot - Self-Supporting Tower

Tower Engineering Professionals is pleased to submit this "**Structural Analysis Report**" to determine the structural integrity of the above-mentioned tower.

The purpose of the analysis is to determine acceptability of the tower stress level. Based on our analysis we have determined the tower stress level for the structure and foundation, under the following load case, to be:

LC7: Proposed Equipment Configuration

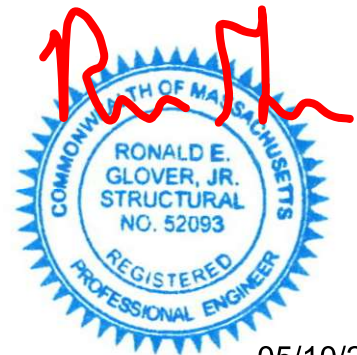
Sufficient Capacity

This analysis utilizes an ultimate 3-second gust wind speed of 149 mph as required by the 2015 International Building Code as amended by the Massachusetts State Building Code, Ninth Edition. Applicable Standard references and design criteria are listed in Section 2 - Analysis Criteria.

Structural analysis prepared by: AK / SW

Respectfully submitted by:

Ronnie E. Glover, P.E., S.E.



05/10/2024

Electronic Copy

1) INTRODUCTION

This is a 170-ft self-supporting tower designed by Sabre, and mapped by GPD Group.

2) ANALYSIS CRITERIA

TIA-222 Revision:	TIA-222-H
Risk Category:	III
Wind Speed:	149 mph
Exposure Category:	C
Topographic Factor:	1.0
Ice Thickness:	1.50 in
Wind Speed with Ice:	50 mph
Service Wind Speed:	60 mph

Table 1 - Proposed Equipment Configuration

Mounting Level (ft)	Center Line Elevation (ft)	Number of Antennas	Antenna Manufacturer	Antenna Model	Number of Feed Lines	Feed Line Size (in)
96.0	99.0	3	Ericsson	RADIO 4449 B71 B85A_T-MOBILE	3	1-5/8
	98.0	3	Ericsson	AIR 6419 B41_TMO_CCIV2 w/ Mount Pipe		
		3	RFS Celwave	APXVAALL24_43-U-NA20 w/ Mount Pipe		
		3	RFS Celwave	APXVLL19P_43-C-A20_TMO w/ Mount Pipe		
		3	Ericsson	RADIO 4460 B2/B25 B66_TMO		
	96.0	1	Tower Mounts	Sector Mount [SM 403-3]		

Table 2 - Other Considered Equipment

Mounting Level (ft)	Center Line Elevation (ft)	Number of Antennas	Antenna Manufacturer	Antenna Model	Number of Feed Lines	Feed Line Size (in)
170.0	174.0	1	Decibel	DB806-XC	1	1/2
168.0	169.0	2	RFS Celwave	APXVSPP18-C-A20 w/ Mount Pipe	4	1-1/4
		2	Commscope	DT465B-2XR w/ Mount Pipe		
		4	Alcatel Lucent	800MHZ 2X50W RRH W/FILTER		
		6	RFS Celwave	ACU-A20-N		
		2	Alcatel Lucent	1900MHZ 4X40W RRH		
		2	Nokia	FZHN		
	168.0	2	Tower Mounts	Pipe Mount [PM 601-1]		
		2	Tower Mounts	Sector Mount [SM 602-1]		
151.0	151.0	4	Powerwave Technologies	P65.15.XL.0 w/ Mount Pipe	2	1-1/4
		2	Tower Mounts	Pipe Mount [PM 601-1]		
		2	Tower Mounts	Sector Mount [SM 602-1]		

Mounting Level (ft)	Center Line Elevation (ft)	Number of Antennas	Antenna Manufacturer	Antenna Model	Number of Feed Lines	Feed Line Size (in)
145.0	145.0	3	Kathrein	800 10122 w/ Mount Pipe	12 4 2	1-5/8 5/8 3/8
		3	KMW Comm.	AM-X-CD-16-65-00T-RET w/ Mount Pipe		
		3	Quintel Technology	QS66512-2 w/ Mount Pipe		
		12	Kathrein	860 10025		
		6	Powerwave Technologies	LGP21401		
		3	Ericsson	RRUS 32 B66		
		3	Ericsson	RRUS 32		
		6	Kaelus	DBC0061F1V51-2		
		6	Ericsson	RRUS 11		
		2	Raycap	DC6-48-60-18-8F		
		1	Tower Mounts	Sector Mount [SM 602-3]		
139.0	139.0	1	Tower Mounts	Pipe Mount [PM 601-1]	1	EW52
	138.0	1	Andrew	PAR6-59A		
130.0	131.0	3	Commscope	HBXX-6516DS-A2M w/ Mount Pipe	19	1-5/8
		3	Commscope	LNK-6514DS-A1M w/ Mount Pipe		
		3	Commscope	SBNHH-1D85B w/ Mount Pipe		
		2	CSS	X7C-665-2 w/ Mount Pipe		
		1	CSS	X7C-680-2 w/ Mount Pipe		
		3	Alcatel Lucent	B4 RRH2X60-4R		
		1	Raycap	RRFDC-3315-PF-48		
	130.0	1	Tower Mounts	Sector Mount [SM 702-3]		
122.0	122.0	3	JMA Wireless	MX08FRO665-21 w/ Mount Pipe	1	1-1/2
		3	Fujitsu	TA08025-B604		
		3	Fujitsu	TA08025-B605		
		1	Raycap	RDIDC-9181-PF-48		
		1	Tower Mounts	Commscope MTC3975083 (3)		
104.0	117.0	1	RFS Celwave	PD220-5	10 8	7/8 3/8
	116.0	1	Telewave	ANT150F6		
	114.0	1	Sinclair	SRL-210C-4		
	113.0	1	Decibel	DB540K-F		
	112.0	2	RFS Celwave	AO8610-5T0		
	107.0	1	Kathrein	K751221		
	106.0	2	Commscope	VHLPX4-11W-6WH/A		
		1	Telewave	ANT150F2		
		1	RFS Celwave	10191		
87.0	87.0	1	Scala	PR-950	1	1/2
		1	Tower Mounts	Side Arm Mount [SO 201-1]		

Mounting Level (ft)	Center Line Elevation (ft)	Number of Antennas	Antenna Manufacturer	Antenna Model	Number of Feed Lines	Feed Line Size (in)
71.0	73.0	1	Pctel	GPS-TMG-HR-26N	1	1/2
	71.0	1	Tower Mounts	Side Arm Mount [SO 601-1]		

3) ANALYSIS PROCEDURE

Table 3 - Documents Provided

Document	Reference	Source
Geotechnical Report	4287355	CCISites
Tower Foundation Drawings	4468581	CCISites
Tower Manufacturer Drawings	4287353	CCISites

3.1) Analysis Method

tnxTower (version 8.2.4.3), a commercially available analysis software package, was used to create a three-dimensional model of the tower and calculate member stresses for various loading cases. Selected output from the analysis is included in Appendix A. When applicable, Crown Castle has calculated and provided the effective area for panel antennas using approved methods following the intent of the TIA-222 Standard.

3.2) Assumptions

- 1) The tower and structures were maintained in accordance with the TIA-222 Standard.
- 2) The configuration of antennas, transmission cables, mounts and other appurtenances are as specified in Tables 1 and 2, and the referenced drawings.

This analysis may be affected if any assumptions are not valid or have been made in error. Tower Engineering Professionals should be notified to determine the effect on the structural integrity of the tower.

4) ANALYSIS RESULTS

Table 4 - Section Capacity (Summary)

Section No.	Elevation (ft)	Component Type	Size	Critical Element	P (k)	ϕP_{allow} (k)	% Capacity	Pass / Fail
T1	170 - 160	Leg	Sabre 3.5" x 0.216"	3	-6.51	86.63	7.5	Pass
T2	160 - 140	Leg	Sabre 4.5" x 0.438"	20	-30.15	210.88	14.3	Pass
T3	140 - 120	Leg	Sabre 6.625" x 0.432"	41	-76.25	360.25	21.2	Pass
T4	120 - 100	Leg	Sabre 8.625" x 0.5"	62	-135.39	569.81	23.8	Pass
T5	100 - 80	Leg	Sabre 10.750" x 0.500"	83	-200.68	702.09	28.6	Pass
T6	80 - 60	Leg	Sabre 12.75" x 0.5"	98	-272.40	859.49	31.7	Pass
T7	60 - 40	Leg	Sabre 16" x 0.5"	114	-344.68	1110.69	31.0	Pass
T8	40 - 20	Leg	Sabre 18" x 0.5"	129	-416.98	1263.53	33.0	Pass
T9	20 - 0	Leg	Sabre 18" x 0.5"	144	-468.47	1289.92	36.3	Pass
T1	170 - 160	Diagonal	L2x2x3/8	10	-3.76	18.11	20.7	Pass
T2	160 - 140	Diagonal	L3x3x3/8	25	-6.91	39.69	17.4	Pass

Section No.	Elevation (ft)	Component Type	Size	Critical Element	P (k)	ϕP_{allow} (k)	% Capacity	Pass / Fail
T3	140 - 120	Diagonal	L3 1/2x3 1/2x3/8	44	-10.66	51.32	20.8	Pass
T4	120 - 100	Diagonal	L3 1/2x3 1/2x1/2	65	-13.68	53.68	25.5	Pass
T5	100 - 80	Diagonal	L5x5x1/2	86	-19.04	105.47	18.0	Pass
T6	80 - 60	Diagonal	L5x5x5/8	104	-20.36	116.35	17.5	Pass
T7	60 - 40	Diagonal	L5x5x5/8	119	-21.82	101.34	21.5	Pass
T8	40 - 20	Diagonal	L5x5x5/8	134	-23.89	87.43	27.3	Pass
T9	20 - 0	Diagonal	L5x5x5/8	160	-31.52	125.99	25.0	Pass
T9	20 - 0	Horizontal	2L3 1/2x3 1/2x1/4x3/8	159	-22.76	55.96	40.7	Pass
T1	170 - 160	Top Girt	L2 1/2x2 1/2x3/16	4	-0.14	8.38	1.6	Pass
T9	20 - 0	Redund Horz 1 Bracing	L3x3x5/16	157	-8.12	41.40	19.6	Pass
T9	20 - 0	Redund Diag 1 Bracing	L3x3x1/4	158	-5.16	25.96	19.9	Pass
T9	20 - 0	Inner Bracing	L3x3x3/16	167	-0.03	5.61	0.8	Pass
							Summary	
						Leg (T9)	36.3	Pass
						Diagonal (T8)	27.3	Pass
						Horizontal (T9)	40.7	Pass
						Top Girt (T1)	1.6	Pass
						Redund Horz 1 Bracing (T9)	19.6	Pass
						Redund Diag 1 Bracing (T9)	19.9	Pass
						Inner Bracing (T9)	0.8	Pass
						Bolt Checks	70.4	Pass
						RATING =	70.4	Pass

Table 5 - Tower Component Stresses vs. Capacity - LC7

Notes	Component	Elevation (ft)	% Capacity	Pass / Fail
1,2	Anchor Rods	-	27.0	Pass
1,2	Base Foundation Structural	-	6.3	Pass
1,2	Base Foundation Soil Interaction	-	42.2	Pass

Structure Rating (max from all components) =	70.4%
---	--------------

Notes:

- 1) See additional documentation in "Appendix C - Additional Calculations" for calculations supporting the % capacity listed.
- 2) Rating per TIA-222-H Section 15.5

4.1) Recommendations

- 1) The tower and its foundation have sufficient capacity to carry the proposed load configuration. No modifications are required at this time.

T-Mobile

BUSINESS UNIT #: 841273
SITE ADDRESS: 344 ROUTE 6
 NORTH TRURO, MA 02652
COUNTY: BARNSTABLE
SITE TYPE: SELF SUPPORT TOWER
TOWER HEIGHT: 170'-0"

T-Mobile



P. MARSHALL & ASSOCIATES
3545 WHITEHALL PARK DRIVE, SUITE 450
CHARLOTTE, NORTH CAROLINA 28273

T-MOBILE SITE NUMBER:
4HY0568A

BU #: 841273
CROWN CASTLE SITE
NAME:
TRURO

344 ROUTE 6
NORTH TRURO, MA 02652

EXISTING 170'-0" SELF
SUPPORT TOWER

ISSUED FOR:				
REV	DATE	DRWN	DESCRIPTION	DES./QA
0	05/17/2024	JS	FINAL	JS
1	06/13/2024	JS	FINAL	JS
2	06/28/2024	JS	FINAL	JS
3	07/16/2024	JS	CABLE ROUTING	JS

ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

<u>CODE TYPE</u>	<u>CODE</u>
BUILDING	2015 IBC
MECHANICAL	2015 IMC
ELECTRICAL	2017 NEC

STRUCTURAL ANALYSIS: TOWER ENGINEERING PROFESSIONALS
DATED: 5/10/2024
MOUNT ANALYSIS: ENGINEERED TOWER SOLUTIONS
DATED: 4/26/2024
RFDS REVISION: 7
DATED: 4/15/2024
ORDER ID: 661717
REVISION: 0

NO PROPOSED LOADING TO BE ADDED
UNTIL MOUNT MODIFICATIONS ARE INSTALLED
PER MOUNT ANALYSIS BY ENGINEERED
TOWER SOLUTIONS DATED 4/26/2024.

IT IS A VIOLATION OF LAW FOR ANY PERSON,
UNLESS THEY ARE ACTING UNDER THE DIRECTION
OF A LICENSED PROFESSIONAL ENGINEER,
TO ALTER THIS DOCUMENT.

SHEET NUMBER:

T-1

REVISION

3

DRAWING INDEX

[illegible]

ALL DRAWINGS CONTAINED HEREIN ARE FORMATTED FOR 22X34.
CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS
AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY
THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE
PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.



CALL MASSACHUSETTS
ONE CALL
(888) 344-7233
CALL 3 WORKING DAYS
BEFORE YOU DIG!



THE PURPOSE OF THIS PROJECT IS TO ENHANCE BROADBAND CONNECTIVITY AND CAPACITY TO THE EXISTING ELIGIBLE WIRELESS FACILITY.

- REMOVE (3) ERICSSON - AIR21_KRC118023/1_B2P_B4A (QUAD) ANTENNA
- REMOVE (3) ERICSSON - RRUS11 B2 RADIO
- REMOVE (3) RFS - TWIN STYLE 1A - ATM190 0D- 1A20 TMA
- REMOVE (4) ANDREW - LDF5-50A CABLE
- REMOVE (1) HUBER AND SUHNER - MLE HYBRID 3POWER/6FIBER RL 2 CABLE CABLE
- RELOCATE (3) RFS/CELWAVE - APXVAAL124_43-U-NA20 (OCTO) ANTENNA
- RELOCATE (3) ERICSSON - RADIO 4449 B71+B85 RADIO
- INSTALL MOUNT MODIFICATIONS PER MOUNT ANALYSIS
- INSTALL (3) ERICSSON - AIR 6419 B41 (ACTIVE ANTENNA - MASSIVE MIMO) ANTENNA
- INSTALL (3) RFS/CELWAVE - APXVLL19P_43-C-A20 (QUAD) ANTENNA
- INSTALL (3) ERICSSON - RADIO 4460 B25+B66 RADIO
- INSTALL (3) RFS/CELWAVE - HB15821 U6S24- XXM_TMO CABLE

- REMOVE (1) ERICSSON - RBS 2106 ENCLOSURE
- REMOVE (1) ERICSSON - RBS 6131 ENCLOSURE
- REMOVE (1) ±6'-2" CABLE TRAY
- INSTALL (1) ERICSSON - ENCLOSURE 6160_V2 AC ENCLOSURE
- INSTALL (1) ERICSSON - B160 ENCLOSURE
- INSTALL (1) NEMA 3R RATED SLACK BOX
- INSTALL (1) LED LIGHT
- INSTALL (1) ±5'-0" ICE BRIDGE

PROJECT TEAM

A&E FIRM:	P. MARSHALL & ASSOCIATES, LLC 3545 WHITEHALL PARK DRIVE, SUITE 450 CHARLOTTE, NC 28273 PATRICK W. MARSHALL, P.E. 678-280-2325
CROWN CASTLE USA INC. DISTRICT CONTACTS:	8020 KATY FREEWAY HOUSTON, TX 77024 TRICIA PELON - PROJECT MANAGER TRICIA.PELON@CROWNCastle.COM DANIEL ANDERSON - AES DANIEL.ANDERSON@CROWNCastle.COM

PRIOR TO ACCESSING/ENTERING THE SITE YOU MUST CONTACT THE CROWN NOC AT (800) 788-7011 & CROWN CONSTRUCTION MANAGER.

METER AND DISCONNECT: 200A 120/240V~1PH
PPC: NORTHERN TECHNOLOGIES 200A 120/240V~1PH, FAULT CURRENT
RATING 10kA, 200A GENERATOR PLUG, 200A MAXIMUM BRANCH CIRCUIT
SIZE & 24 AC BREAKER POSITIONS.

TEMPLATENAME_DATEOFGENERATION

CROWN CASTLE USA INC. SITE ACTIVITY REQUIREMENTS:

1. NOTICE TO PROCEED-- NO WORK SHALL COMMENCE PRIOR TO CROWN CASTLE USA INC. WRITTEN NOTICE TO PROCEED (NTP) AND THE ISSUANCE OF A PURCHASE ORDER. PRIOR TO ACCESSING/ENTERING THE SITE YOU MUST CONTACT THE CROWN CASTLE USA INC. NOC AT 800-788-7011 & THE CROWN CASTLE USA INC. CONSTRUCTION MANAGER.
2. "LOOK UP" - CROWN CASTLE USA INC. SAFETY CLIMB REQUIREMENT:
THE INTEGRITY OF THE SAFETY CLIMB AND ALL COMPONENTS OF THE CLIMBING FACILITY SHALL BE CONSIDERED DURING ALL STAGES OF DESIGN, INSTALLATION, AND INSPECTION. TOWER MODIFICATION, MOUNT REINFORCEMENTS, AND/OR EQUIPMENT INSTALLATIONS SHALL NOT COMPROMISE THE INTEGRITY OR FUNCTIONAL USE OF THE SAFETY CLIMB OR ANY COMPONENTS OF THE CLIMBING FACILITY ON THE STRUCTURE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: PINCHING OF THE WIRE ROPE, BENDING OF THE WIRE ROPE FROM ITS SUPPORTS, DIRECT CONTACT OR CLOSE PROXIMITY TO THE WIRE ROPE WHICH MAY CAUSE FRICTIONAL WEAR, IMPACT TO THE ANCHORAGE POINTS IN ANY WAY, OR TO IMPEDE/BLOCK ITS INTENDED USE. ANY COMPROMISED SAFETY CLIMB, INCLUDING EXISTING CONDITIONS MUST BE TAGGED OUT AND REPORTED TO YOUR CROWN CASTLE USA INC. POC OR CALL THE NOC TO GENERATE A SAFETY CLIMB MAINTENANCE AND CONTRACTOR NOTICE TICKET.
3. PRIOR TO THE START OF CONSTRUCTION, ALL REQUIRED JURISDICTIONAL PERMITS SHALL BE OBTAINED. THIS INCLUDES, BUT IS NOT LIMITED TO, BUILDING, ELECTRICAL, MECHANICAL, FIRE, FLOOD ZONE, ENVIRONMENTAL, AND ZONING. AFTER ONSITE ACTIVITIES AND CONSTRUCTION ARE COMPLETED, ALL REQUIRED PERMITS SHALL BE SATISFIED AND CLOSED OUT ACCORDING TO LOCAL JURISDICTIONAL REQUIREMENTS.
4. ALL CONSTRUCTION MEANS AND METHODS: INCLUDING BUT NOT LIMITED TO, ERECTION PLANS, RIGGING PLANS, CLIMBING PLANS, AND RESCUE PLANS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR RESPONSIBLE FOR THE EXECUTION OF THE WORK CONTAINED HEREIN, AND SHALL MEET ANSI/ASSE A10.48 (LATEST EDITION); FEDERAL, STATE, AND LOCAL REGULATIONS; AND ANY APPLICABLE INDUSTRY CONSENSUS STANDARDS RELATED TO THE CONSTRUCTION ACTIVITIES BEING PERFORMED. ALL RIGGING PLANS SHALL ADHERE TO ANSI/ASSE A10.48 (LATEST EDITION) AND CROWN CASTLE USA INC. STANDARD CED--STD--10253, INCLUDING THE REQUIRED INVOLVEMENT OF A QUALIFIED ENGINEER FOR CLASS IV CONSTRUCTION, TO CERTIFY THE SUPPORTING STRUCTURE(S) IN ACCORDANCE WITH ANSI/TIA--322 (LATEST EDITION).
5. ALL SITE WORK TO COMPLY WITH QAS--STD--10068 "INSTALLATION STANDARDS FOR CONSTRUCTION ACTIVITIES ON CROWN CASTLE USA INC. TOWER SITE," CED--STD--10294 "STANDARD FOR INSTALLATION OF MOUNTS AND APPURTENANCES," AND LATEST VERSION OF ANSI/TIA--1019-A--2012 "STANDARD FOR INSTALLATION, ALTERATION, AND MAINTENANCE OF ANTENNA SUPPORTING STRUCTURES AND ANTENNAS."
6. IF THE SPECIFIED EQUIPMENT CAN NOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY CROWN CASTLE USA INC. PRIOR TO PROCEEDING WITH ANY SUCH CHANGE OF INSTALLATION.
7. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, REGULATIONS, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
8. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
9. THE CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION.
10. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY CONTRACTOR. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS WILL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION B) CONFINED SPACE C) ELECTRICAL SAFETY D) TRENCHING AND EXCAVATION E) CONSTRUCTION SAFETY PROCEDURES
11. ALL SITE WORK SHALL BE AS INDICATED ON THE STAMPED CONSTRUCTION DRAWINGS AND PROJECT SPECIFICATIONS, LATEST APPROVED REVISION.
12. CONTRACTOR SHALL KEEP THE SITE FREE FROM ACCUMULATING WASTE MATERIAL, DEBRIS, AND TRASH AT THE COMPLETION OF THE WORK. IF NECESSARY, RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
13. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF CONTRACTOR, TOWER OWNER, CROWN CASTLE USA INC., AND/OR LOCAL UTILITIES.
14. THE CONTRACTOR SHALL PROVIDE SITE SIGNAGE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATION FOR SITE SIGNAGE REQUIRED BY LOCAL JURISDICTION AND SIGNAGE REQUIRED ON INDIVIDUAL PIECES OF EQUIPMENT, ROOMS, AND SHELTERS.
15. THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE CARRIER'S EQUIPMENT AND TOWER AREAS.
16. THE SUB GRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
17. THE AREAS OF THE OWNERS PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, AND STABILIZED TO PREVENT EROSION AS SPECIFIED ON THE CONSTRUCTION DRAWINGS AND/OR PROJECT SPECIFICATIONS.
18. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL.
19. THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF OWNER.
20. CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
21. CONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION. TRASH AND DEBRIS SHOULD BE REMOVED FROM SITE ON A DAILY BASIS.
22. NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.

GREENFIELD GROUNDING NOTES:

1. ALL GROUND ELECTRODE SYSTEMS (INCLUDING TELECOMMUNICATION, RADIO, LIGHTNING PROTECTION AND AC POWER GES'S) SHALL BE BONDED TOGETHER AT OR BELOW GRADE, BY TWO OR MORE COPPER BONDING CONDUCTORS IN ACCORDANCE WITH THE NEC.
2. THE CONTRACTOR SHALL PERFORM IEEE FALL-OF-POTENTIAL RESISTANCE TO EARTH TESTING (PER IEEE 1100 AND 81) FOR GROUND ELECTRODE SYSTEMS, THE CONTRACTOR SHALL FURNISH AND INSTALL SUPPLEMENTAL GROUND ELECTRODES AS NEEDED TO ACHIEVE A TEST RESULT OF 5 OHMS OR LESS.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY SEQUENCING GROUNDING AND UNDERGROUND CONDUIT INSTALLATION AS TO PREVENT ANY LOSS OF CONTINUITY IN THE GROUNDING SYSTEM OR DAMAGE TO THE CONDUIT AND PROVIDE TESTING RESULTS.
4. METAL CONDUIT AND TRAY SHALL BE GROUNDED AND MADE ELECTRICALLY CONTINUOUS WITH LISTED BONDING FITTINGS OR BY BONDING ACROSS THE DISCONTINUITY WITH #6 COPPER WIRE UL APPROVED GROUNDING TYPE CONDUIT CLAMPS.
5. METAL RACEWAY SHALL NOT BE USED AS THE NEC REQUIRED EQUIPMENT GROUND CONDUCTOR. STRANDED COPPER CONDUCTORS WITH GREEN INSULATION, SIZED IN ACCORDANCE WITH THE NEC, SHALL BE FURNISHED AND INSTALLED WITH THE POWER CIRCUITS TO BTS EQUIPMENT.
6. EACH CABINET FRAME SHALL BE DIRECTLY CONNECTED TO THE MASTER GROUND BAR WITH GREEN INSULATED SUPPLEMENTAL EQUIPMENT GROUND WIRES, #6 STRANDED COPPER OR LARGER FOR INDOOR BTS; #2 BARE SOLID TINNED COPPER FOR OUTDOOR BTS.
7. CONNECTIONS TO THE GROUND BUS SHALL NOT BE DOUBLED UP OR STACKED BACK TO BACK CONNECTIONS ON OPPOSITE SIDE OF THE GROUND BUS ARE PERMITTED.
8. ALL EXTERIOR GROUND CONDUCTORS BETWEEN EQUIPMENT/GROUND BARS AND THE GROUND RING SHALL BE #2 SOLID TINNED COPPER UNLESS OTHERWISE INDICATED.
9. ALUMINUM CONDUCTOR OR COPPER CLAD STEEL CONDUCTOR SHALL NOT BE USED FOR GROUNDING CONNECTIONS.
10. USE OF 90° BENDS IN THE PROTECTION GROUNDING CONDUCTORS SHALL BE AVOIDED WHEN 45° BENDS CAN BE ADEQUATELY SUPPORTED.
11. EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE.
12. ALL GROUND CONNECTIONS ABOVE GRADE (INTERIOR AND EXTERIOR) SHALL BE FORMED USING HIGH PRESS CRIMPS.
13. COMPRESSION GROUND CONNECTIONS MAY BE REPLACED BY EXOTHERMIC WELD CONNECTIONS.
14. ICE BRIDGE BONDING CONDUCTORS SHALL BE EXOTHERMICALLY BONDED OR BOLTED TO THE BRIDGE AND THE TOWER GROUND BAR.
15. APPROVED ANTIOXIDANT COATINGS (i.e. CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS.
16. ALL EXTERIOR GROUND CONNECTIONS SHALL BE COATED WITH A CORROSION RESISTANT MATERIAL.
17. MISCELLANEOUS ELECTRICAL AND NON-ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO THE GROUND RING, IN ACCORDANCE WITH THE NEC.
18. BOND ALL METALLIC OBJECTS WITHIN 6 ft. OF MAIN GROUND RING WITH (1) #2 BARE SOLID TINNED COPPER GROUND CONDUCTOR.
19. GROUND CONDUCTORS USED FOR THE FACILITY GROUNDING AND LIGHTNING PROTECTION SYSTEMS SHALL NOT BE ROUTED THROUGH METALLIC OBJECTS THAT FORM A RING AROUND THE CONDUCTOR, SUCH AS METALLIC CONDUITS, METAL SUPPORT CLIPS OR SLEEVES THROUGH WALLS OR DOORS WHEN IT IS REQUIRED TO BE HOUSED IN CONDUIT TO MEET CODE REQUIREMENTS OR LOCAL CONDITIONS. NON-METALLIC MATERIAL, SUCH AS PVC CONDUIT SHALL BE USED, WHERE USE OF METAL CONDUIT IS UNAVOIDABLE (i.e., NONMETALLIC CONDUIT PROHIBITED BY LOCAL CODE) THE GROUND CONDUCTOR SHALL BE BONDED TO EACH END OF THE METAL CONDUIT.
20. ALL GROUNDS THAT TRANSITION FROM BELOW GRADE TO ABOVE GRADE MUST BE #2 BARE SOLID TINNED COPPER IN 3/4" NON-METALLIC, FLEXIBLE CONDUIT FROM 24" BELOW GRADE TO WITHIN 3" TO 6" OF CAD--WELD TERMINATION POINT. THE EXPOSED END OF THE CONDUIT MUST BE SEALED WITH SILICONE CAULK. (ADD TRANSITIONING GROUND STANDARD DETAIL AS WELL.)
21. BUILDINGS WHERE THE MAIN GROUNDING CONDUCTORS ARE REQUIRED TO BE ROUTED TO GRADE, THE CONTRACTOR SHALL ROUTE TWO GROUNDING CONDUCTORS FROM THE ROOFTOP, TOWERS, AND WATER TOWERS GROUNDING RING, TO THE EXISTING GROUNDING SYSTEM, THE GROUNDING CONDUCTORS SHALL NOT BE SMALLER THAN 2/0 COPPER. ROOFTOP GROUNDING RING SHALL BE BONDED TO THE EXISTING GROUNDING SYSTEM, THE BUILDING STEEL COLUMNS, LIGHTNING PROTECTION SYSTEM, AND BUILDING MAIN WATER LINE (FERROUS OR NONFERROUS METAL PIPING ONLY).

GENERAL NOTES:

1. FOR THE PURPOSE OF CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY:
CONTRACTOR: GENERAL CONTRACTOR RESPONSIBLE FOR CONSTRUCTION
CARRIER: T-MOBILE
TOWER OWNER: CROWN CASTLE USA INC.
2. THESE DRAWINGS HAVE BEEN PREPARED USING STANDARDS OF PROFESSIONAL CARE AND COMPLETENESS NORMALLY EXERCISED UNDER SIMILAR CIRCUMSTANCES BY REPUTABLE ENGINEERS IN THIS OR SIMILAR LOCALITIES. IT IS ASSUMED THAT THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKPEOPLE WHO HAVE A WORKING KNOWLEDGE OF THE APPLICABLE CODE STANDARDS AND REQUIREMENTS AND OF INDUSTRY ACCEPTED STANDARD GOOD PRACTICE. AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL USE INDUSTRY ACCEPTED STANDARD GOOD PRACTICE FOR MISCELLANEOUS WORK NOT EXPLICITLY SHOWN.
3. THESE DRAWINGS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE MEANS OR METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY FOR PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, BRACING, FORMWORK, SHORING, ETC. SITE VISITS BY THE ENGINEER OR HIS REPRESENTATIVE WILL NOT INCLUDE INSPECTION OF THESE ITEMS AND IS FOR STRUCTURAL OBSERVATION OF THE FINISHED STRUCTURE ONLY.
4. NOTES AND DETAILS IN THE CONSTRUCTION DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT, AND/OR AS PROVIDED FOR IN THE CONTRACT DOCUMENTS. WHERE DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, GENERAL NOTES, AND SPECIFICATIONS, THE GREATER, MORE STRICT REQUIREMENTS, SHALL GOVERN. IF FURTHER CLARIFICATION IS REQUIRED CONTACT THE ENGINEER OF RECORD.
5. SUBSTANTIAL EFFORT HAS BEEN MADE TO PROVIDE ACCURATE DIMENSIONS AND MEASUREMENTS ON THE DRAWINGS TO ASSIST IN THE FABRICATION AND/OR PLACEMENT OF CONSTRUCTION ELEMENTS BUT IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE DIMENSIONS, MEASUREMENTS, AND/OR CLEARANCES SHOWN IN THE CONSTRUCTION DRAWINGS PRIOR TO FABRICATION OR CUTTING OF ANY NEW OR EXISTING CONSTRUCTION ELEMENTS. IF IT IS DETERMINED THAT THERE ARE DISCREPANCIES AND/OR CONFLICTS WITH THE CONSTRUCTION DRAWINGS THE ENGINEER OF RECORD IS TO BE NOTIFIED AS SOON AS POSSIBLE.
6. PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING CONTRACTOR SHALL VISIT THE CELL SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF CROWN CASTLE.
7. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
8. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
9. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
10. IF THE SPECIFIED EQUIPMENT CAN NOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE CARRIER AND CROWN CASTLE PRIOR TO PROCEEDING WITH ANY SUCH CHANGE OF INSTALLATION.
11. CONTRACTOR IS TO PERFORM A SITE INVESTIGATION AND IS TO DETERMINE THE BEST ROUTING OF ALL CONDUITS FOR POWER, AND TELCO AND FOR GROUNDING CABLES AS SHOWN IN THE POWER, TELCO, AND GROUNDING PLAN DRAWINGS.
12. THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF CROWN CASTLE USA INC.
13. CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
14. CONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION. TRASH AND DEBRIS SHOULD BE REMOVED FROM SITE ON A DAILY BASIS.

CONCRETE, FOUNDATIONS, AND REINFORCING STEEL:

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336, ASTM A184, ASTM A185 AND THE DESIGN AND CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
2. UNLESS NOTED OTHERWISE, SOIL BEARING PRESSURE USED FOR DESIGN OF SLABS AND FOUNDATIONS IS ASSUMED TO BE 1000 psf.
3. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (f'c) OF 3000 psi AT 28 DAYS, UNLESS NOTED OTHERWISE. NO MORE THAN 90 MINUTES SHALL ELAPSE FROM BATCH TIME TO TIME OF PLACEMENT UNLESS APPROVED BY THE ENGINEER OF RECORD. TEMPERATURE OF CONCRETE SHALL NOT EXCEED 90° AT TIME OF PLACEMENT.
4. CONCRETE EXPOSED TO FREEZE--THAW CYCLES SHALL CONTAIN AIR ENTRAINING ADMIXTURES. AMOUNT OF AIR ENTRAINMENT TO BE BASED ON SIZE OF AGGREGATE AND F3 CLASS EXPOSURE (VERY SEVERE). CEMENT USED TO BE TYPE II PORTLAND CEMENT WITH A MAXIMUM WATER--TO--CEMENT RATIO (W/C) OF 0.45.
5. ALL STEEL REINFORCING SHALL CONFORM TO ASTM A615. ALL WELDED WIRE FABRIC (WWF) SHALL CONFORM TO ASTM A185. ALL SPLICES SHALL BE CLASS "B" TENSION SPLICES, UNLESS NOTED OTHERWISE. ALL HOOKS SHALL BE STANDARD 90 DEGREE HOOKS, UNLESS NOTED OTHERWISE. YIELD STRENGTH (Fy) OF STANDARD DEFORMED BARS ARE AS FOLLOWS:
#4 BARS AND SMALLER..... 40 ksi
#5 BARS AND LARGER..... 60 ksi
6. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:
CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH..... 3"
CONCRETE EXPOSED TO EARTH OR WEATHER:
#6 BARS AND LARGER..... 2"
#5 BARS AND SMALLER..... 1-1/2"
CONCRETE NOT EXPOSED TO EARTH OR WEATHER:
SLAB AND WALLS..... 3/4"
BEAMS AND COLUMNS..... 1-1/2"
7. A TOOLED EDGE OR A 3/4" CHAMFER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, UNLESS NOTED OTHERWISE, IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.

ELECTRICAL INSTALLATION NOTES:

1. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, NEC AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES/ORDINANCES.
2. CONDUIT ROUTINGS ARE SCHEMATIC. CONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO EQUIPMENT IS NOT BLOCKED AND TRIP HAZARDS ARE ELIMINATED.
3. WIRING, RACEWAY AND SUPPORT METHODS AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE NEC.
4. ALL CIRCUITS SHALL BE SEGREGATED AND MAINTAIN MINIMUM CABLE SEPARATION AS REQUIRED BY THE NEC.
- 4.1. ALL EQUIPMENT SHALL BEAR THE UNDERWRITERS LABORATORIES LABEL OF APPROVAL, AND SHALL CONFORM TO REQUIREMENT OF THE NATIONAL ELECTRICAL CODE.
- 4.2. ALL OVERCURRENT DEVICES SHALL HAVE AN INTERRUPTING CURRENT RATING THAT SHALL BE GREATER THAN THE SHORT CIRCUIT CURRENT TO WHICH THEY ARE SUBJECTED, 22,000 AIC MINIMUM. VERIFY AVAILABLE SHORT CIRCUIT CURRENT DOES NOT EXCEED THE RATING OF ELECTRICAL EQUIPMENT IN ACCORDANCE WITH ARTICLE 110.24 NEC OR THE MOST CURRENT ADOPTED CODE PRE THE GOVERNING JURISDICTION.
5. EACH END OF EVERY POWER PHASE CONDUCTOR, GROUNDING CONDUCTOR, AND TELCO CONDUCTOR OR CABLE SHALL BE LABELED WITH COLOR--CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, 1/2" PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL). THE IDENTIFICATION METHOD SHALL CONFORM WITH NEC AND OSHA.
6. ALL ELECTRICAL COMPONENTS SHALL BE CLEARLY LABELED WITH LAMICOID TAGS SHOWING THEIR RATED VOLTAGE, PHASE CONFIGURATION, WIRE CONFIGURATION, POWER OR AMPACITY RATING AND BRANCH CIRCUIT ID NUMBERS (i.e. PANEL BOARD AND CIRCUIT IDS).
7. PANEL BOARDS (ID NUMBERS) SHALL BE CLEARLY LABELED WITH PLASTIC LABELS.
8. ALL TIE WRAPS SHALL BE CUT FLUSH WITH APPROVED CUTTING TOOL TO REMOVE SHARP EDGES.
9. ALL POWER AND EQUIPMENT GROUND WIRING IN TUBING OR CONDUIT SHALL BE SINGLE COPPER CONDUCTOR (#14 OR LARGER) WITH TYPE THHW, THWN, THWN--2, XHHW, XHHW--2, THW, THW--2, RHW, OR RHW--2 INSULATION UNLESS OTHERWISE SPECIFIED.
10. SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED INDOORS SHALL BE SINGLE COPPER CONDUCTOR (#6 OR LARGER) WITH TYPE THHW, THWN, THWN--2, XHHW, XHHW--2, THW, THW--2, RHW, OR RHW--2 INSULATION UNLESS OTHERWISE SPECIFIED.
11. POWER AND CONTROL WIRING IN FLEXIBLE CORD SHALL BE MULTI--CONDUCTOR, TYPE SOOW CORD (#14 OR LARGER) UNLESS OTHERWISE SPECIFIED.
12. POWER AND CONTROL WIRING FOR USE IN CABLE TRAY SHALL BE MULTI--CONDUCTOR, TYPE TC CABLE (#14 OR LARGER), WITH TYPE THHW, THWN, THWN--2, XHHW, XHHW--2, THW, THW--2, RHW, OR RHW--2 INSULATION UNLESS OTHERWISE SPECIFIED.
13. ALL POWER AND GROUNDING CONNECTIONS SHALL BE CRIMP--STYLE, COMPRESSION WIRE LUGS AND WIRE NUTS BY THOMAS AND BETTS (OR EQUAL). LUGS AND WIRE NUTS SHALL BE RATED FOR OPERATION NOT LESS THAN 75° C (90° C IF AVAILABLE).
14. RACEWAY AND CABLE TRAY SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE AND NEC.
15. ELECTRICAL METALLIC TUBING (EMT), INTERMEDIATE METAL CONDUIT (IMC), OR RIGID METAL CONDUIT (RMC) SHALL BE USED FOR EXPOSED INDOOR LOCATIONS.
16. ELECTRICAL METALLIC TUBING (EMT) OR METAL--CLAD CABLE (MC) SHALL BE USED FOR CONCEALED INDOOR LOCATIONS.
17. UNDERGROUND CONDUIT SHALL BE SCHEDULE 40 PVC ON STRAIGHTS AND SCHEDULE 80 PVC UNDER ALL TRAFFIC EASEMENTS AND ALL ELBOWS/90s. ABOVE GRADE CONDUIT TO BE SCH 80 PVC OR IMC/RMC CONDUIT. EMT IS ALLOWED AT STUB UP LOCATIONS AND INDOORS ONLY.
18. LIQUID--TIGHT FLEXIBLE METALLIC CONDUIT (LIQUID--TITE FLEX) SHALL BE USED INDOORS AND OUTDOORS, WHERE VIBRATION OCCURS OR FLEXIBILITY IS NEEDED.
19. CONDUIT AND TUBING FITTINGS SHALL BE THREADED OR COMPRESSION--TYPE AND APPROVED FOR THE LOCATION USED. SET SCREW FITTINGS ARE NOT ACCEPTABLE.
20. CABINETS, BOXES AND WIRE WAYS SHALL BE LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE AND THE NEC.
21. WIREWAYS SHALL BE METAL WITH AN ENAMEL FINISH AND INCLUDE A HINGED COVER, DESIGNED TO SWING OPEN DOWNWARDS (WIREMOLD SPECIMATE WIREWAY).
22. SLOTTED WIRING DUCT SHALL BE PVC AND INCLUDE COVER (PANDUIT TYPE E OR EQUAL).
23. CONDUITS SHALL BE FASTENED SECURELY IN PLACE WITH APPROVED NON--PERFORATED STRAPS AND HANGERS. EXPLOSIVE DEVICES (i.e. POWDER--ACTUATED) FOR ATTACHING HANGERS TO STRUCTURE WILL NOT BE PERMITTED. CLOSELY FOLLOW THE LINES OF THE STRUCTURE, MAINTAIN CLOSE PROXIMITY TO THE STRUCTURE AND KEEP CONDUITS IN TIGHT ENVELOPES. CHANGES IN DIRECTION TO ROUTE AROUND OBSTACLES SHALL BE MADE WITH CONDUIT OUTLET BODIES. CONDUIT SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER. PARALLEL AND PERPENDICULAR TO STRUCTURE WALL AND CEILING LINES. ALL CONDUIT SHALL BE PROTECTED TO CLEAR OBSTRUCTIONS. ENDS OF CONDUITS SHALL BE TEMPORARILY CAPPED FLUSH TO FINISH GRADE TO PREVENT CONCRETE, PLASTER OR DIRT FROM ENTERING. CONDUITS SHALL BE RIGIDLY CLAMPED TO BOXES BY GALVANIZED MALLEABLE IRON BUSHING ON INSIDE AND GALVANIZED MALLEABLE IRON LOCKNUT ON OUTSIDE AND INSIDE.
24. EQUIPMENT CABINETS, TERMINAL BOXES, JUNCTION BOXES AND PULL BOXES SHALL BE GALVANIZED OR EPOXY--COATED SHEET STEEL. SHALL MEET OR EXCEED UL 50 AND BE RATED NEMA 1 (OR BETTER) FOR INTERIOR LOCATIONS AND NEMA 3R (OR BETTER) FOR EXTERIOR LOCATIONS.
25. METAL RECEPTACLE, SWITCH AND DEVICE BOXES SHALL BE GALVANIZED, EPOXY--COATED OR NON--CORRODING; SHALL MEET OR EXCEED UL 514A AND NEMA OS 1 AND BE RATED NEMA 1 (OR BETTER) FOR INTERIOR LOCATIONS AND WEATHER PROTECTED (WP OR BETTER) FOR EXTERIOR LOCATIONS.
26. NONMETALLIC RECEPTACLE, SWITCH AND DEVICE BOXES SHALL MEET OR EXCEED NEMA OS 2 (NEWEST REVISION) AND BE RATED NEMA 1 (OR BETTER) FOR INTERIOR LOCATIONS AND WEATHER PROTECTED (WP OR BETTER) FOR EXTERIOR LOCATIONS.
27. THE CONTRACTOR SHALL NOTIFY AND OBTAIN NECESSARY AUTHORIZATION FROM THE CARRIER AND/OR CROWN CASTLE USA INC. BEFORE COMMENCING WORK ON THE AC POWER DISTRIBUTION PANELS.
28. THE CONTRACTOR SHALL PROVIDE NECESSARY TAGGING ON THE BREAKERS, CABLES AND DISTRIBUTION PANELS IN ACCORDANCE WITH THE APPLICABLE CODES AND STANDARDS TO SAFEGUARD LIFE AND PROPERTY.
29. INSTALL LAMICOID LABEL ON THE METER CENTER TO SHOW "T-MOBILE".
30. ALL EMPTY/SPARE CONDUITS THAT ARE INSTALLED ARE TO HAVE A METERED MULE TAPE PULL CORD INSTALLED.

CONDUCTOR COLOR CODE		
SYSTEM	CONDUCTOR	COLOR
120/240V, 1Ø	A PHASE	BLACK
	B PHASE	RED
	NEUTRAL	WHITE
	GROUND	GREEN
120/208V, 3Ø	A PHASE	BLACK
	B PHASE	RED
	C PHASE	BLUE
	NEUTRAL	WHITE
277/480V, 3Ø	A PHASE	BLACK
	B PHASE	RED
	C PHASE	YELLOW
	NEUTRAL	GREY
DC VOLTAGE	GROUND	GREEN
	POS (+)	RED**
	NEG (-)	BLACK**

- * SEE NEC 210.5(C)(1) AND (2)
** POLARITY MARKED AT TERMINATION

ABBREVIATIONS:

ANT	ANTENNA
(E)	EXISTING
FIF	FACILITY INTERFACE FRAME
GEN	GENERATOR
GPS	GLOBAL POSITIONING SYSTEM
GSM	GLOBAL SYSTEM FOR MOBILE
LTE	LONG TERM EVOLUTION
MGB	MASTER GROUND BAR
MW	MICROWAVE
(N)	NEW
NEC	NATIONAL ELECTRIC CODE
(P)	PROPOSED
PP	POWER PLANT
QTY	QUANTITY
RECT	RECTIFIER
RBS	RADIO BASE STATION
RET	REMOTE ELECTRIC TILT
RFDS	RADIO FREQUENCY DATA SHEET
RRH	REMOTE RADIO HEAD
RRU	REMOTE RADIO UNIT
SIAD	SMART INTEGRATED DEVICE
TMA	TOWER MOUNTED AMPLIFIER
TYT	TYPICAL
UMTS	UNIVERSAL MOBILE TELECOMMUNICATIONS SYSTEM
W.P.	WORK POINT

T Mobile

CC CROWN CASTLE

PM&A

P. MARSHALL & ASSOCIATES

3545 WHITEHALL PARK DRIVE, SUITE 450
CHARLOTTE, NORTH CAROLINA 28273

T-MOBILE SITE NUMBER:
4HY0568A

BU #: 841273
CROWN CASTLE SITE
NAME:
TRURO

344 ROUTE 6
NORTH TRURO, MA 02652

EXISTING 170'-0" SELF
SUPPORT TOWER

ISSUED FOR:				
REV	DATE	DRWN	DESCRIPTION	DES./QA
0	05/17/2024	JS	FINAL	JS



IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

SHEET NUMBER:
T-2
REVISION:
0

EQUIPMENT LEGEND:

EXISTING

TO BE RELOCATED/REMOVED

NEW/RELOCATED



PM&A
P. MARSHALL & ASSOCIATES
3545 WHITEHALL PARK DRIVE, SUITE 450
CHARLOTTE, NORTH CAROLINA 28273

T-MOBILE SITE NUMBER:
4HY0568A

BU #: **841273**
CROWN CASTLE SITE
NAME:
TRURO

344 ROUTE 6
NORTH TRURO, MA 02652

EXISTING 170'-0" SELF
SUPPORT TOWER

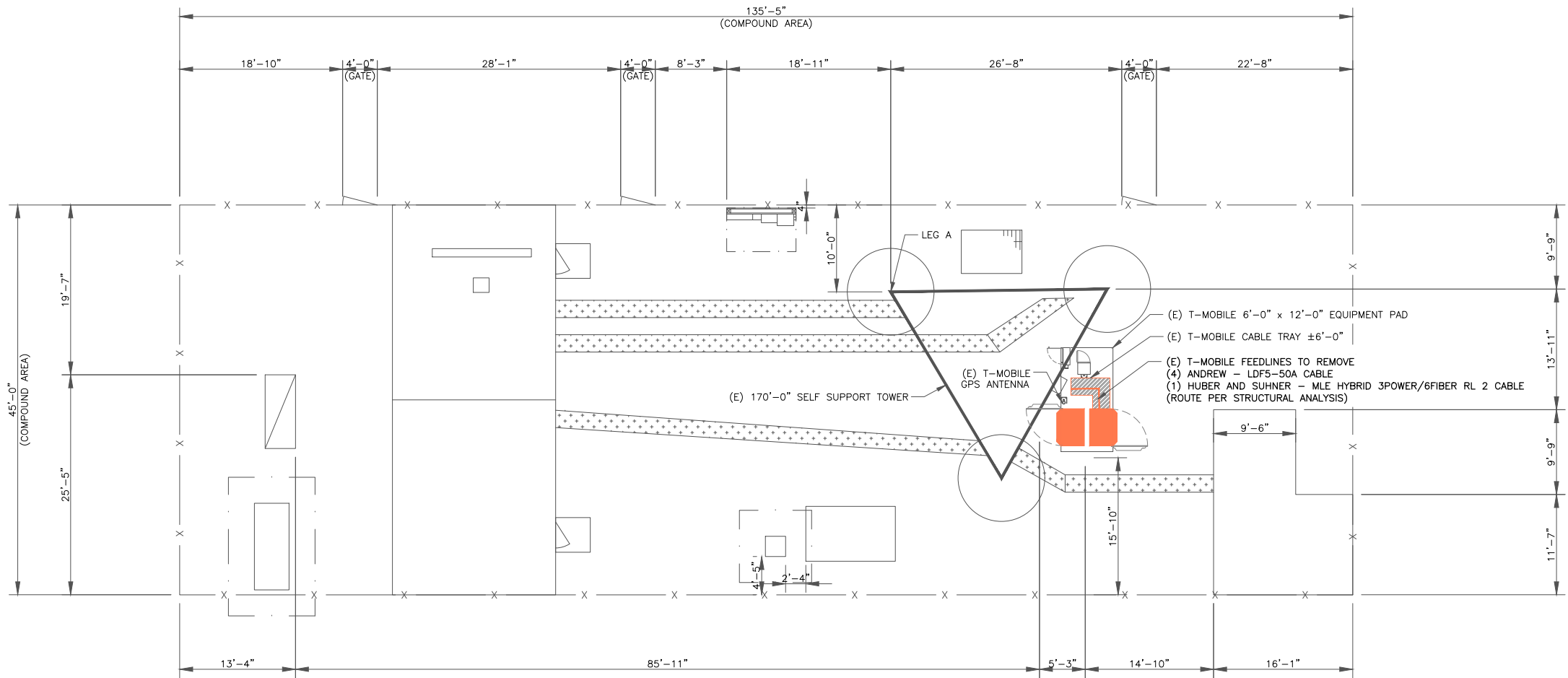
ISSUED FOR:

REV	DATE	DRWN	DESCRIPTION	DES./QA
0	05/17/2024	JS	FINAL	JS
1	06/13/2024	JS	FINAL	JS

IT IS A VIOLATION OF LAW FOR ANY PERSON,
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OF A LICENSED PROFESSIONAL ENGINEER,
TO ALTER THIS DOCUMENT.

SHEET NUMBER:
C-1.1

REVISION:
1



EQUIPMENT LEGEND:

EXISTING

TO BE RELOCATED/REMOVED

NEW/RELOCATED



PM&A
P. MARSHALL & ASSOCIATES
3545 WHITEHALL PARK DRIVE, SUITE 450
CHARLOTTE, NORTH CAROLINA 28273

T-MOBILE SITE NUMBER:
4HY0568A

BU #: **841273**
CROWN CASTLE SITE
NAME:
TRURO

344 ROUTE 6
NORTH TRURO, MA 02652

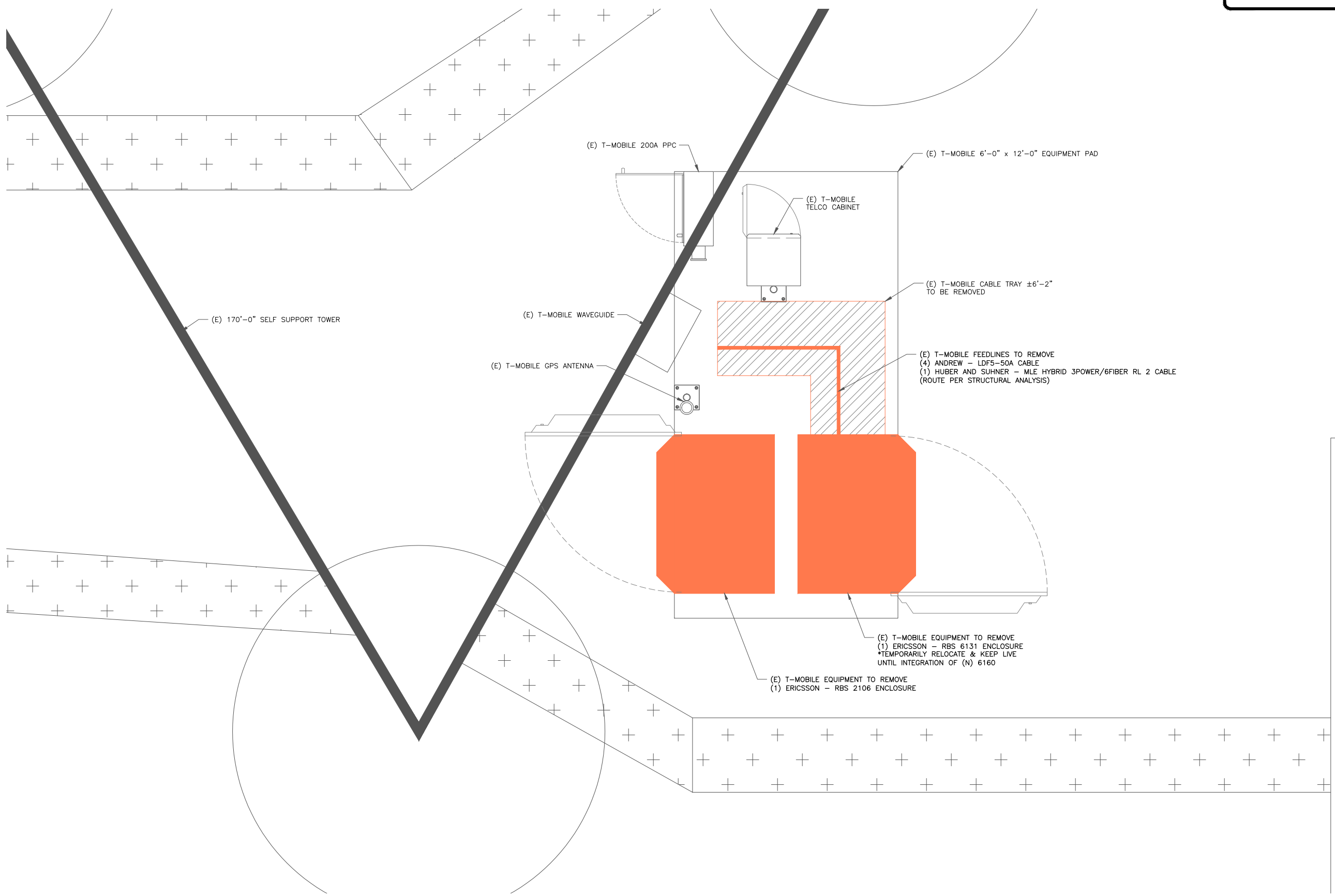
EXISTING 170'-0" SELF
SUPPORT TOWER

ISSUED FOR:				
REV	DATE	DRWN	DESCRIPTION	DES./QA
0	05/17/2024	JS	FINAL	JS
1	06/13/2024	JS	FINAL	JS

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SHEET NUMBER:
C-1.2

REVISION:
1



EQUIPMENT LEGEND:

EXISTING

TO BE RELOCATED/REMOVED

NEW/RELOCATED



PM&A
P. MARSHALL & ASSOCIATES
3545 WHITEHALL PARK DRIVE, SUITE 450
CHARLOTTE, NORTH CAROLINA 28273

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BU #: **841273**
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NORTH TRURO, MA 02652

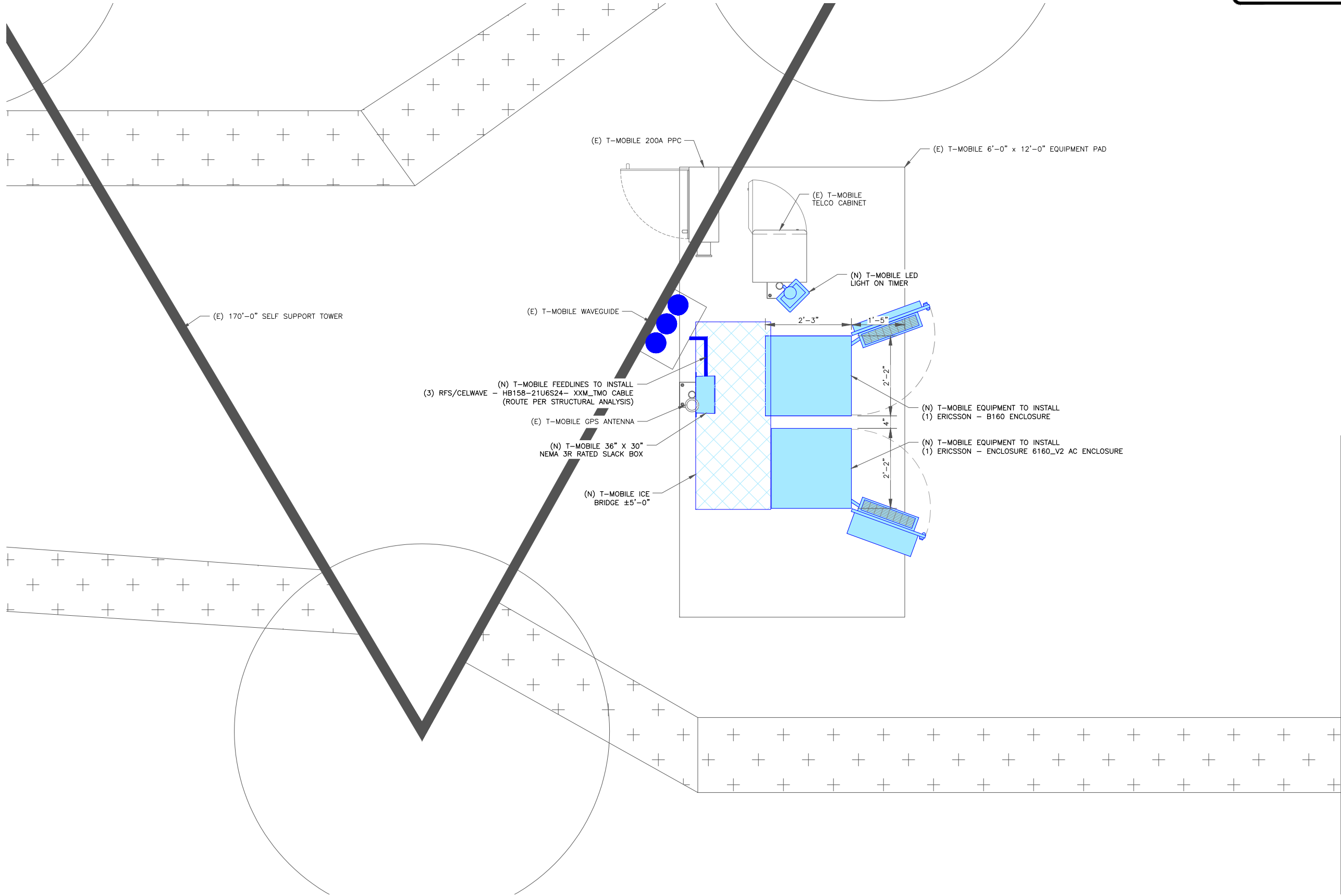
EXISTING 170'-0" SELF
SUPPORT TOWER

ISSUED FOR:				
REV	DATE	DRWN	DESCRIPTION	DES./QA
0	05/17/2024	JS	FINAL	JS
1	06/13/2024	JS	FINAL	JS
2	06/28/2024	JS	FINAL	JS
3	07/16/2024	JS	CABLE ROUTING	JS

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SHEET NUMBER:
C-1.3

REVISION:
3



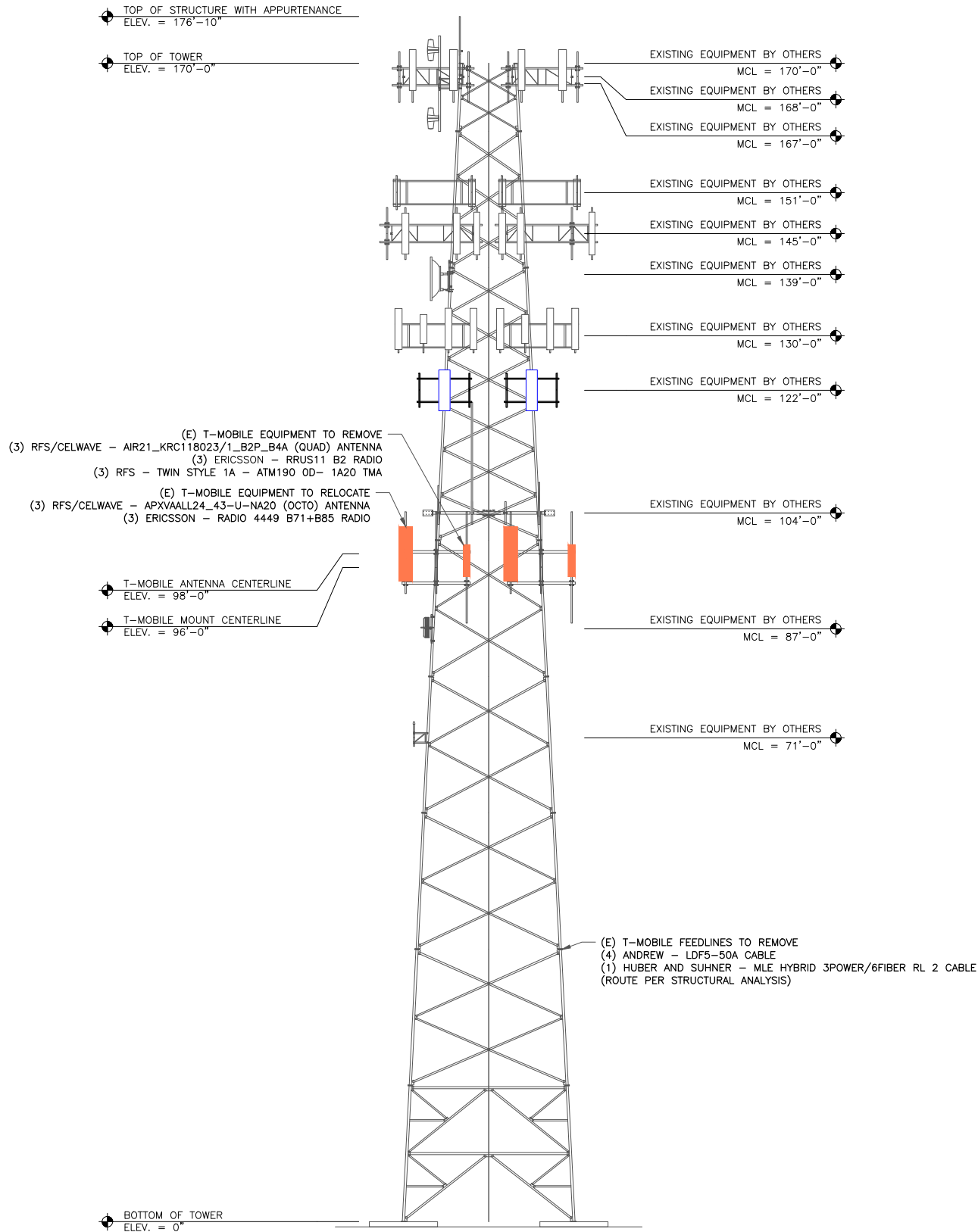
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FINAL EQUIPMENT PLAN

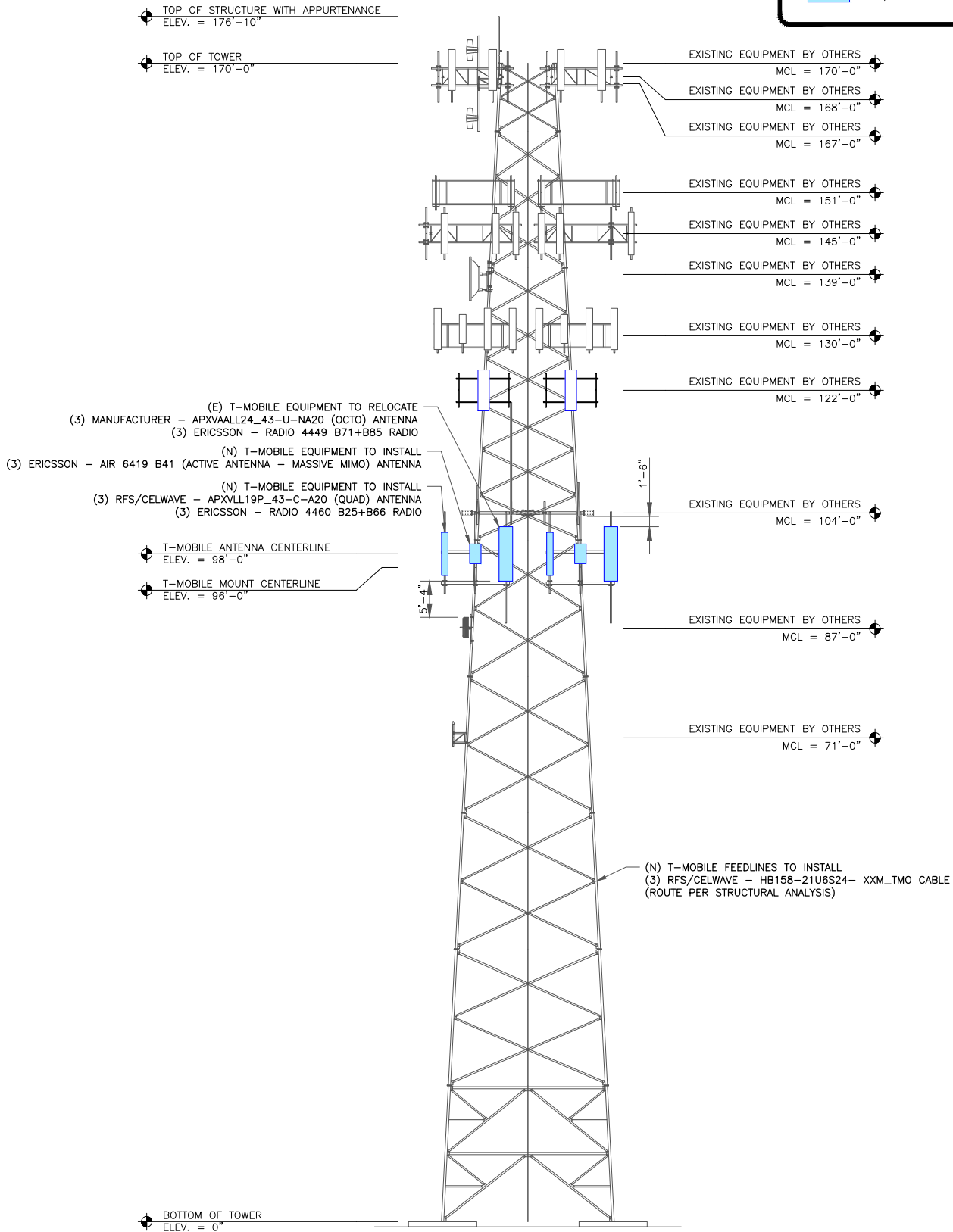
SCALE: 1"=6'-0" 3/4"=1'-0" (FULL SIZE) 3/8"=1'-0" (11x17)



TEMPLATENAME DATEOFGENERATION



1 EXISTING TOWER ELEVATION
SCALE: 3/32"=1'-0" (FULL SIZE)
3/64"=1'-0" (11x17)



2 FINAL TOWER ELEVATION
SCALE: 3/32"=1'-0" (FULL SIZE)
3/64"=1'-0" (11x17)

EQUIPMENT LEGEND:

EXISTING

TO BE RELOCATED/REMOVED

NEW/RELOCATED



T-MOBILE SITE NUMBER:
4HY0568A

BU #: 841273
CROWN CASTLE SITE
NAME:
TRURO

344 ROUTE 6
NORTH TRURO, MA 02652

EXISTING 170'-0" SELF
SUPPORT TOWER

ISSUED FOR:

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1	06/13/2024	JS	FINAL	JS
2	06/28/2024	JS	FINAL	JS

COMMONWEALTH OF MASSACHUSETTS

CHRISTOPHER A HILL

CIVIL
NO. 55809

REGISTERED
PROFESSIONAL ENGINEER

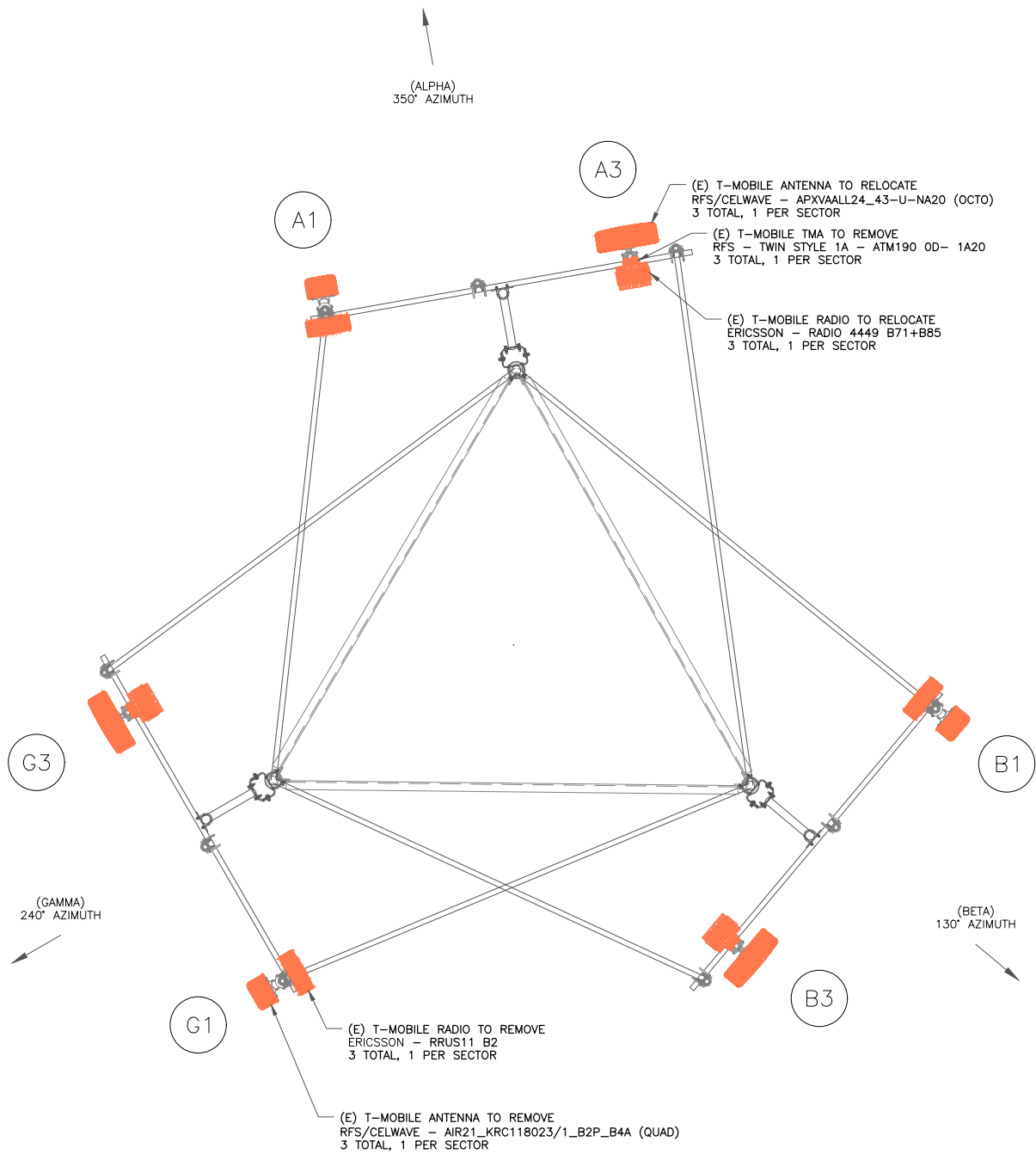
07/01/2024

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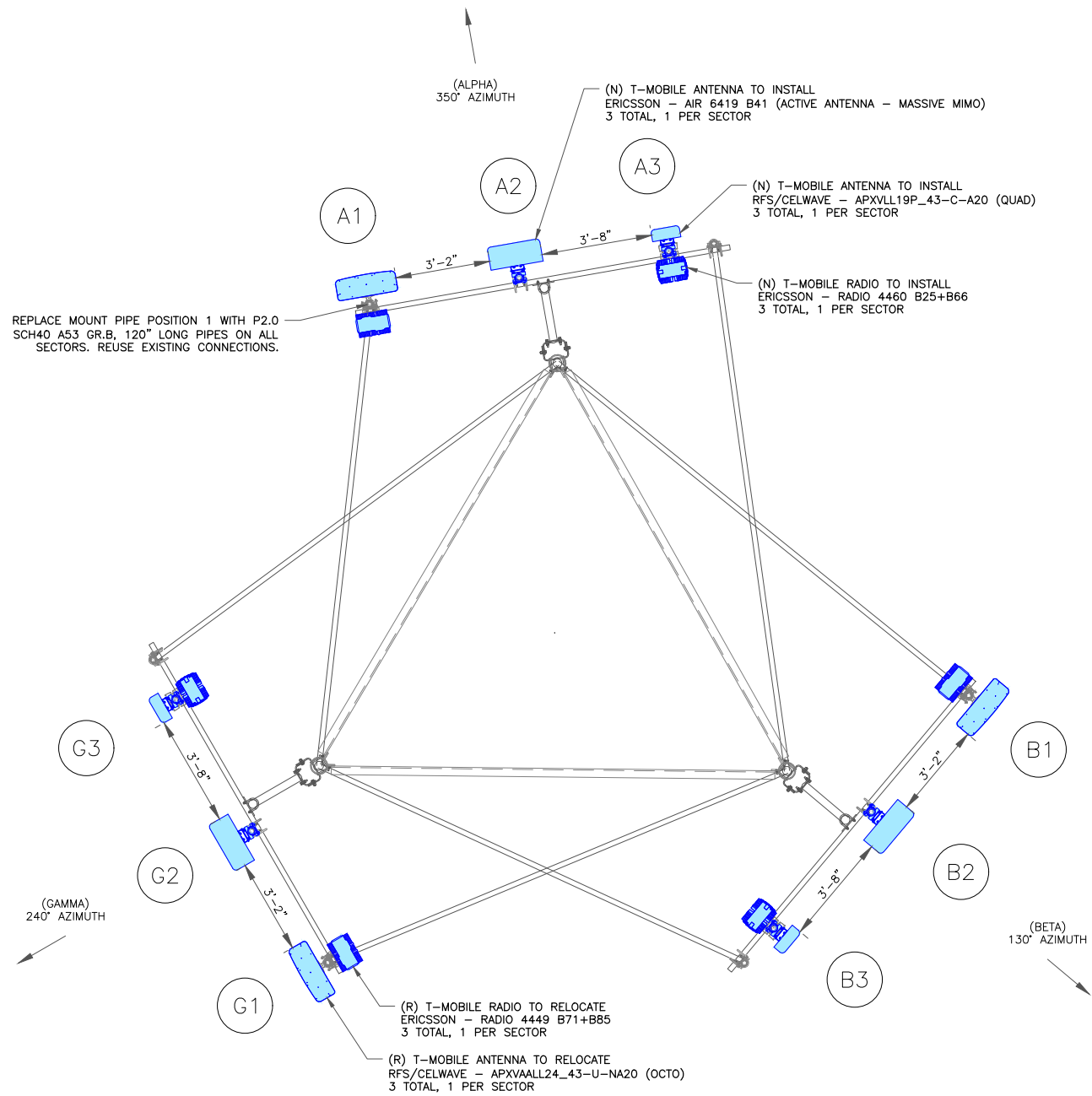
SHEET NUMBER:
C-2

REVISION:
2

TEMPLATE NAME DATE OF GENERATION



1 EXISTING ANTENNA PLAN
SCALE: 3/8"=1'-0" (FULL SIZE)
3/16"=1'-0" (11x17)



2 FINAL ANTENNA PLAN
SCALE: 3/8"=1'-0" (FULL SIZE)
3/16"=1'-0" (11x17)

EQUIPMENT LEGEND:

- EXISTING
- TO BE RELOCATED/REMOVED
- NEW/RELOCATED

P. MARSHALL & ASSOCIATES
3545 WHITEHALL PARK DRIVE, SUITE 450
CHARLOTTE, NORTH CAROLINA 28273

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NORTH TRURO, MA 02652

EXISTING 170'-0" SELF
SUPPORT TOWER

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C-3

REVISION:
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05/29/2024

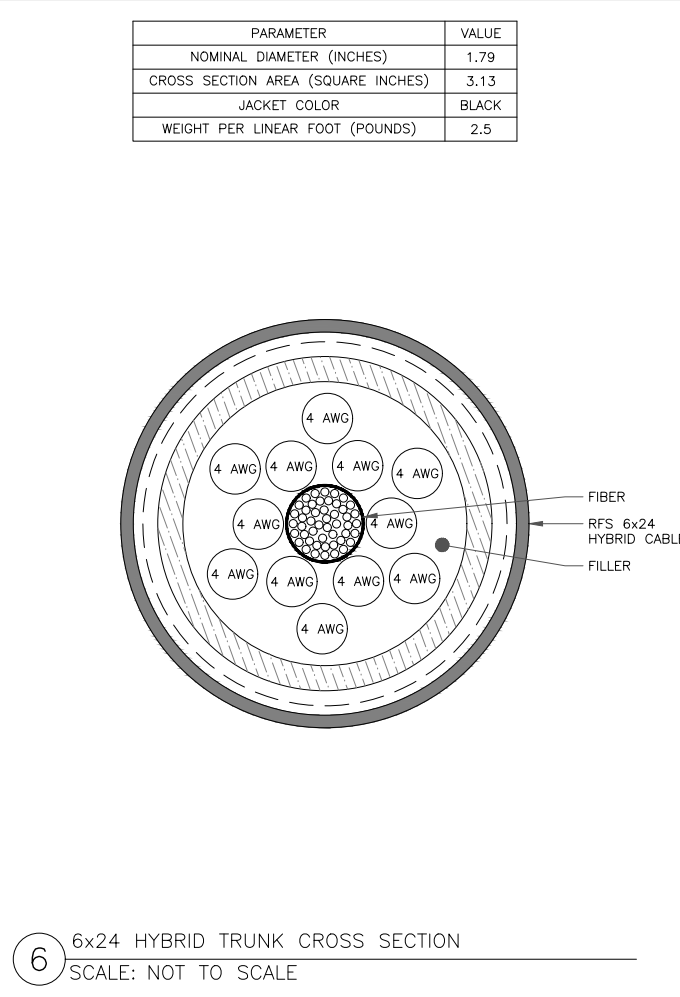
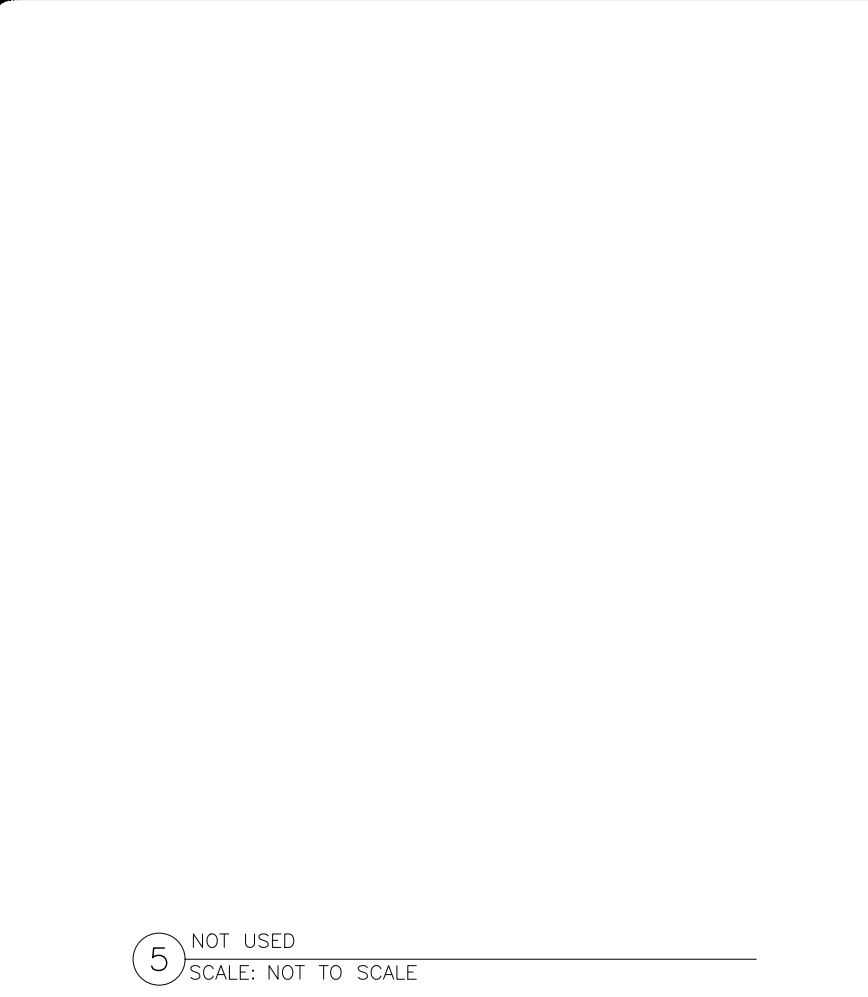
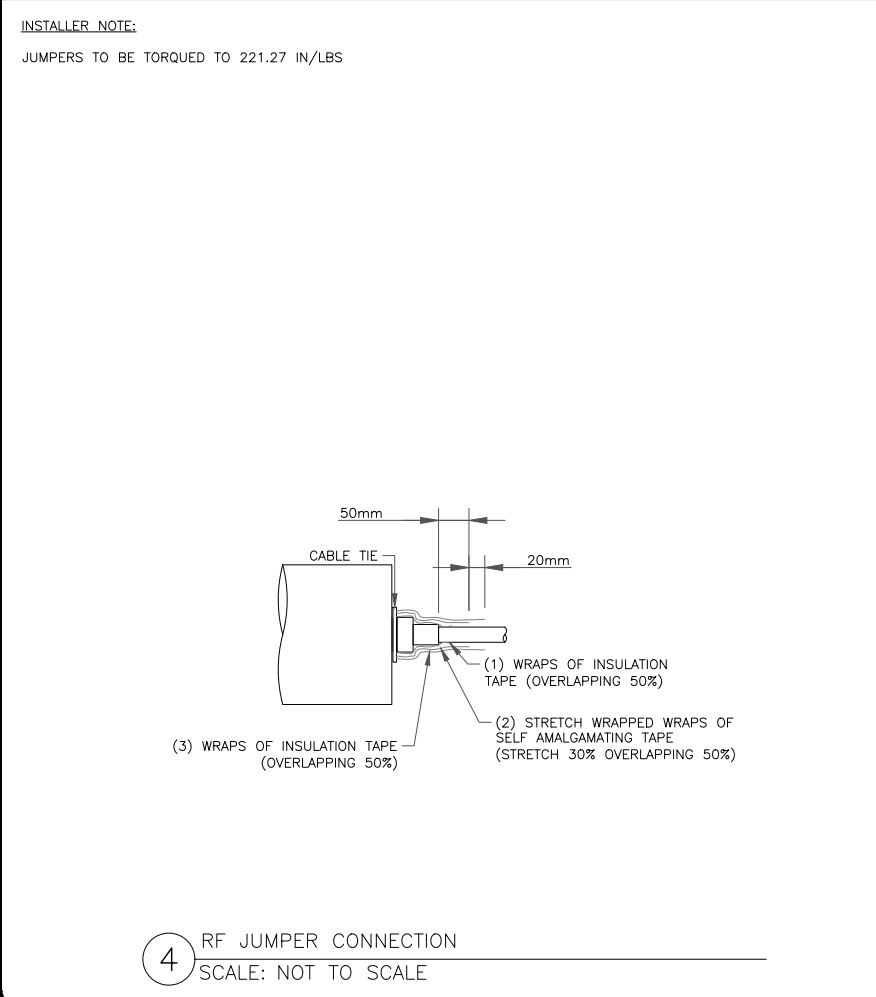
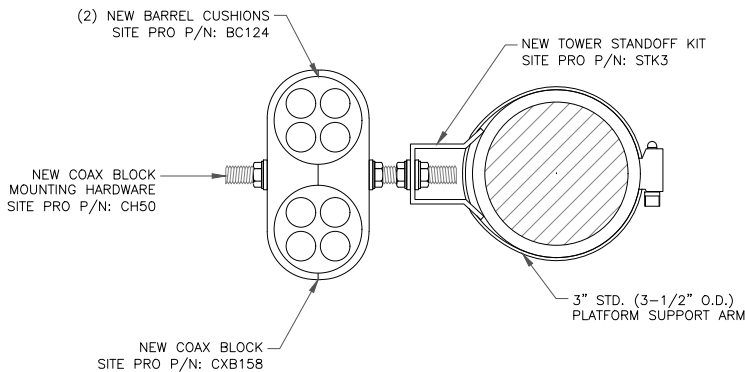
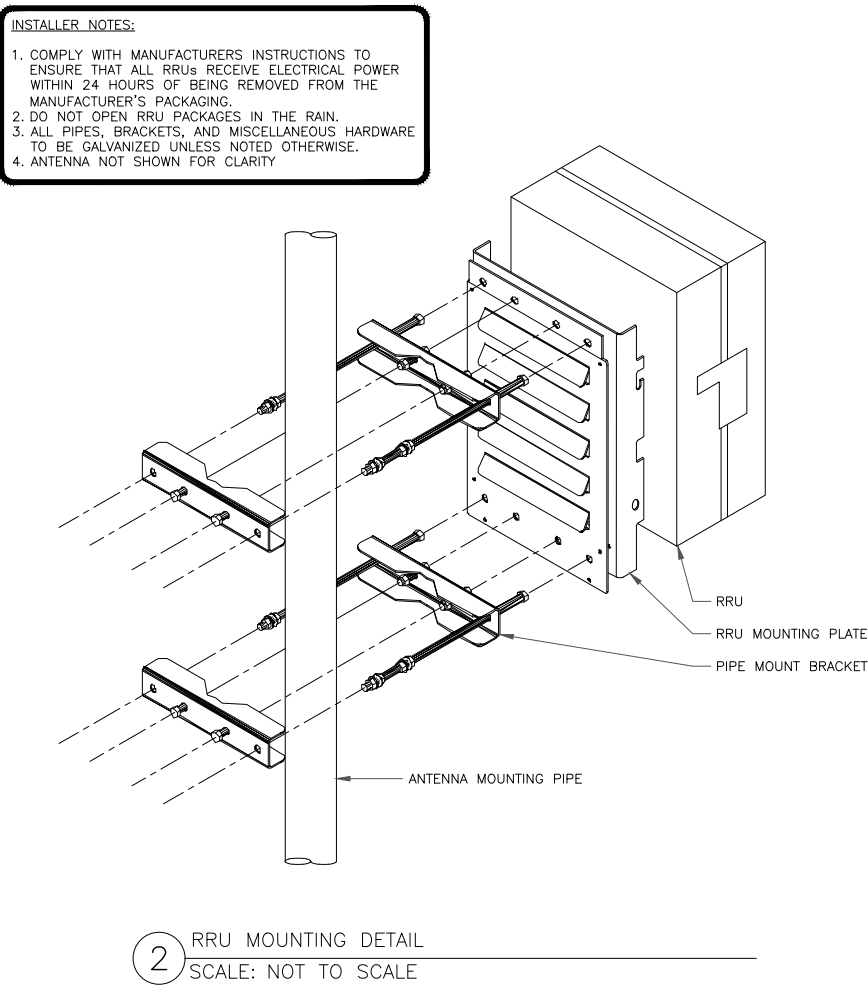
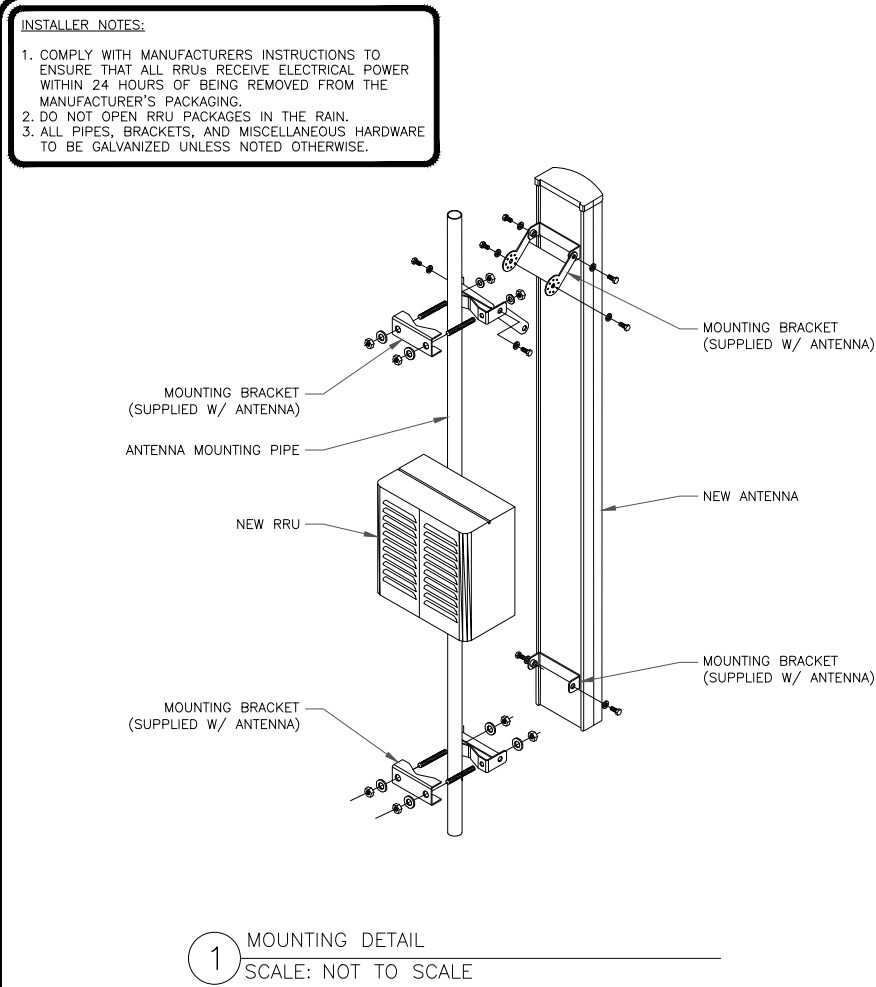
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SHEET NUMBER:	REVISION:
C-4	0

FINAL EQUIPMENT SCHEDULE (VERIFY WITH CURRENT RFDS)																		
POSITION	ANTENNA				RADIO			DIPLEXER			TMA		SURGE PROTECTION		CABLES			
	TECH	STATUS/MANUFACTURER MODEL	AZIMUTH	RAD CENTER	QTY.	STATUS/MODEL	LOCATION	QTY.	STATUS	LOCATION	QTY.	STATUS	QTY.	STATUS/MODEL	QTY.	STATUS/TYPE	SIZE	LENGTH
A1	L600 L700 N600	(R) RFS/CELWAVE – APXVAALL24_43–U–NA20 (OCTO)	350°	98°–0"	1	(R) ERICSSON – RADIO 4449 B71+B85	TOWER	–	–	–	–	–	–	–	1	(N) HYBRID	1–5/8	148
A2	–	(N) ERICSSON – AIR 6419 B41 (ACTIVE ANTENNA – MASSIVE MIMO)	350°	98°–0"	–	–	–	–	–	–	–	–	–	–	–	–	–	–
A3	G1900 L1900 N1900 L2100	(N) RFS/CELWAVE – APXVLL19P_43–C–A20 (QUAD)	350°	98°–0"	1	(N) ERICSSON – RADIO 4460 B25+B66	TOWER	–	–	–	–	–	–	–	–	–	–	–
B1	L600 L700 N600	(R) RFS/CELWAVE – APXVAALL24_43–U–NA20 (OCTO)	130°	98°–0"	1	(R) ERICSSON – RADIO 4449 B71+B85	TOWER	–	–	–	–	–	–	–	1	(N) HYBRID	1–5/8	148
B2	–	(N) ERICSSON – AIR 6419 B41 (ACTIVE ANTENNA – MASSIVE MIMO)	130°	98°–0"	–	–	–	–	–	–	–	–	–	–	–	–	–	–
B3	G1900 L1900 N1900 L2100	(N) RFS/CELWAVE – APXVLL19P_43–C–A20 (QUAD)	130°	98°–0"	1	(N) ERICSSON – RADIO 4460 B25+B66	TOWER	–	–	–	–	–	–	–	–	–	–	–
G1	L600 L700 N600	(R) RFS/CELWAVE – APXVAALL24_43–U–NA20 (OCTO)	240°	98°–0"	1	(R) ERICSSON – RADIO 4449 B71+B85	TOWER	–	–	–	–	–	–	–	1	(N) HYBRID	1–5/8	148
G2	–	(N) ERICSSON – AIR 6419 B41 (ACTIVE ANTENNA – MASSIVE MIMO)	240°	98°–0"	–	–	–	–	–	–	–	–	–	–	–	–	–	–
G3	G1900 L1900 N1900 L2100	(N) RFS/CELWAVE – APXVLL19P_43–C–A20 (QUAD)	240°	98°–0"	1	(N) ERICSSON – RADIO 4460 B25+B66	TOWER	–	–	–	–	–	–	–	–	–	–	–

UNUSED FEEDLINES			
–	–	–	–
–	–	–	–

TEMPLATENAME DATEOFGENERATION



P. MARSHALL & ASSOCIATES
3545 WHITEHALL PARK DRIVE, SUITE 450
CHARLOTTE, NORTH CAROLINA 28273

T-MOBILE SITE NUMBER:
4HY0568A

BU #: **841273**
CROWN CASTLE SITE
NAME:
TRURO

344 ROUTE 6
NORTH TRURO, MA 02652

EXISTING 170'-0" SELF
SUPPORT TOWER

ISSUED FOR:

REV	DATE	DRWN	DESCRIPTION	DES./QA
0	05/17/2024	JS	FINAL	JS

05/29/2024

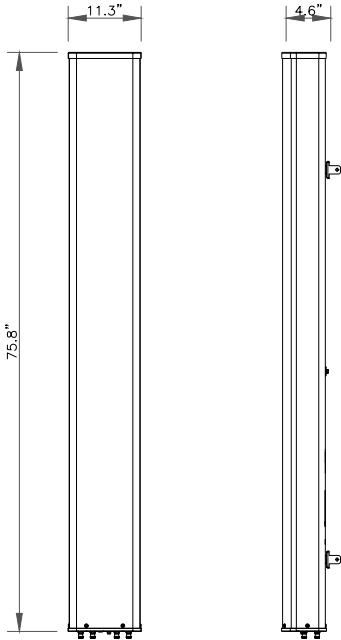
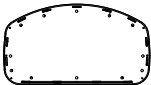
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SHEET NUMBER:
C-5.1

REVISION:
0

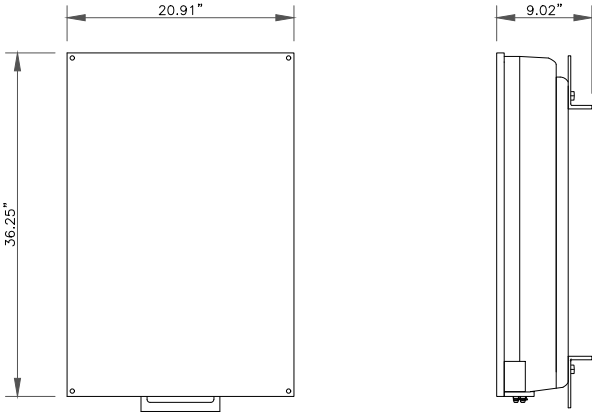
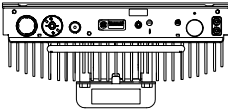
SKU#: N/A

MANUFACTURER:	COMMSCOPE
MODEL:	APXVLL19P_43-C-A20 4-PORT ANTENNA
DIMENSIONS (HxWxD):	75.8"x11.3"x4.6"
WEIGHT:	40.9 LBS
BAND:	HIGH BAND
MOUNTING KIT:	APM40-2 (INCLUDED)



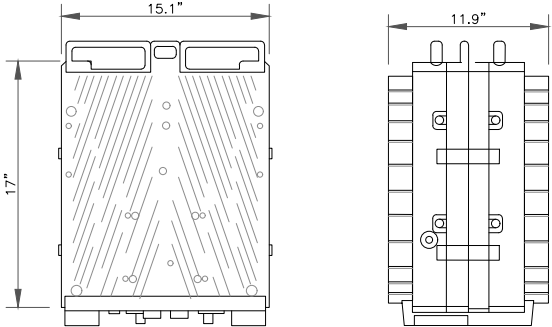
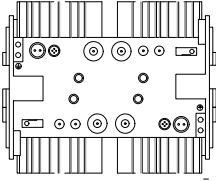
1 RFS/CELWAVE / APXVLL19P_43-C-A20 ANTENA
SCALE: NOT TO SCALE

MANUFACTURER:	ERICSSON
MODEL:	AIR 6419 B41 (2.5GHz M-MIMO)
DIMENSIONS (HxWxD):	36.25"x20.91"x9.02"
WEIGHT:	83 LBS
BAND:	B41
MOUNTING KIT:	SXK109 2016/1



2 ERICSSON / AIR 6419 B41 ANTENNA
SCALE: NOT TO SCALE

MANUFACTURER:	ERICSSON
MODEL:	4460 RADIO (KRC 161 912/3)
DIMENSIONS (HxWxD):	17"x15.1"x11.9"
WEIGHT:	109 LBS
BAND:	B2/B25 B66 DUAL BAND



3 ERICSSON / 4460 RADIO
SCALE: NOT TO SCALE

T Mobile

CROWN CASTLE

PM&A

P. MARSHALL & ASSOCIATES
3545 WHITEHALL PARK DRIVE, SUITE 450
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T-MOBILE SITE NUMBER:
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BU #: 841273
CROWN CASTLE SITE
NAME:
TRURO

344 ROUTE 6
NORTH TRURO, MA 02652

EXISTING 170'-0" SELF
SUPPORT TOWER

ISSUED FOR:

REV	DATE	DRWN	DESCRIPTION	DES./QA
0	05/17/2024	JS	FINAL	JS



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SHEET NUMBER:

C-5.2

REVISION:

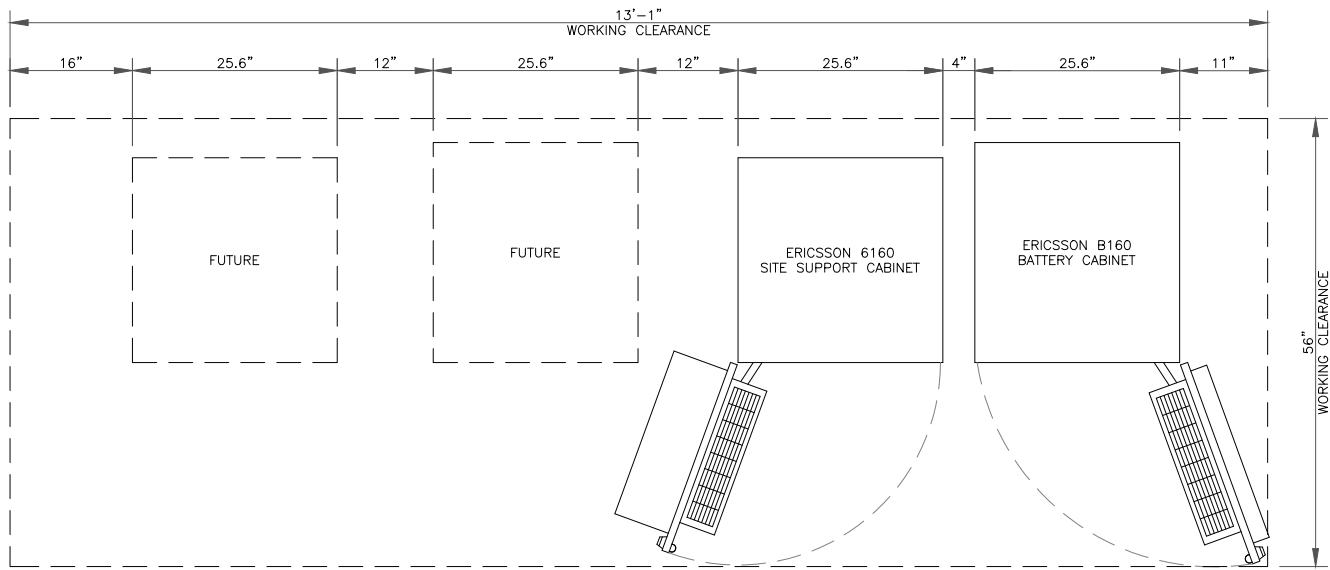
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4 NOT USED
SCALE: NOT TO SCALE

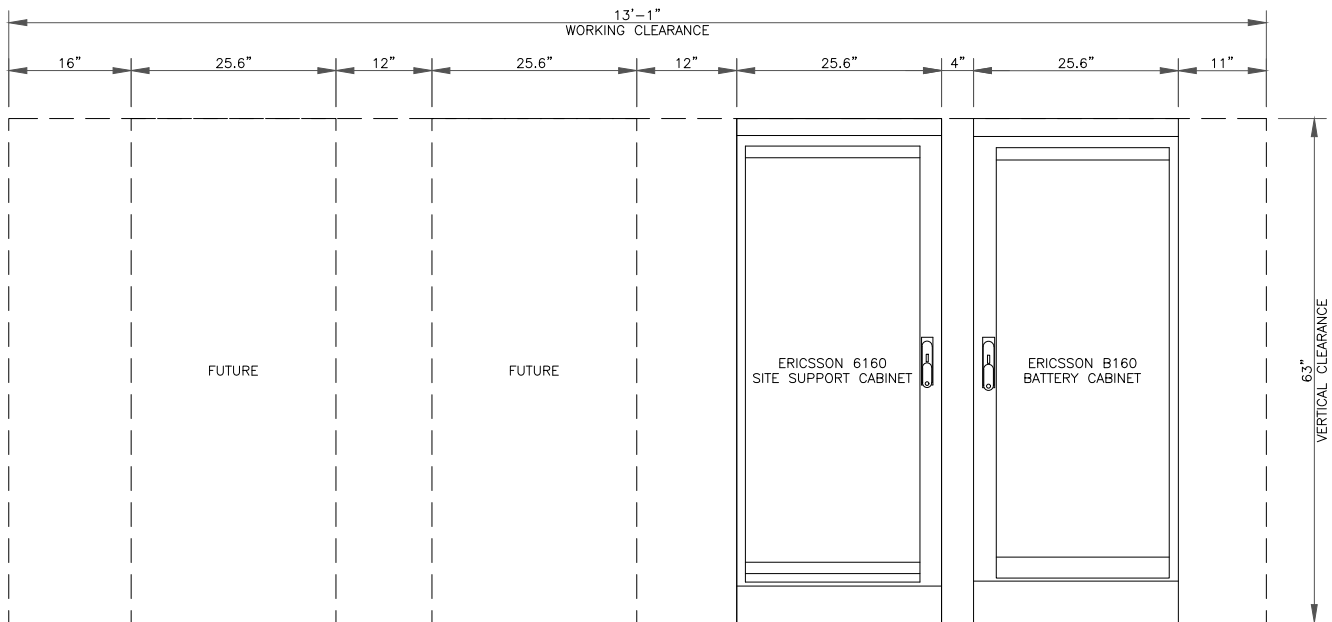
5 NOT USED
SCALE: NOT TO SCALE

6 NOT USED
SCALE: NOT TO SCALE

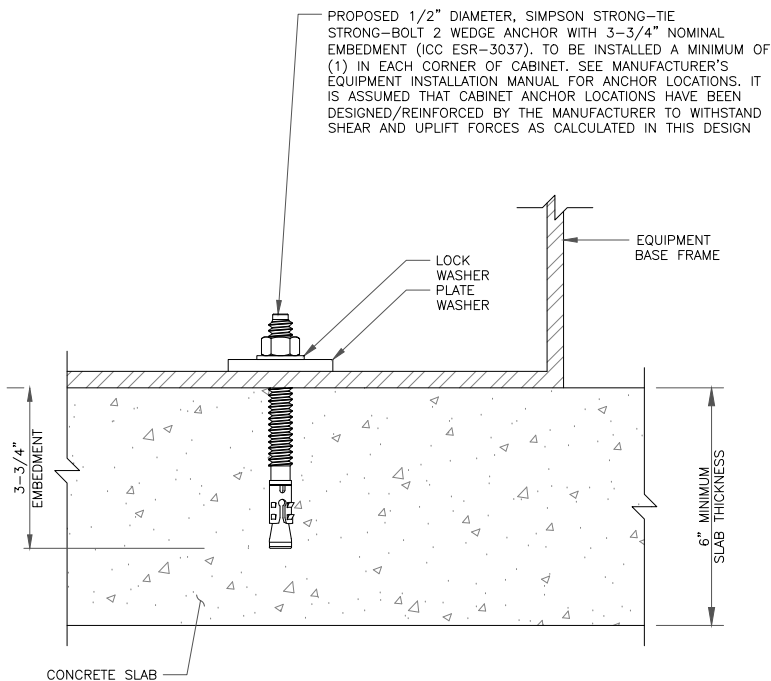
TEMPLATE NAME DATE OF GENERATION



1 PLAN VIEW WORKING CLEARANCE 6160 & B160 LAYOUT
SCALE: NOT TO SCALE

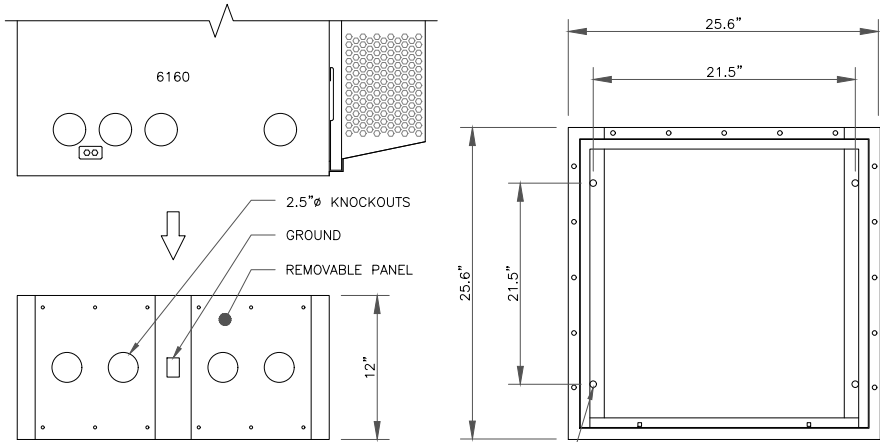


2 ELEVATION VIEW WORKING CLEARANCE 6160 & B160 LAYOUT
SCALE: NOT TO SCALE



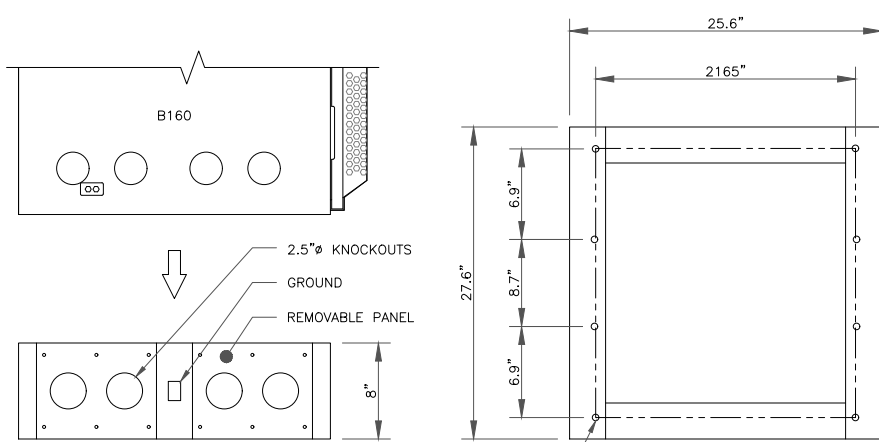
3 TYPICAL ANCHOR BOLT DETAIL
SCALE: NOT TO SCALE

MANUFACTURER:	ERICSSON
MODEL:	6160 12" BASE FRAME (SKX 125 5009/1)
DIMENSIONS (HxWxD):	12"x25.6"x25.6"
T-MOBILE SKU#	T.B.D.



4 ERICSSON 6160 PLINTH DETAIL
SCALE: NOT TO SCALE

MANUFACTURER:	ERICSSON
MODEL:	B160 BASE FRAME (SKU 125 5010/1)
DIMENSIONS (HxWxD):	8"x27.5"x25.6"
T-MOBILE SKU#	T.B.D.



5 ERICSSON B160 PLINTH DETAIL
SCALE: NOT TO SCALE

T Mobile

CROWN CASTLE

PM&A

P. MARSHALL & ASSOCIATES

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T-MOBILE SITE NUMBER:
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BU #: 841273
CROWN CASTLE SITE
NAME:
TRURO

344 ROUTE 6
NORTH TRURO, MA 02652

EXISTING 170'-0" SELF
SUPPORT TOWER

ISSUED FOR:

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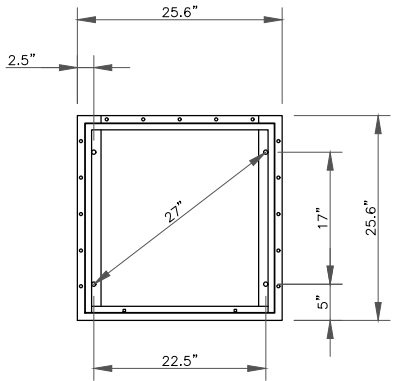
C-6.1

REVISION:

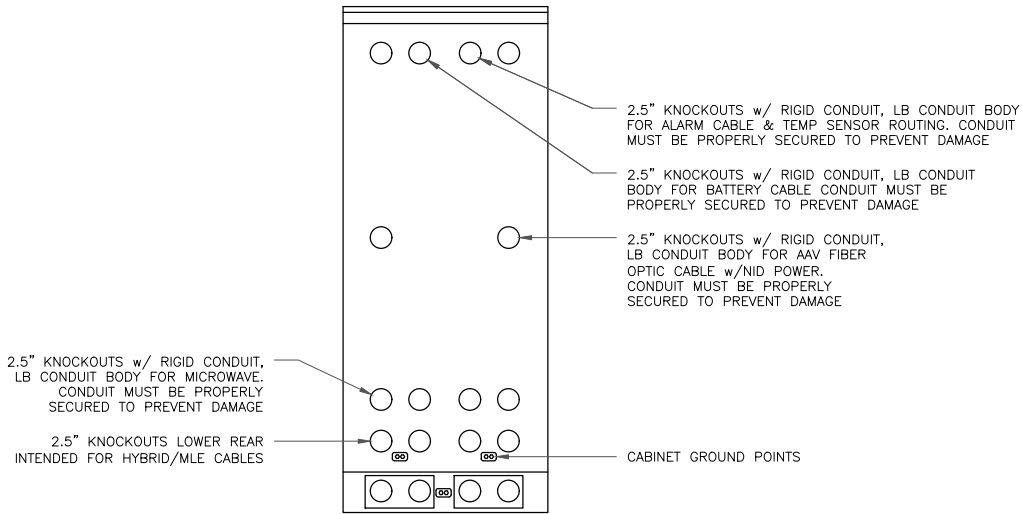
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MANUFACTURER:	ERICSSON
MODEL:	(UT6160_ENCL_AC) V2 CABINET
DIMENSIONS (HxWxD):	63"x25.6"x33.6"
WEIGHT:	373 LBS
SKU #:	T.B.D.

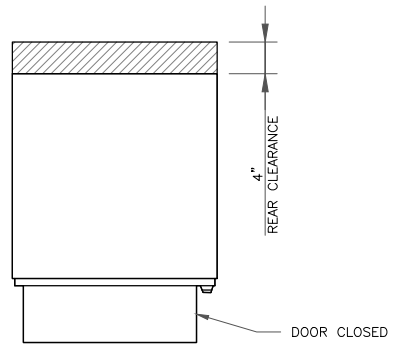
NOTE:
CORRECT KNOCKOUT TOOL REQUIRED FOR PUNCHING KNOCKOUTS. DO NOT DRILL THROUGH KNOCKOUTS
CONDUIT MUST BE PROPERLY SECURED TO PREVENT DAMAGE TO CABINETS AND OR CABLING
GROUNDING NOTE:
CABINET GROUNDING TO USE A SINGLE, #2 BTCW CONDUCTOR, W/ 2-HOLE, 1" C-C, LONG BARREL, WINDOW LUG, IN 3/4" LFNC TO GROUND RING. PLINTH GROUNDING IS NOT REQUIRED.



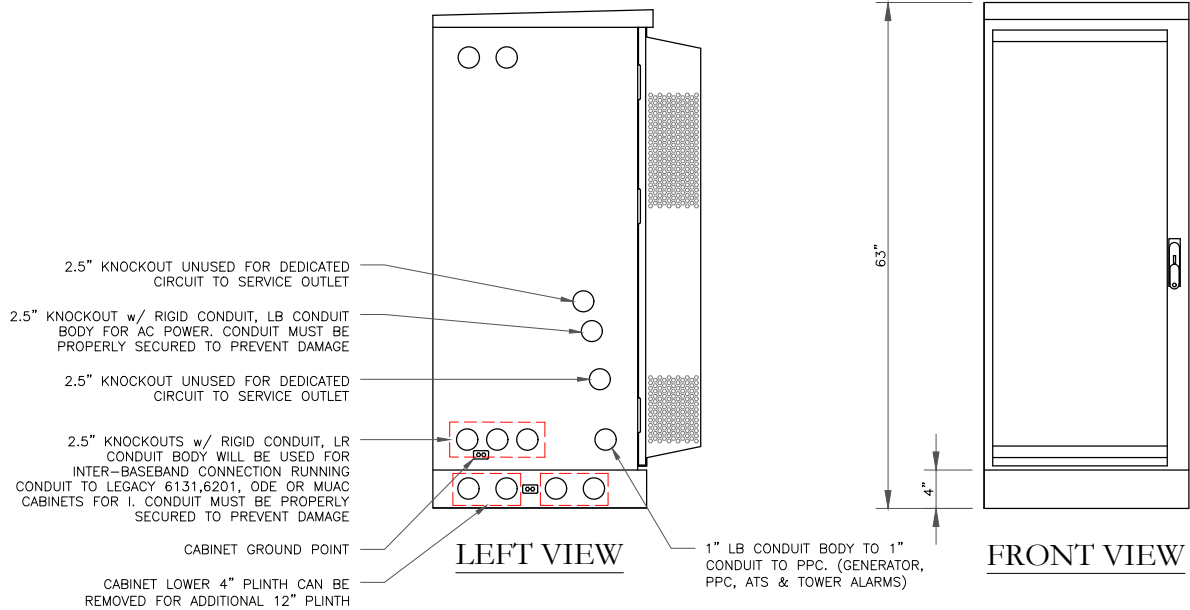
BOLT DOWN PATTERN



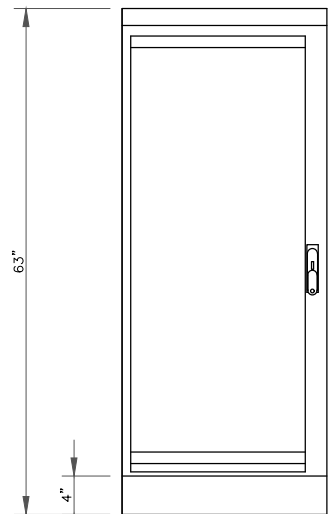
REAR VIEW



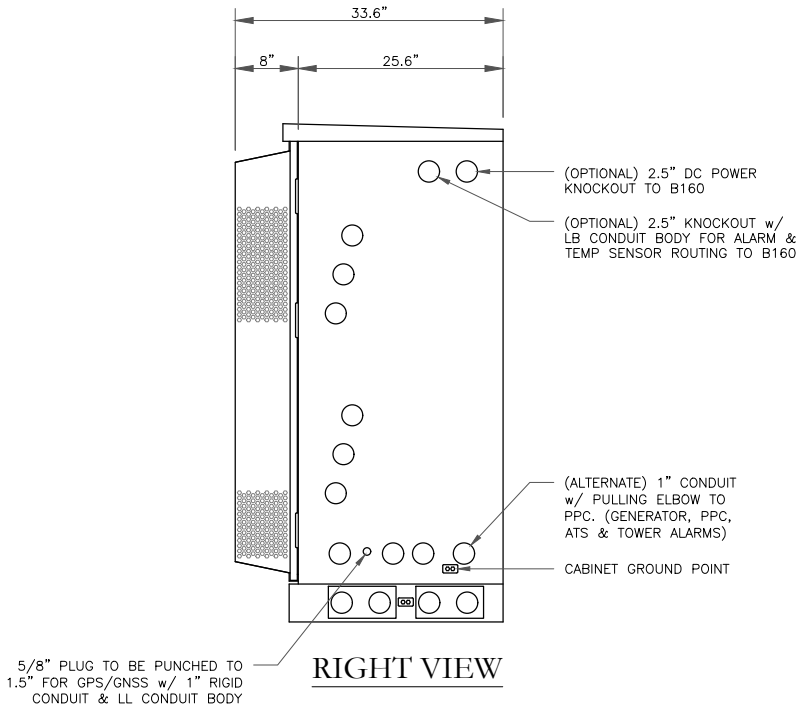
PLAN VIEW



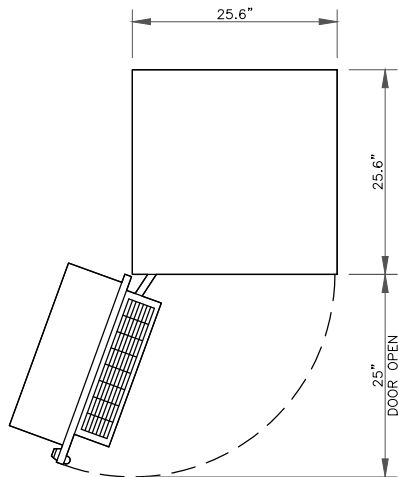
LEFT VIEW



FRONT VIEW



RIGHT VIEW



DOOR SWING

T Mobile

CROWN CASTLE

PM&A

P. MARSHALL & ASSOCIATES

3545 WHITEHALL PARK DRIVE, SUITE 450
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BU #: 841273
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EXISTING 170'-0" SELF
SUPPORT TOWER

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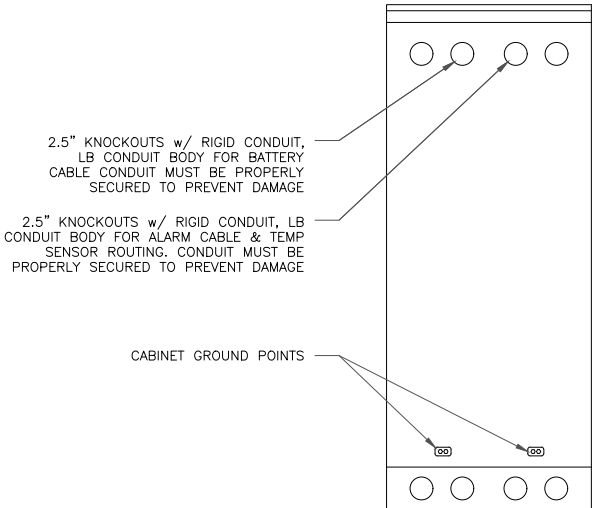
C-6.2

REVISION:

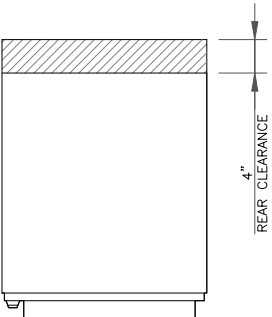
2

MANUFACTURER:	ERICSSON
MODEL:	B160 BATTERY CABINET
DIMENSIONS (HxWxD):	63"x25.6"x29.5"
WEIGHT:	295 LBS
SKU #:	T.B.D.

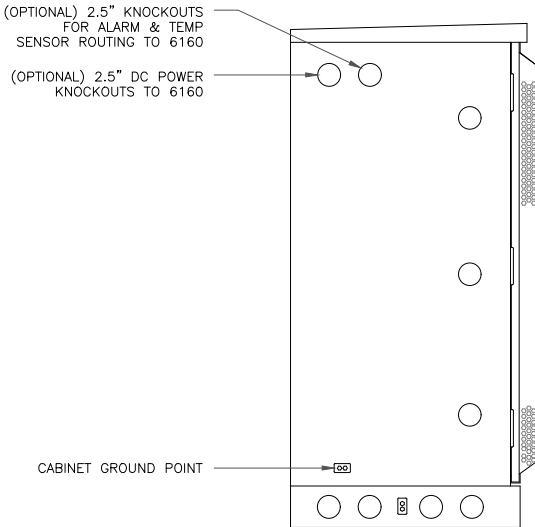
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GROUNDING NOTE:
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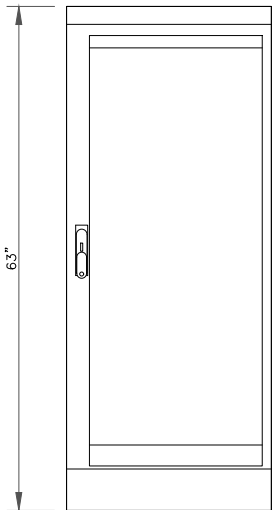
REAR VIEW



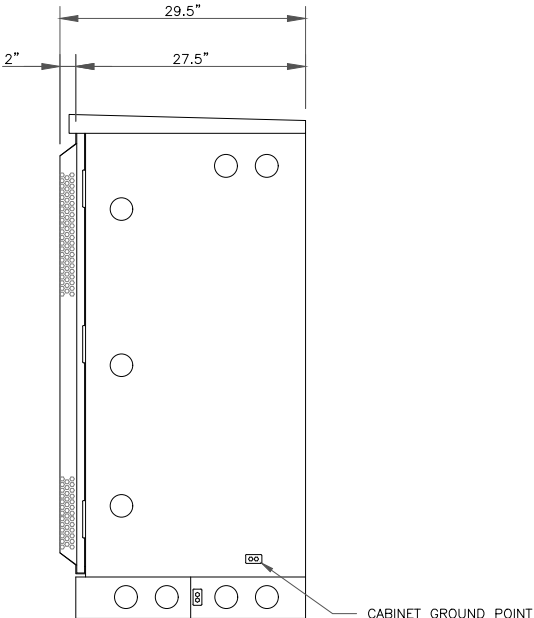
PLAN VIEW



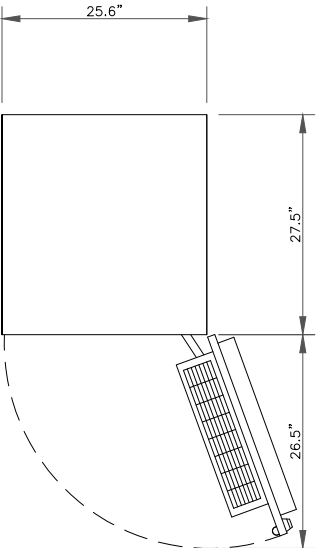
LEFT VIEW



FRONT VIEW



RIGHT VIEW



DOOR SWING



P. MARSHALL & ASSOCIATES
3545 WHITEHALL PARK DRIVE, SUITE 450
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BU #: **841273**
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SUPPORT TOWER

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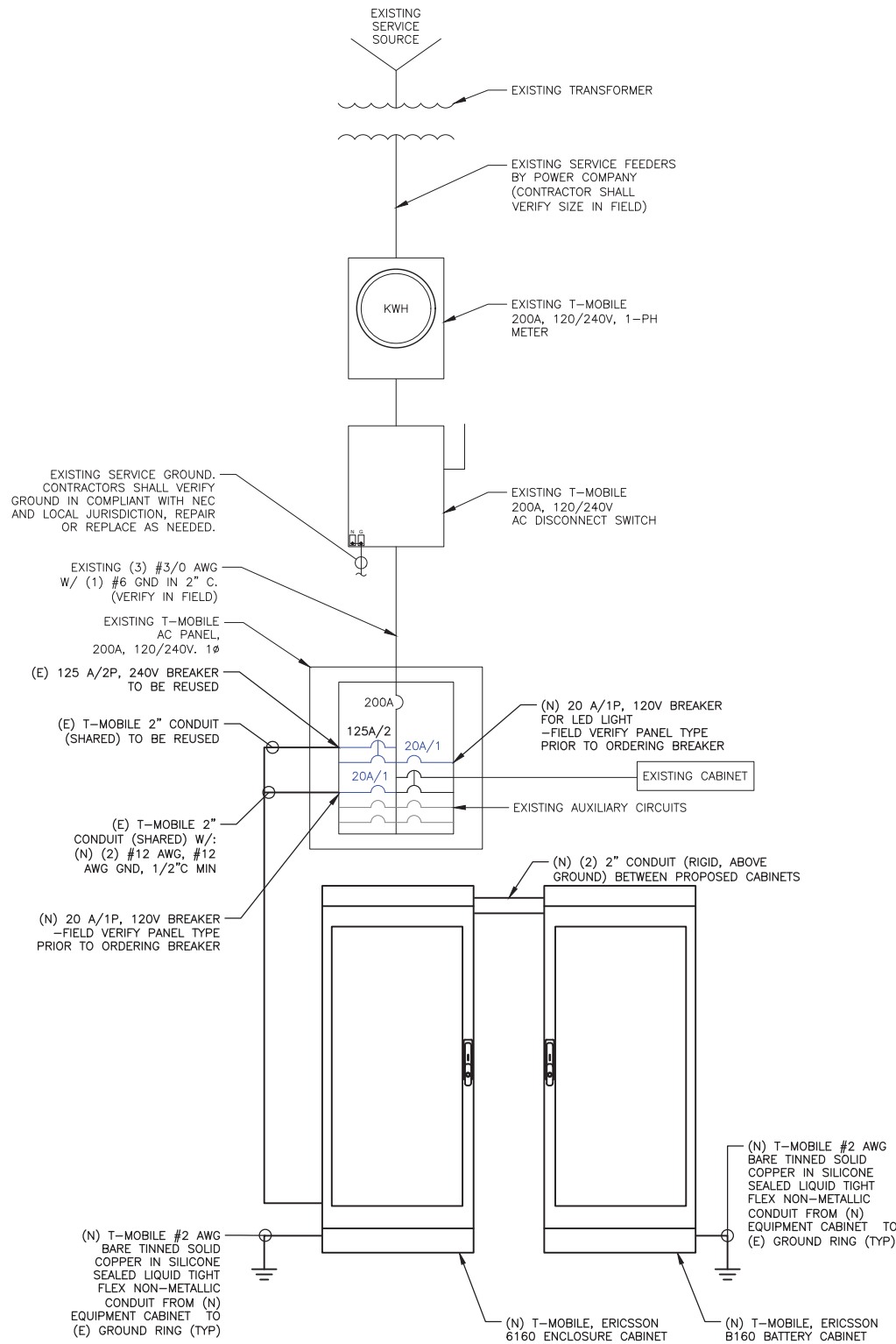
SHEET NUMBER:

C-6.3

REVISION:

0

TEMPLATENAME DATEOFGENERATION



1 ONE-LINE DIAGRAM
SCALE: NOT TO SCALE

T-MOBILE SITE #:				LOCATION:			VOLTAGE: 240/120 1Ø			MOUNTING / ENCLOSURE:			EXISTING /		NEMA 3R			
4HY0568A (EXISTING)				H-FRAME			MAIN C/B:			AVAIL. FAULT CURRENT:			EXISTING					
6/18/2024							BUS RATING:			200			AMPS			SHORT CIRCUIT RATING:		EXISTING
AMPS/ POLES	WIRE & CONDUIT	TYPE	DESCRIPTION		KVA	CKT	A		B	CKT	KVA	DESCRIPTION		TYPE	WIRE & CONDUIT		AMPS/ POLES	
60/2	EXISTING	EQ	SURGE ARRESTOR		0.10	1	0.28			2	0.18	GFI		R	EXISTING		20/1	
-	-	EQ	-		0.10	3			3.94	4	3.84	BOOSTER		E	EXISTING		40/2	
50/2	EXISTING	EQ	BTS-1		4.80	5	8.64			6	3.84	-		E	-		-	
-	-	EQ	-		4.80	7			7.95	8	3.15	3106		EQ	EXISTING		125/2	
			BLANK			9	3.15			10	3.15	-		EQ	-		-	
			BLANK			11				12		BLANK						
			BLANK			13				14		BLANK						
			BLANK			15				16		BLANK						
			BLANK			17				18		BLANK						
			BLANK			19				20		BLANK						
			BLANK			21				22		BLANK						
			BLANK			23				24		BLANK						
					PHASE TOTAL		12.1			11.9	KVA							
												TOTAL CONNECTED LOAD		24.0		kVA	100 A	
												TOTAL DEMAND LOAD		25.9		kVA	108 A	
	LOAD TYPE	DESCRIPTION	CONN. LOAD		DEMA ND FACTO R	DESIGN LOAD												
			KVA	AMPS		KVA	AMPS											
	L	LIGHTING	0.0	0.0	1.25	0.0	0.0					NOTES: DEPICTED LOAD BASED ON ASSUMPTIONS OF EQUIPMENT INSTALLED AND WAS NOT V.I.F. NOTIFY E.O.R. OF ANY DISCREPANCIES PRIOR TO INSTALLATION OF PROPOSED EQUIPMENT.						
	R	RECEPTACLE	0.2	0.8	NEC	0.2	0.8											
	M	MOTOR	0.0	0.0	NEC	0.0	0.0											
	H	HEATING	0.0	0.0	1.00	0.0	0.0											
	AC	HVAC	0.0	0.0	1.00	0.0	0.0											
	EQ	EQUIPMENT	16.1	67.1	1.00	16.1	67.1											
	E	EXISTING	7.7	32.0	1.25	9.6	40.0											
* ALL EQUIPMENT LOADS CONSIDERED CONTINUOUS LOADS																		

2 EXISTING PANEL SCHEDULE
SCALE: NOT TO SCALE

T-MOBILE SITE #:				LOCATION:			VOLTAGE: 240/120 Ø			MOUNTING / ENCLOSURE:			EXISTING /		NEMA 3R			
4HY0568A (PROPOSED)				H-FRAME			MAIN C/B: 200			AVAIL. FAULT CURRENT: EXISTING								
6/18/2024							BUS RATING: 200			SHORT CIRCUIT RATING: EXISTING								
AMPS/ POLES	WIRE & CONDUIT	TYPE	DESCRIPTION	KVA	CKT	A		B	CKT	KVA	DESCRIPTION	TYPE	WIRE & CONDUIT	AMPS/ POLES				
60/2	EXISTING	EQ	SURGE ARRESTOR	0.10	1	0.28			2	0.18	GFI	R	EXISTING	20/1				
-	-	EQ	-	0.10	3			3.94	4	3.84	BOOSTER	E	EXISTING	40/2				
50/2	EXISTING	EQ	BTS-1	4.80	5	8.64			6	3.84	-	E	-	-				
-	-	EQ	-	4.80	7			7.95	8	3.15	6160 (REUSED)	EQ	EXISTING	125/2				
			BLANK		9	3.15			10	3.15	-	EQ	-	-				
			BLANK		11			0.18	12	0.18	(N) 6160 GFCI	R	2#12, 1#12G, 1/2"C	20/1				
			BLANK		13	0.50			14	0.50	(N) LED LIGHT	L	2#12, 1#12G, 1/2"C	20/1				
			BLANK		15				16		BLANK							
			BLANK		17				18		BLANK							
			BLANK		19				20		BLANK							
			BLANK		21				22		BLANK							
			BLANK		23				24		BLANK							

3 FINAL PANEL SCHEDULE
SCALE: NOT TO SCALE

T Mobile

CROWN CASTLE

PM&A

P. MARSHALL & ASSOCIATES

3545 WHITEHALL PARK DRIVE, SUITE 450
CHARLOTTE, NORTH CAROLINA 28273

T-MOBILE SITE NUMBER:
4HY0568A

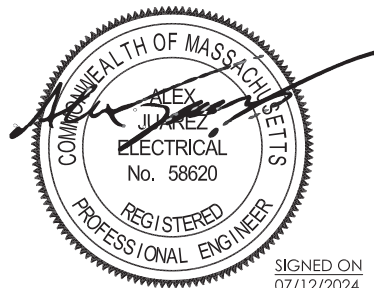
BU #: 841273
CROWN CASTLE SITE
NAME:
TRURO

344 ROUTE 6
NORTH TRURO, MA 02652

EXISTING 170'-0" SELF
SUPPORT TOWER

ISSUED FOR:

REV	DATE	DRWN	DESCRIPTION	DES./QA
0	05/17/2024	JS	FINAL	JS
1	06/13/2024	JS	FINAL	JS
2	06/28/2024	JS	FINAL	JS



SIGNED ON
07/12/2024

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SHEET NUMBER:

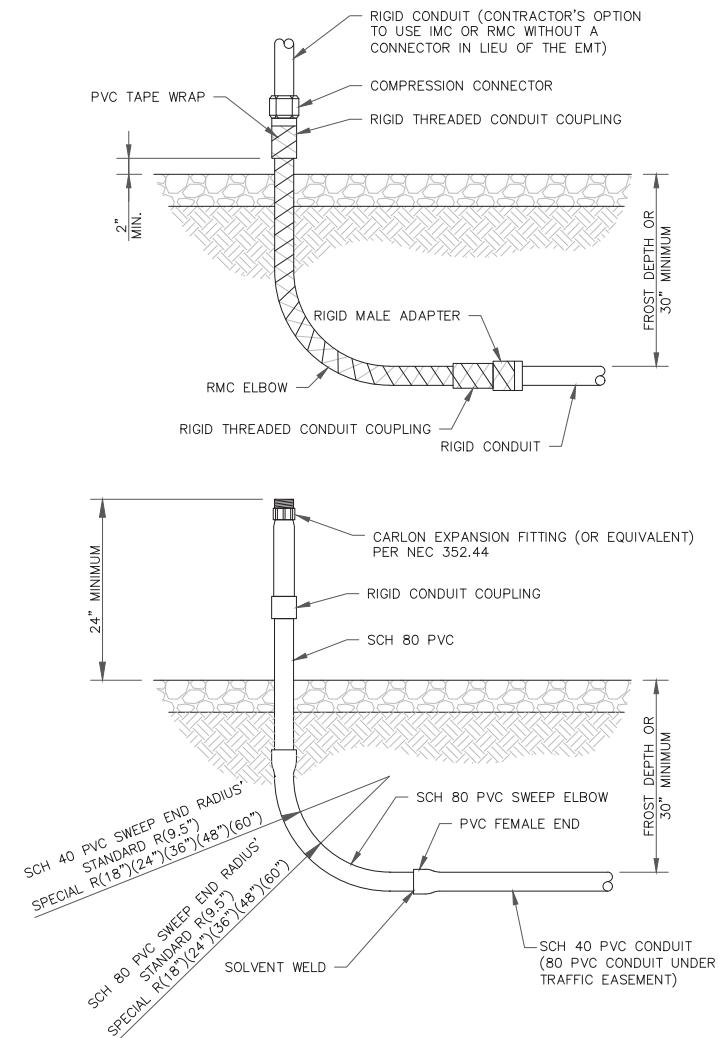
E-1

REVISION:

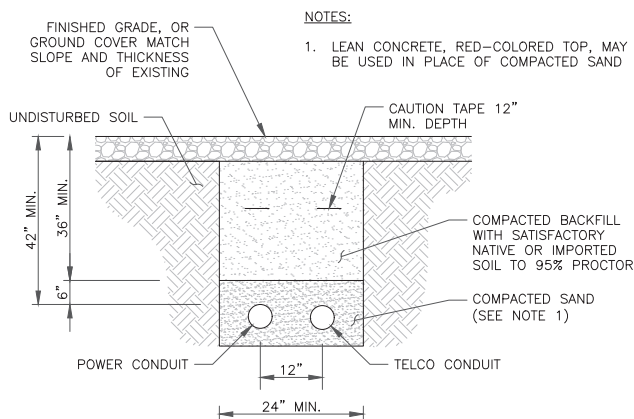
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INSTALLER NOTES:

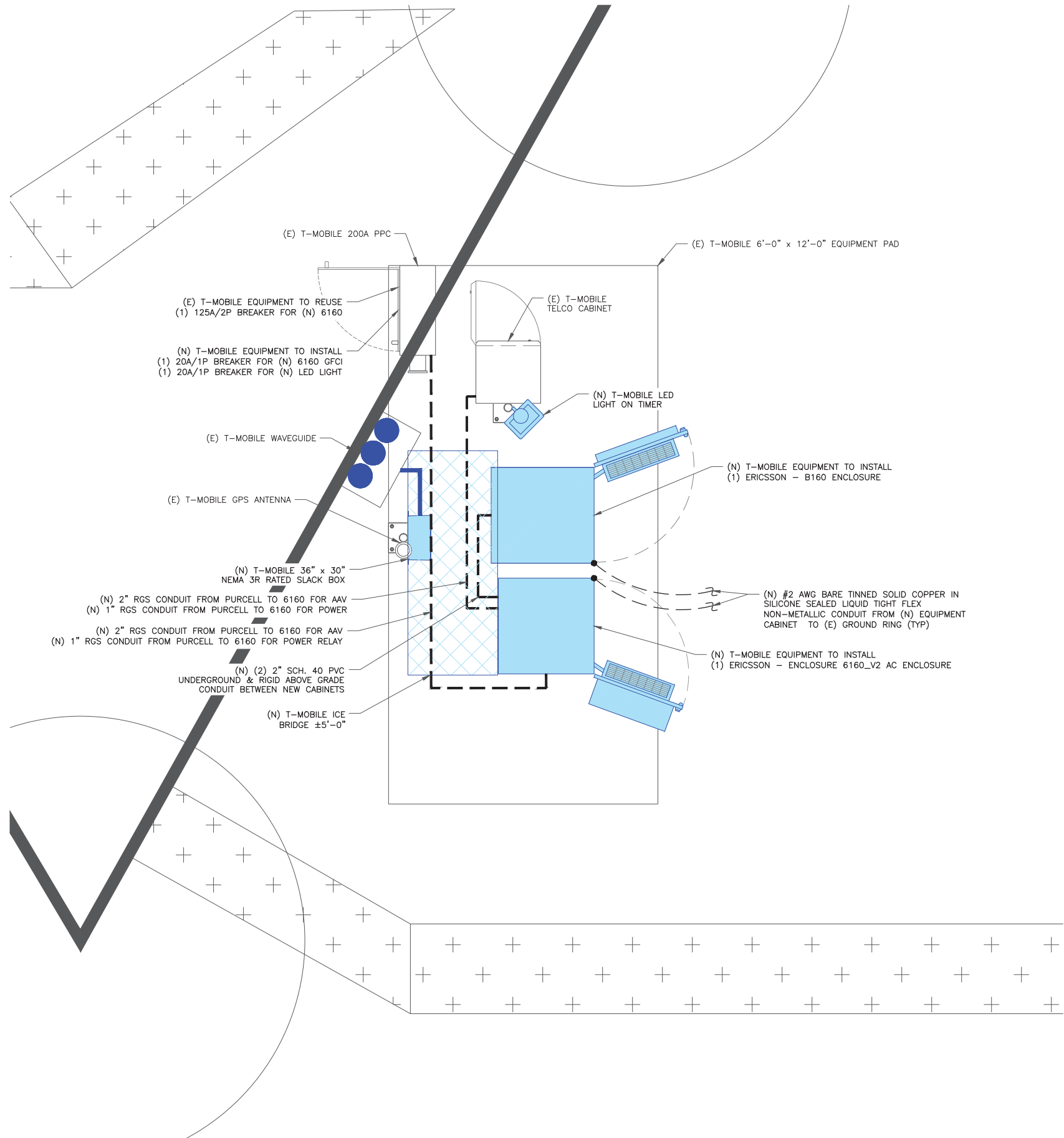
ALL METAL CONDUIT INSTALLED IN DIRECT CONTACT WITH THE EARTH SHALL BE CONSIDERED TO BE INSTALLED IN A SEVERELY CORROSIVE ENVIRONMENT AND IS REQUIRED TO HAVE SUPPLEMENTAL PROTECTION AGAINST CORROSION (NEC ARTICLE 342.10(B) & 344.10(B)(1)). THIS PROTECTION SHALL EITHER BE AN APPROVED MANUFACTURER INSTALLED PROTECTIVE COATING ON THE CONDUIT OR SHALL BE (2) LAYERS OF 10 MIL PVC PIPE WRAP TAPE INSTALLED USING OPPOSING SPIRAL WRAPS. ON VERTICAL PIPE THE OUTSIDE LAYER OF TAPE SHALL BE WRAPPED SO AS TO PROVIDE SHEDDING OF WATER (i.e. TAPE SHOULD WRAP IN AN UPWARD DIRECTION WITH LOWER WRAP BEING BENEATH THE WRAP ABOVE). SPIRAL WRAPS SHALL HAVE A MINIMUM OF 1/4" OVERLAP WITH THE PRECEDING TAPE WRAP. ANY OTHER METHODS OF CORROSION PROTECTION SHALL REQUIRE APPROVAL BY THE ENGINEER OF RECORD PRIOR TO BEING USED.



1 CONDUIT STUB UP DETAILS
SCALE: NOT TO SCALE



2 TRENCH DETAIL
SCALE: NOT TO SCALE



3 COMPOUND PLAN
SCALE: 3/4"=1'-0" (FULL SIZE)
3/8"=1'-0" (11x17)

T Mobile

CROWN
CASTLE

PM&A

P. MARSHALL & ASSOCIATES

3545 WHITEHALL PARK DRIVE, SUITE 450
CHARLOTTE, NORTH CAROLINA 28273

T-MOBILE SITE NUMBER:
4HY0568A

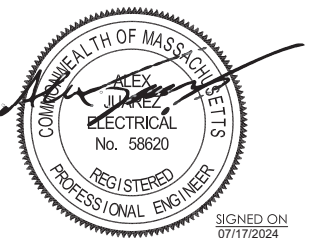
BU #: 841273
CROWN CASTLE SITE
NAME:
TRURO

344 ROUTE 6
NORTH TRURO, MA 02652

EXISTING 170'-0" SELF
SUPPORT TOWER

ISSUED FOR:

REV	DATE	DRWN	DESCRIPTION	DES./QA
0	05/17/2024	JS	FINAL	JS
1	06/13/2024	JS	FINAL	JS
2	06/28/2024	JS	FINAL	JS
3	07/16/2024	JS	CABLE ROUTING	JS



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07/17/2024

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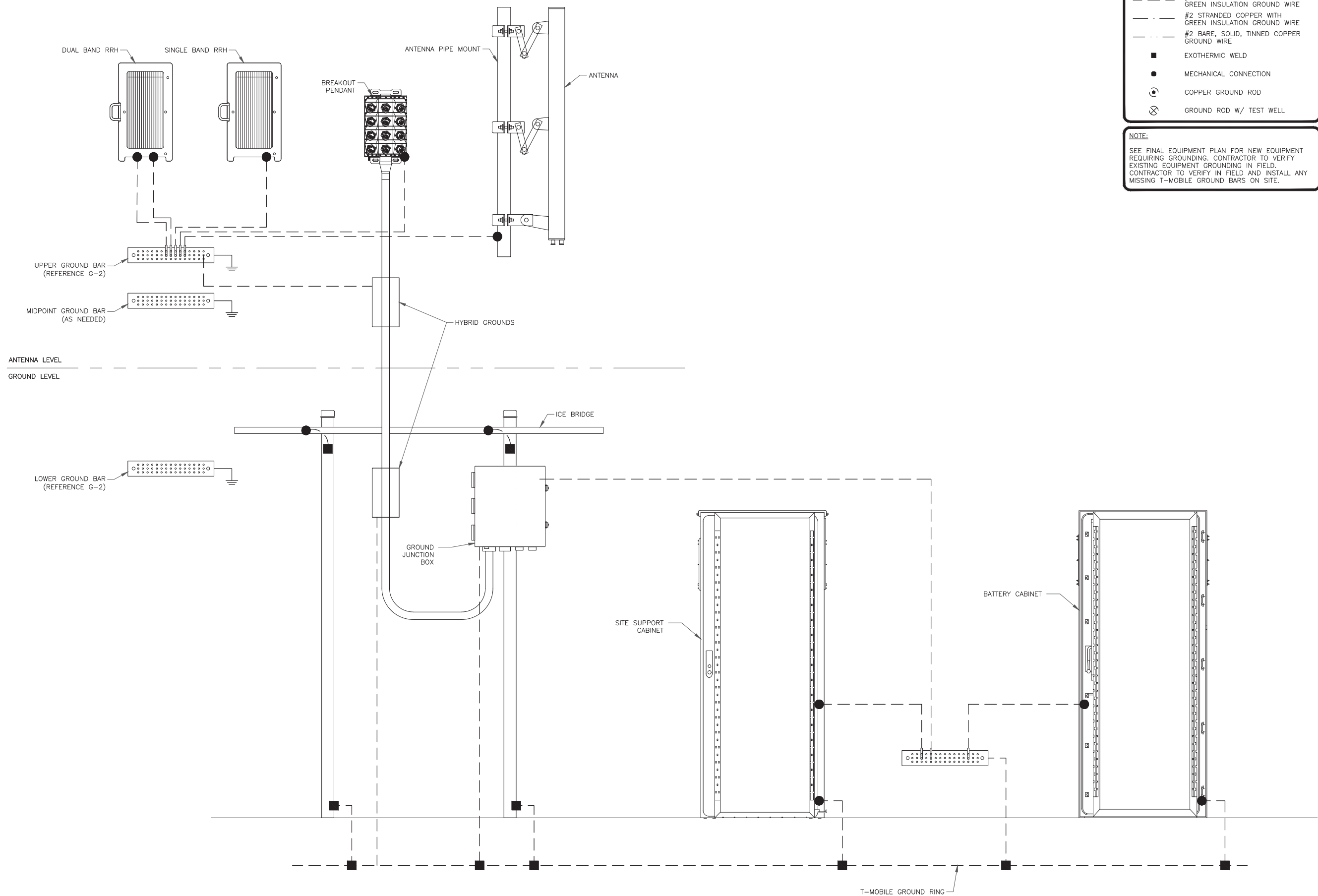
SHEET NUMBER:

E-2

REVISION:

3

TEMPLATENAME_DATEOFGENERATION



GROUNDING PLAN LEGEND:

- — — #6 STRANDED COPPER WITH GREEN INSULATION GROUND WIRE
- . — #2 STRANDED COPPER WITH GREEN INSULATION GROUND WIRE
- . . — #2 BARE, SOLID, TINNED COPPER GROUND WIRE
- EXOTHERMIC WELD
- MECHANICAL CONNECTION
- COPPER GROUND ROD
- ⊗ GROUND ROD W/ TEST WELL

NOTE:
SEE FINAL EQUIPMENT PLAN FOR NEW EQUIPMENT REQUIRING GROUNDING. CONTRACTOR TO VERIFY EXISTING EQUIPMENT GROUNDING IN FIELD. CONTRACTOR TO VERIFY IN FIELD AND INSTALL ANY MISSING T-MOBILE GROUND BARS ON SITE.

P. MARSHALL & ASSOCIATES
3545 WHITEHALL PARK DRIVE, SUITE 450
CHARLOTTE, NORTH CAROLINA 28273

T-MOBILE SITE NUMBER:
4HY0568A

BU #: **841273**
CROWN CASTLE SITE NAME:
TRURO

344 ROUTE 6
NORTH TRURO, MA 02652

EXISTING 170'-0" SELF SUPPORT TOWER

ISSUED FOR:				
REV	DATE	DRWN	DESCRIPTION	DES./QA
0	05/17/2024	JS	FINAL	JS
1	06/13/2024	JS	FINAL	JS
2	06/28/2024	JS	FINAL	JS

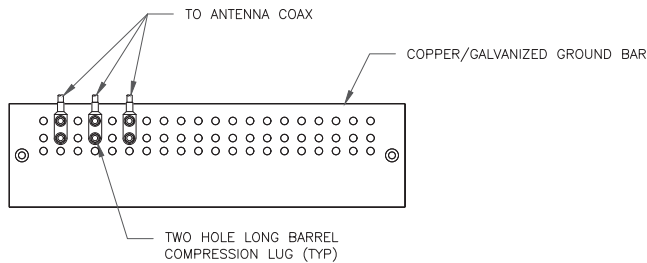
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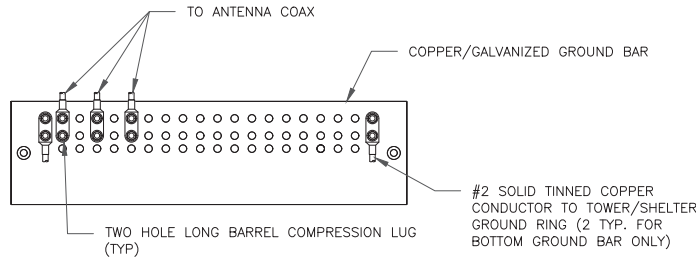
SHEET NUMBER:
G-1

REVISION:
2

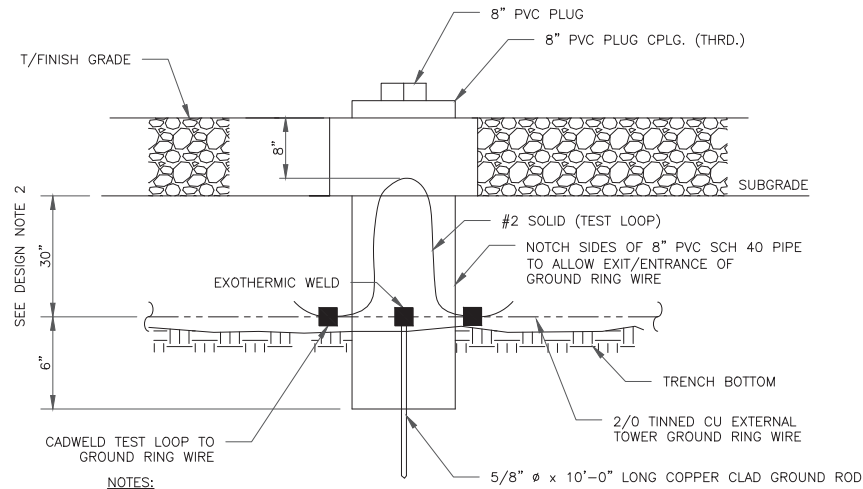
1 TYPICAL FINAL GROUNDING SCHEMATIC
SCALE: NOT TO SCALE



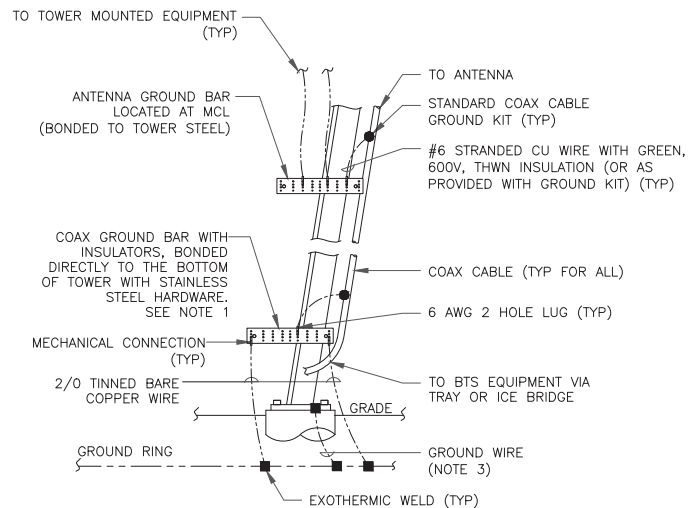
1 ANTENNA SECTOR GROUND BAR DETAIL
SCALE: NOT TO SCALE



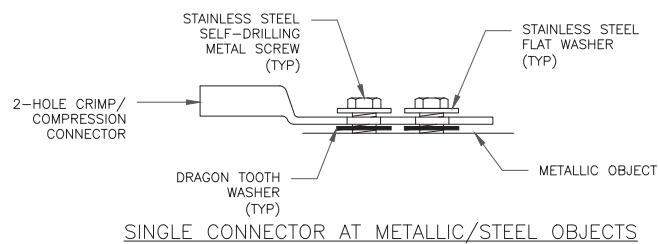
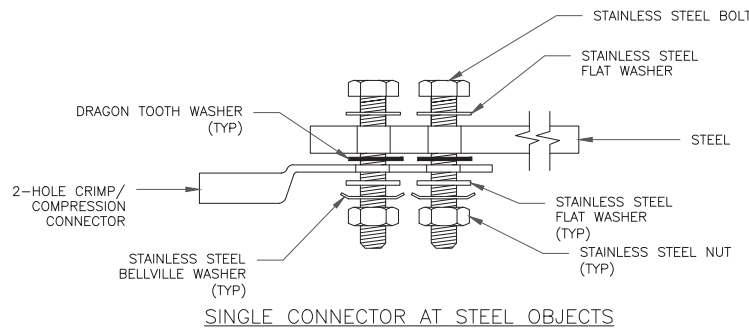
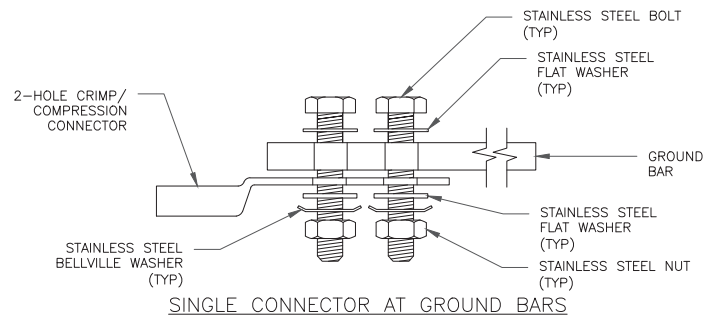
2 TOWER/SHELTER GROUND BAR DETAIL
SCALE: NOT TO SCALE



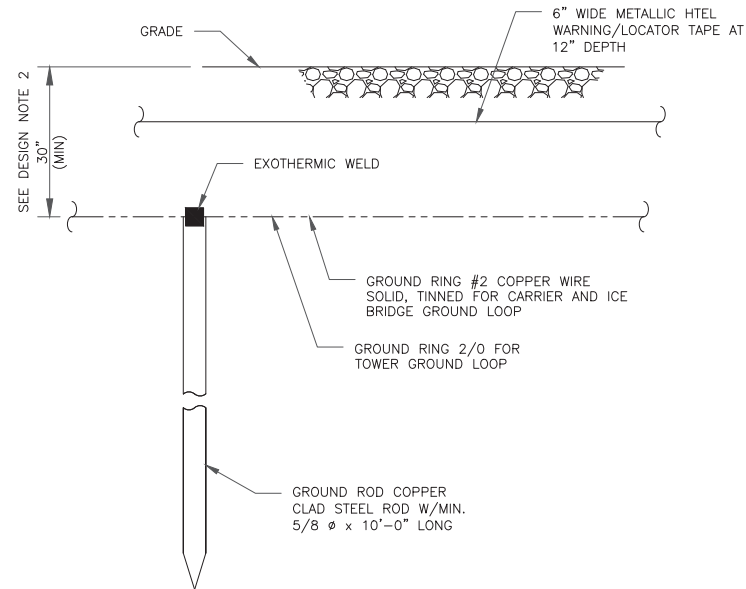
3 INSPECTION WELL DETAIL
SCALE: NOT TO SCALE



4 TYPICAL ANTENNA CABLE GROUNDING
SCALE: NOT TO SCALE



5 HARDWARE DETAIL FOR EXTERIOR CONNECTIONS
SCALE: NOT TO SCALE



6 GROUND ROD DETAIL
SCALE: NOT TO SCALE

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P. MARSHALL & ASSOCIATES

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CHARLOTTE, NORTH CAROLINA 28273

T-MOBILE SITE NUMBER:
4HY0568A

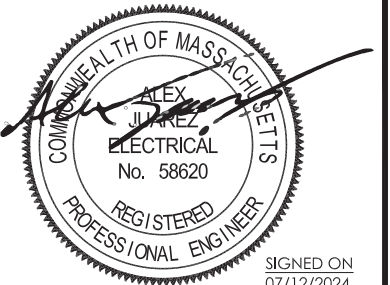
BU #: 841273
CROWN CASTLE SITE
NAME:
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344 ROUTE 6
NORTH TRURO, MA 02652

EXISTING 170'-0" SELF
SUPPORT TOWER

ISSUED FOR:

REV	DATE	DRWN	DESCRIPTION	DES./QA
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1	06/13/2024	JS	FINAL	JS
2	06/28/2024	JS	FINAL	JS



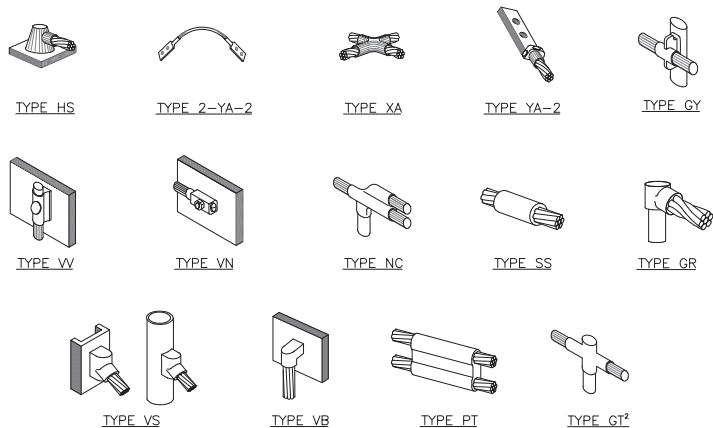
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SHEET NUMBER:

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REVISION:

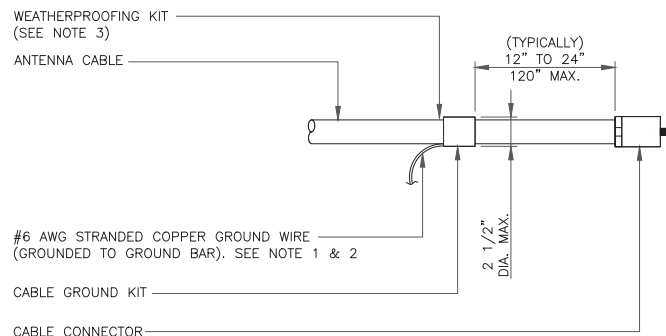
2



NOTE:

1. ERICO EXOTHERMIC "MOLD TYPES" SHOWN HERE ARE EXAMPLES. CONSULT WITH CONSTRUCTION MANAGER FOR SPECIFIC MOLDS TO BE USED FOR THIS PROJECT.
2. MOLD TYPE ONLY TO BE USED BELOW GRADE WHEN CONNECTING GROUND RING TO GROUND ROD.

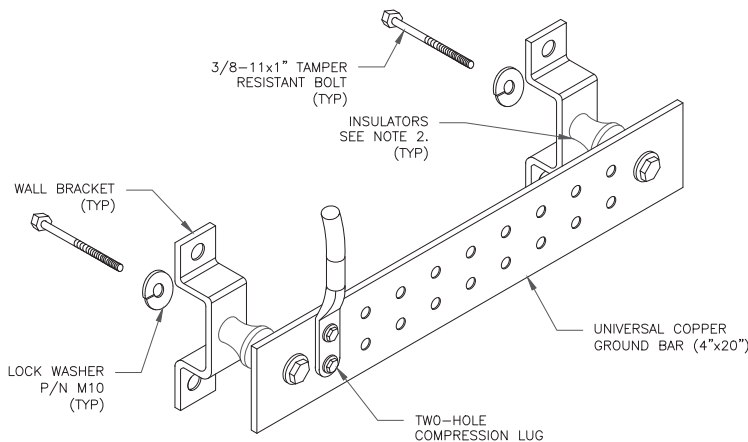
1 CADWELD GROUNDING CONNECTIONS
SCALE: NOT TO SCALE



NOTES:

1. DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.
2. GROUNDING KIT SHALL BE TYPE AND PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER.
3. WEATHER PROOFING SHALL BE TWO-PART TAPE KIT, COLD SHRINK SHALL NOT BE USED.

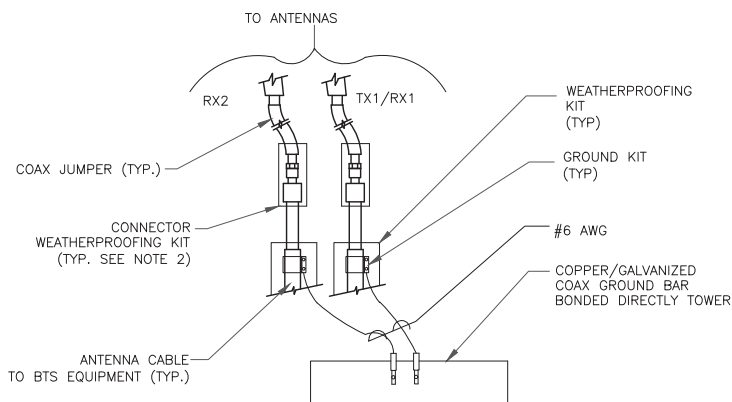
3 CABLE GROUND KIT CONNECTION
SCALE: NOT TO SCALE



NOTES:

1. DOWN LEAD (HOME RUN) CONDUCTORS ARE NOT TO BE INSTALLED ON CROWN CASTLE USA INC. TOWER, PER THE GROUNDING DOWN CONDUCTOR POLICY QAS-STD-10091. NO MODIFICATION OR DRILLING TO TOWER STEEL IS ALLOWED IN ANY FORM OR FASHION, CAD-WELDING ON THE TOWER AND/OR IN THE AIR ARE NOT PERMITTED.
2. OMIT INSULATOR WHEN MOUNTING TO TOWER STEEL OR PLATFORM STEEL. USE INSULATORS WHEN ATTACHING TO BUILDING OR SHELTERS.

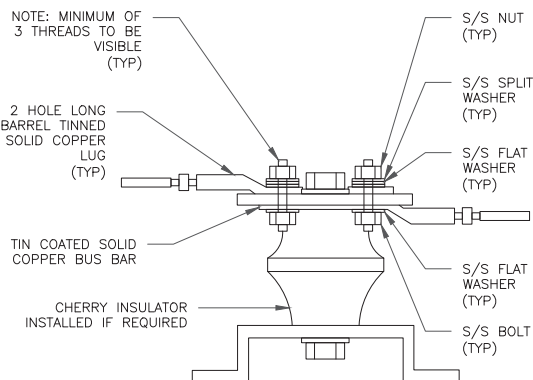
6 GROUND BAR DETAIL
SCALE: NOT TO SCALE



NOTES:

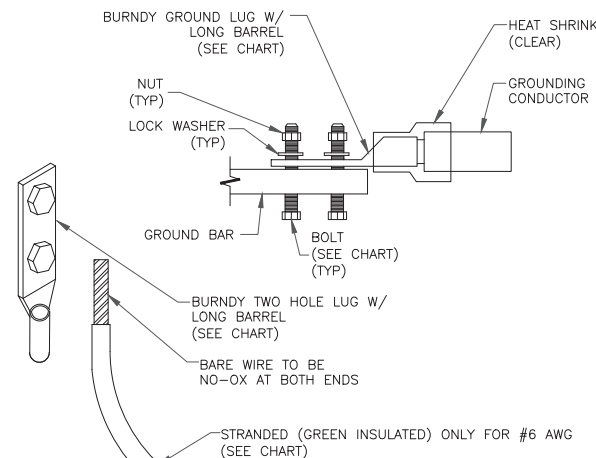
1. DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO ANTENNA GROUND BAR.
2. WEATHER PROOFING SHALL BE TWO-PART TAPE KIT. COLD SHRINK SHALL NOT BE USED.

4 GROUND CABLE CONNECTION
SCALE: NOT TO SCALE



7 LUG DETAIL
SCALE: NOT TO SCALE

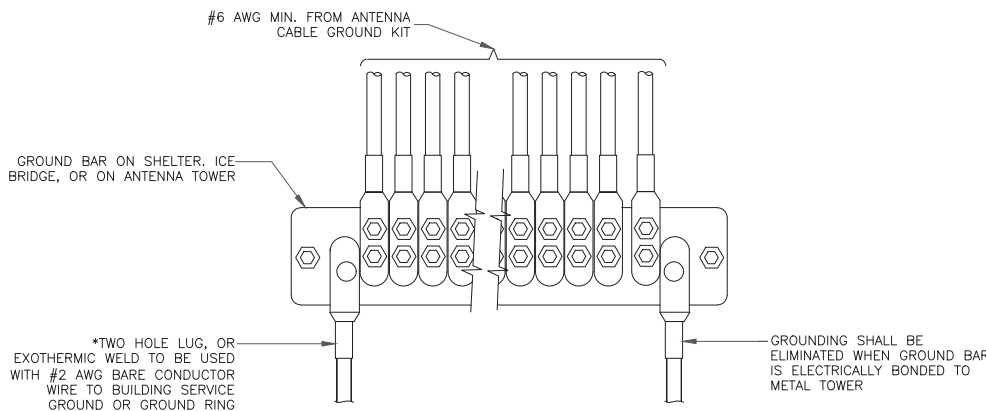
WIRE SIZE	BURNDY LUG	BOLT SIZE
#6 AWG GREEN INSULATED	YA6C-2TC38	3/8" - 16 NC S 2 BOLT
#2 AWG SOLID TINNED	YA3C-2TC38	3/8" - 16 NC S 2 BOLT
#2 AWG STRANDED	YA2C-2TC38	3/8" - 16 NC S 2 BOLT
#2/0 AWG STRANDED	YA26-2TC38	3/8" - 16 NC S 2 BOLT
#4/0 AWG STRANDED	YA28-2N	1/2" - 16 NC S 2 BOLT



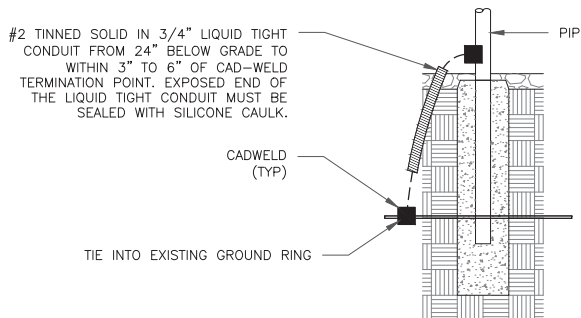
NOTES:

1. ALL GROUNDING LUGS ARE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. ALL HARDWARE BOLTS, NUTS, LOCK WASHERS SHALL BE STAINLESS STEEL. ALL HARDWARE ARE TO BE AS FOLLOWS: BOLT, FLAT WASHER, GROUND BAR, GROUND LUG, FLAT WASHER AND NUT.

2 MECHANICAL LUG CONNECTION
SCALE: NOT TO SCALE



5 GROUNDWIRE INSTALLATION
SCALE: NOT TO SCALE



8 TRANSITIONING GROUND DETAIL
SCALE: NOT TO SCALE

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CROWN CASTLE

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P. MARSHALL & ASSOCIATES

3545 WHITEHALL PARK DRIVE, SUITE 450
CHARLOTTE, NORTH CAROLINA 28273

T-MOBILE SITE NUMBER:
4HY0568A

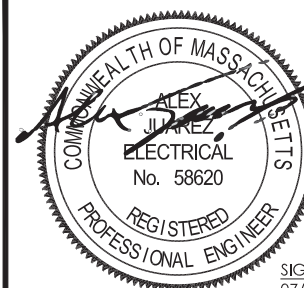
BU #: 841273
CROWN CASTLE SITE
NAME:
TRURO

344 ROUTE 6
NORTH TRURO, MA 02652

EXISTING 170'-0" SELF
SUPPORT TOWER

ISSUED FOR:

REV	DATE	DRWN	DESCRIPTION	DES./QA
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1	06/13/2024	JS	FINAL	JS
2	06/28/2024	JS	FINAL	JS



SIGNED ON
07/12/2024

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SHEET NUMBER:

G-3

REVISION:

2

RAN Template: 67D5D998E 6160	A&L Template: 67E5998E_1xAIR+1OP+1QP
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4HY0568A_Anchor_7_draft

Print Name:
Standard
Project IDs with associated PORs:
4HY0568A-0002111218
Anchor_Phase 3

Section 1 - Site Information

Site ID: 4HY0568A
Status: Draft
Version: 7
Project Type: Anchor
Approved: Not approved
Approved By: Not approved
Last Modified: 04/15/2024 5:33:11 PM
Last Modified By: Dessa.Jiminez4@T-Mobile.com

Site Name: HY568/Cingular Truro
Site Class: Self Support Tower
Site Type: Structure Non Building
Plan Year: 2022
Market: NEW ENGLAND MARKET
Vendor: Ericsson
Landlord: Crown Castle ATT

Latitude: 42.021908
Longitude: -70.074872
Address: 344 Route 6
City, State: Truro, MA
Region: NORTHEAST

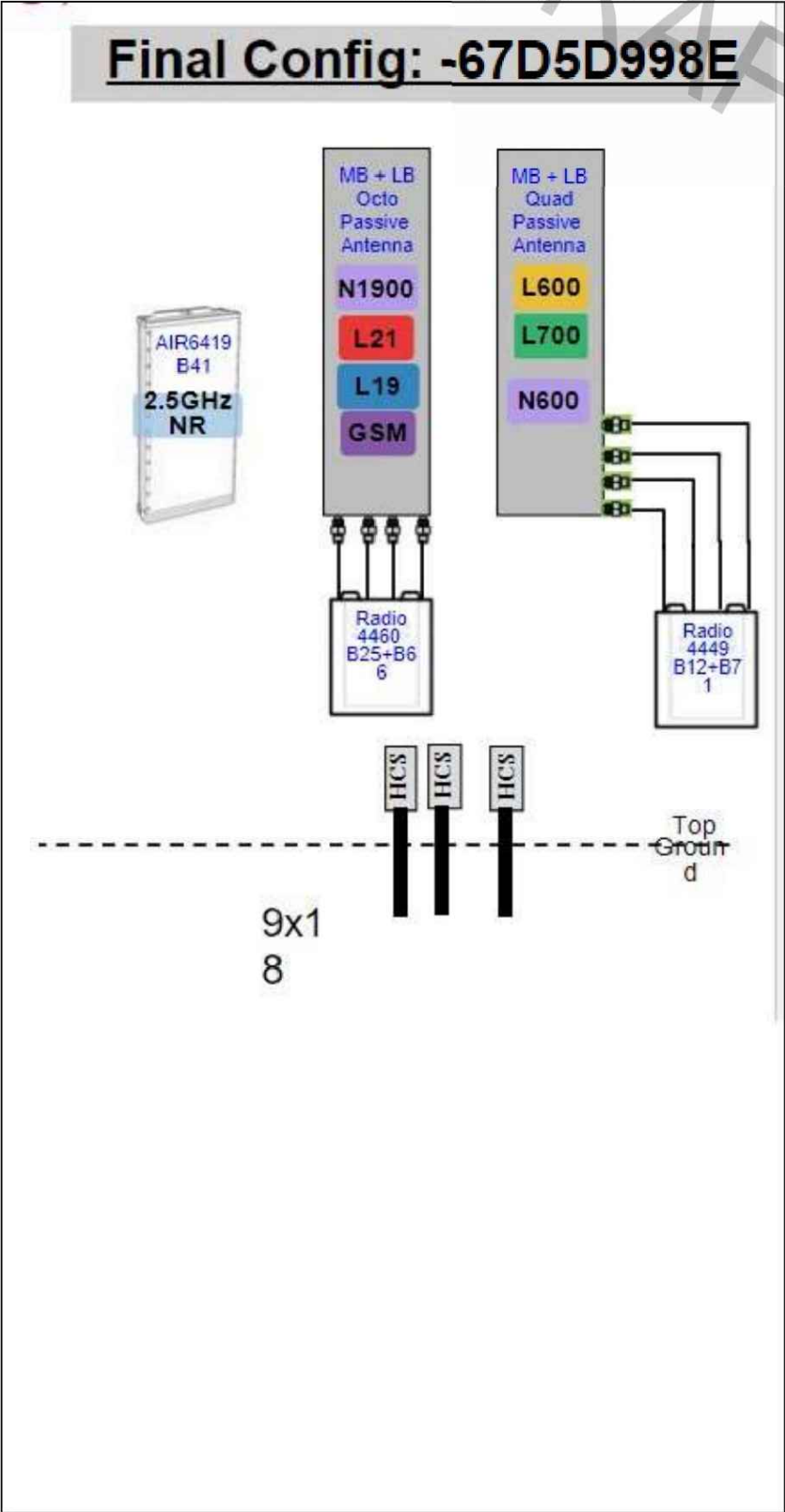
RAN Template: 67D5D998E 6160		AL Template: 67E5998E_1xAIR+1OP+1QP		
Sector Count: 3	Antenna Count: 9	Coax Line Count: 0	TMA Count: 0	RRU Count: 6

Section 2 - Existing Template Images

----- This section is intentionally blank. -----

Section 3 - Proposed Template Images

3Antenna_67D5D998E_1OP+1Q+1AIR.jpg



Notes:

Section 4 - Siteplan Images

----- This section is intentionally blank. -----

RAN Template: 67D5D998E 6160	A&L Template: 67E5998E_1xAIR+1OP+1QP
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Section 5 - RAN Equipment

Existing RAN Equipment

Template: 67D01D

Enclosure	1	2	3
Enclosure Type	Tower Top Mount (Ericsson)	RBS 2106	RBS 6131
Radio		dTRU/TRX (x 6) G1900	
Baseband			BB 6630 L2100 BB 6648 N600 L600 L700 DUW30 U1900 (DECOMMISSIONED)
Hybrid Cable System	Ericsson 6x12 HCS *Select AWG & Length* (x 3)		

Proposed RAN Equipment

Template: 67D5D998E 6160

Enclosure	1	2	3
Enclosure Type	Enclosure 6160_v2 AC	RBS 6601	B160
Baseband	BB 6630 N1900 L1900 L2100 BB 6648 N600 L600 L700 RP 6651 N2500	DUG20 G1900	
Transport System	CSR IXRe V2 (Gen2)		
Hybrid Cable System	Hybrid Trunk 6/24 4AWG 50m (x 3)		

RAN Scope of Work:

4/15/2024 -
Per Crown's records, RAD updated to 98' instead of 97'

RAN Template: 67D5D998E 6160	A&L Template: 67E5998E_1xAIR+1OP+1QP
---------------------------------	---

4HY0568A_Anchor_7_draft

Print Name:
Standard
Project IDs with associated PORs:
4HY0568A-0002111218
Anchor_Phase 3

Section 6 - A&L Equipment

Existing Template: 67D01D_1xAIR+1OP
Proposed Template: 67E5998E_1xAIR+1OP+1QP

Sector 1 (Existing) view from behind

Coverage Type	A - Outdoor Macro									
Antenna	1		2		3					
Antenna Model	AIR21_KRC118023/1_B2P_B4A (Quad)		Empty Antenna Mount (Empty mount)		APXVAALL24_43-U-NA20 (Octo)					
Azimuth	350				350					
M. Tilt	0				0					
Height (ft)	98		98		98					
Ports	P1	P2			P3	P4	P5	P6		
Active Tech		L2100			L700 L600 N600	L700 L600 N600	G1900			
Dark Tech										
Restricted Tech										
Decomm. Tech	U1900									
E. Tilt	4		4		4		4			
Cables	Fiber Jumper Coax Jumper (x2)	Fiber Jumper (x2)			Coax Jumper (x2) Fiber Jumper	Coax Jumper (x2) Fiber Jumper	Coax Jumper (x2) 7/8" Coax - 110 ft. (x2)			
TMA							RFS Twin Style 1A - ATM190 0D- 1A20 (At Antenna)			
Diplexer / Combiners										
Radio	RRUS11 B2 (At Antenna)				Radio 4449 B71+B 85 (At Antenn a)	Radio 4449 B71+B 85 (At Antenn a)				
Sector Equipment										

Unconnected Equipment:

Cable: 1-1/4" Coax - 110 ft. (x2)

Scope of Work:

*A dashed border indicates shared connected equipment. Any shared equipment, besides the first, is denoted with the SHARED keyword.

RAN Template: 67D5D998E 6160	A&L Template: 67E5998E_1xAIR+1OP+1QP
---------------------------------	---

4HY0568A_Anchor_7_draft

Print Name:
Standard
Project IDs with associated PORs:
4HY0568A-0002111218
Anchor_Phase 3

Sector 1 (Proposed) view from behind

Coverage Type	A - Outdoor Macro									
Antenna	1		2		3					
Antenna Model	APXVAALL24_43-U-NA20 (Octo)		AIR 6419 B41 (Active Antenna - Massive MIMO)		APXVLL19P_43-C-A20 (Quad)					
Azimuth	350		350		350					
M. Tilt	0		0		0					
Height (ft)	98		98		98					
Ports	P1	P2	P3	P4	P5	P6	P7	P8		
Active Tech	L600 L700 N600	L600 L700 N600			N2500	N2500	G1900 L1900 L2100 N1900	G1900 L1900 L2100 N1900		
Dark Tech										
Restricted Tech										
Decomm. Tech										
E. Tilt										
Cables	Coax Jumper (x2)	Coax Jumper (x2)			Fiber Jumper (x2)	Fiber Jumper (x2)	Coax Jumper (x2)	Coax Jumper (x2)		
TMA										
Diplexer / Combiners										
Radio	Radio 4449 B71+B 85 (At Antenn a)	Radio 4449 B71+B 85 (At Antenn a)					Radio 4460 B25+B66 (At Antenna)	Radio 4460 B25+B66 (At Antenna)		
Sector Equipment										

Unconnected Equipment:

Scope of Work:

*A dashed border indicates shared connected equipment. Any shared equipment, besides the first, is denoted with the SHARED keyword.

RAN Template:
67D5D998E 6160

A&L Template:
67E5998E_1xAIR+1OP+1QP

4HY0568A_Anchor_7_draft

Print Name:
Standard
Project IDs with associated PORs:
4HY0568A-0002111218
Anchor_Phase 3

Sector 2 (Existing) view from behind									
Coverage Type	A - Outdoor Macro								
Antenna	1		2		3				
Antenna Model	AIR21_KRC118023/1_B2P_B4A (Quad)		Empty Antenna Mount (Empty mount)		APXVAALL24_43-U-NA20 (Octo)				
Azimuth	130				130				
M. Tilt	0				0				
Height (ft)	98		98		98				
Ports	P1	P2		P3	P4	P5	P6		
Active Tech		L2100		L700 L600 N600	L700 L600 N600	G1900			
Dark Tech									
Restricted Tech									
Decomm. Tech	U1900								
E. Tilt	4	4		4	4	4			
Cables	Fiber Jumper Coax Jumper (x2)	Fiber Jumper (x2)		Coax Jumper (x2) Fiber Jumper	Coax Jumper (x2) Fiber Jumper	Coax Jumper (x2) 7/8" Coax - 110 ft. (x2)			
TMA						RFS Twin Style 1A - ATM190 0D-1A20 (At Antenna)			
Diplexer / Combiners									
Radio	RRUS11 B2 (At Antenna)			Radio 4449 B71+B85 (At Antenna)	Radio 4449 B71+B85 (At Antenna)				
Sector Equipment									
Unconnected Equipment:									
Scope of Work:									
*A dashed border indicates shared connected equipment. Any shared equipment, besides the first, is denoted with the SHARED keyword.									

RAN Template:
67D5D998E 6160

A&L Template:
67E5998E_1xAIR+1OP+1QP

4HY0568A_Anchor_7_draft

Print Name:
Standard
Project IDs with associated PORs:
4HY0568A-0002111218
Anchor_Phase 3

Sector 2 (Proposed) view from behind									
Coverage Type	A - Outdoor Macro								
Antenna	1		2		3				
Antenna Model	APXVAALL24_43-U-NA20 (Octo)		AIR 6419 B41 (Active Antenna - Massive MIMO)		APXVLL19P_43-C-A20 (Quad)				
Azimuth	130		130		130				
M. Tilt	0		0		0				
Height (ft)	98		98		98				
Ports	P1	P2	P3	P4	P5	P6	P7	P8	
Active Tech	L700 N600 L600	L700 N600 L600			N2500	N2500	G1900 L1900 L2100 N1900	G1900 L1900 L2100 N1900	
Dark Tech									
Restricted Tech									
Decomm. Tech									
E. Tilt									
Cables	Coax Jumper (x2)	Coax Jumper (x2)			Fiber Jumper (x2)	Fiber Jumper (x2)	Coax Jumper (x2)	Coax Jumper (x2)	
TMA									
Diplexer / Combiners									
Radio	Radio 4449 B71+B85 (At Antenna)	Radio 4449 B71+B85 (At Antenna)					Radio 4460 B25+B66 (At Antenna)	Radio 4460 B25+B66 (At Antenna)	
Sector Equipment									
Unconnected Equipment:									
Scope of Work:									
*A dashed border indicates shared connected equipment. Any shared equipment, besides the first, is denoted with the SHARED keyword.									

RAN Template:
67D5D998E 6160

A&L Template:
67E5998E_1xAIR+1OP+1QP

4HY0568A_Anchor_7_draft

Print Name:
Standard
Project IDs with associated PORs:
4HY0568A-0002111218
Anchor_Phase 3

Sector 3 (Existing) view from behind										
Coverage Type	A - Outdoor Macro									
Antenna	1			2			3			
Antenna Model	AIR21_KRC118023/1_B2P_B4A (Quad)			Empty Antenna Mount (Empty mount)			APXVAALL24_43-U-NA20 (Octo)			
Azimuth	240						240			
M. Tilt	0						0			
Height (ft)	98			98			98			
Ports	P1		P2				P3	P4	P5	P6
Active Tech		L2100			L700 L600 N600	L700 L600 N600	G1900			
Dark Tech										
Restricted Tech										
Decomm. Tech	U1900									
E. Tilt	4		4				4	4	4	
Cables	Fiber Jumper Coax Jumper (x2)	Fiber Jumper (x2)			Coax Jumper (x2) Fiber Jumper	Coax Jumper (x2) Fiber Jumper	Coax Jumper (x2) 7/8" Coax - 110 ft. (x2)			
TMA							RFS Twin Style 1A - ATM190 0D-1A20 (At Antenna)			
Diplexer / Combiners										
Radio	RRUS11 B2 (At Antenna)				Radio 4449 B71+B85 (At Antenna)	Radio 4449 B71+B85 (At Antenna)				
Sector Equipment										
Unconnected Equipment:										
Scope of Work:										
*A dashed border indicates shared connected equipment. Any shared equipment, besides the first, is denoted with the SHARED keyword.										

RAN Template:
67D5D998E 6160

A&L Template:
67E5998E_1xAIR+1OP+1QP

4HY0568A_Anchor_7_draft

Print Name:
Standard
Project IDs with associated PORs:
4HY0568A-0002111218
Anchor_Phase 3

Sector 3 (Proposed) view from behind										
Coverage Type	A - Outdoor Macro									
Antenna	1			2			3			
Antenna Model	APXVAALL24_43-U-NA20 (Octo)			AIR 6419 B41 (Active Antenna - Massive MIMO)			APXVLL19P_43-C-A20 (Quad)			
Azimuth	240			240			240			
M. Tilt	0			0			0			
Height (ft)	98			98			98			
Ports	P1	P2	P3	P4	P5	P6	P7	P8		
Active Tech	N600 L600 L700	N600 L600 L700			N2500	N2500	L1900 G1900	L2100 N1900	L1900 G1900	L2100 N1900
Dark Tech										
Restricted Tech										
Decomm. Tech										
E. Tilt										
Cables	Coax Jumper (x2)	Coax Jumper (x2)			Fiber Jumper (x2)	Fiber Jumper (x2)	Coax Jumper (x2)	Coax Jumper (x2)		
TMA										
Diplexer / Combiners										
Radio	Radio 4449 B71+B85 (At Antenna)	Radio 4449 B71+B85 (At Antenna)					Radio 4460 B25+B66 (At Antenna)	Radio 4460 B25+B66 (At Antenna)		
Sector Equipment										
Unconnected Equipment:										
Scope of Work:										
*A dashed border indicates shared connected equipment. Any shared equipment, besides the first, is denoted with the SHARED keyword.										

SEPT. 24, 2024

TRURO PLANNING BOARD
TRURO TOWN HALL

DEAR MEMBERS,

I would like to withdraw my complaint or challenge to the subdivision plan on 32 Union Field Road. I interpreted the plan incorrectly and apologize ~~me~~ for my error. I support the plan.

Thank you.

Sincerely,

Danny

Daniel Duarte

PO Box 199
TRURO, MA 02666

Truro Planning Board
24 Town Hall Road
PO Box 2030
Truro, Ma 02666

RCVD 2024SEP20 AM1005

ADMINISTRATIVE OFFICE

TOWN OF TRURO

Dear Members,

I am writing this in reference to the Preliminary Subdivision Plan of 32 Union Field Road. My sole concern is the road that is to be used. It is doubtful that the road is wide enough to support a subdivision by Town standards. Also, if the subdivision were to be approved, what is to become of this road down to the Old Kings Highway? Obviously, it can't be blocked off, but what condition will it be left in?

Can you please look into these matters and get back to me at your convenience. Thank you for your attention.

Sincerely,

DANNY

Daniel Duarte
PO Box 199
Truro, MA 02666

Virginia Beach, Va.
6 February 1978

Mr. Danny Duarte
Box 199
Truro, Ma. 02666

Dear Danny,

Your proposal for an underground power line to run as indicated on the Plat you sent along the borders of my property is agreeable to me under the following conditions:

1. The underground cable is to run parallel to the borders of Lot 4 no further than five feet into Lot 4.
2. The underground cable is to be buried deep enough so that should I decide to route a driveway over it, there will be no interference. (I believe 18 inches is standard.)
3. No trees will be damaged by the laying of the cable.
4. The ground that is dug will be returned to a natural appearance following the installation.
5. I accept no responsibility for the cable or its maintenance.

If you accept the above conditions, I grant you a five foot easement as indicated on the Plat solely for the purpose of laying an underground electrical power cable. Additionally, Al Tinker may share in this easement under the same conditions for the same purpose provided the two cables are laid at the same time.

Please inform me if you accept the conditions. If you can't live with some or all of them, let me know and we'll talk about it.

Good luck.



Nathaniel B. Dyer, Jr.
3708 Filmore Rd.
Virginia Beach
Va. 23452

UNDERGROUND RELEASE

April 10 19 78

NEW BEDFORD GAS AND EDISON LIGHT COMPANY

Provincetown, Mass.

Gentlemen:

I/We hereby make application for electric service at Old Kings Hwy,
Tauro, Mass. It is understood and agreed
that any pole line, underground cable, transformer foundation and associated materials,
not on a town way or secured right of way, necessary to supply the desired service will
be constructed at my/our expense, and starting at pole no 77/15 Union Field
Rd Tauro Mass
the pole line, underground cable, transformer foundation and associated materials will,
when installed, be owned and maintained by the undersigned, owner of the premises, in
accordance with the Company's construction requirements. The Company will supply,
own, maintain and operate the transformer.

It is further understood and agreed that the Company's responsibility to continue
supplying electricity will terminate at pole no 77/15 Union Field Rd
Tauro Mass
and electric service is accepted with the express condition that the Company shall not
be liable for loss or damage to any person or property whatsoever resulting directly, or
indirectly, from the use or misuse, or presence, or transmission of electricity on
premises, or through equipment owned by the undersigned or others.

Jimmy Luarte
Owner

Albert C Martin
Witness



EAST-SOUTHEAST, LLC

J. Thaddeus Eldredge, P.L.S.

Surveying, Geomatics Engineering and Mapping

1038 Main Street ° Chatham, Massachusetts 02633

41°41'14.73425" N 69°58'24.87695" W -10.019 M

LETTER OF TRANSMITTAL

September 12, 2024

Town of Truro Planning Board

Truro Town Hall

24 Town Hall Road

P.O. Box 2030

Truro, MA 02666

Re: **PRELIMINARY Subdivision Plan**

Ann D. Dyer Revocable Trust

32 Union Field Road

Assessors' ID 47-21

Dear Board Members:

Pursuant to § 81 S of Chapter 41 of the General Laws and § 2.4 of the Rules and Regulations Governing the Subdivision of Land, Truro, Massachusetts, please find the following:

- Ten (10) copies of **Form B: Application for Approval of a Preliminary Plan**;
- Ten (10) copies of the **PRELIMINARY Plan** dated July 24, 2024;
- Ten (10) copies of the **Certified Abutters List**;
- Copy of letter to the **Board of Health**; and
- Filing fee of \$275.00 payable to the Town of Truro.

The applicants have inherited the subject property and would like to divide it into two parcels, one for each sibling. One sibling is planning to build sooner than the other and they would like for the Board to consider a waiver of some or all of the improvements until the second lot is developed.

The property is at the end of Union Field Road / Union Field End. One lot has a substantial amount of frontage along Union Field End while the other will enjoy

frontage from a proposed road extension. If necessary, a temporary cul de sac has been depicted.

The road itself has been designed with a 60' wide section and a 40' wide section. This will allow for the utilities and stormwater system to be sited within the road layout. No easement or utility parcel will be needed.

There is adequate room on each lot for a well and compliant septic system. The rough septic systems have been designed for 5-bedrooms with a Nitroe I/A component. These may be downgraded to standard title 5, but the Health Agent prefers the idea of leaving space for the Nitroe system so it may be installed in the future.

The property is within the mapped estimated and priority habitat. The initial proposal is to segregate 34.5% of the overall property in a Restrictive Easement. This will be submitted to the National Heritage and Endangered Species program for their review. The definitive plan will incorporate an appropriate amount of protected open space for the species involved.

Should the planning board feel inclined to require improvements to the road for their approval, a 14' wide stone roadway has been depicted. The improvements have been extended to Blackberry Road where a leaching basin has been sited.

The following waivers and relief are to be reviewed:

- Road Construction – As the roadway leading to locus does not meet the design standards, it would be logical to extend a similar construction to locus.
- Stormwater Construction – If the full road construction requirements are waived, then perhaps the stormwater construction could be waived as well.

At your earliest convenience, please advise me of the date and time of the meeting to present this plan to the Board for review and comment by its members.

Thank you for your consideration in this matter.

Respectfully,

EAST-SOUTHEAST, LLC


J. Thaddeus Eldredge, PLS

Enclosures

Y:\Clients\Dyer, Susan Lambert and Bill 5469\Planning Board\Preliminary Subdivision\01 LOT Planning Board 2024-09-12.docx



Town of Truro Planning Board

P.O. Box 2030, Truro, MA 02666

FORM B

APPLICATION FOR APPROVAL OF A PRELIMINARY PLAN

To the Planning Board of the Town of Truro, MA

Date August 5, 2024

The undersigned, being the applicant as defined under Chapter 41, Section 81-L, for approval of a proposed subdivision shown on a plan entitled Preliminary Plan

by East-SouthEast, LLC dated June 18, 2024 and described as follows:

Located: 32 Union Field Road Assessor's Map(s) and Parcel(s): 47-21

Number of Lots Proposed: 2 Total Acreage of Tract: 2.637

Said applicant hereby submits said plan as a *Preliminary* subdivision plan in accordance with the Rules and Regulations of the Truro Planning Board and makes application to the Board for approval of said plan.

The undersigned's title to said land is derived under deed from Ann D. Dyer, dated March 10, 2006, and recorded in the Barnstable Registry of Deeds Book and Page 20865-248 or Land Court Certificate of Title No. _____ registered in Barnstable County.

Applicant:

Susan Dyer Lambert and William R. Dyer

(Printed Name of Applicant)

Susan Dyer Lambert / William R. Dyer

(Signature of Applicant)

Applicant's Telephone Number(s) 757-650-9684

Applicant's Legal Mailing Address 425 Susan Constant Drive, Virginia Beach VA 23451

Owner's Signature if not the applicant
or applicant's authorization if not the owner:

Susan Dyer Lambert / William R. Dyer

(Printed Name)

Susan Dyer Lambert / William R. Dyer

(Signature)

Owner's Legal Mailing Address 425 Susan Constant Drive, Virginia Beach VA 23451

Surveyor Name/Address J. Thaddeus Eldredge (East-SouthEast, LLC) 1038 Main Street, Chatham MA 02633
(or person responsible for preparation of the plan)

File ten (10) copies each of this form and applicable plan(s) with the Town Clerk; and a complete copy, including all plans and attachments, submitted electronically to the Planning Department Assistant at esturdy@truro-ma.gov

Zoning Compliance Table		
Zone		Residential
Lot area	Existing	Required
or	114,866 S.F.±	33,750 S.F.
	2.637 Ac.±	0.775 Ac.
Frontage	218.00 Ft.	150 Ft.
Front setback	- Ft.	25 Ft.
Side 1 setback	- Ft.	25 Ft.
Side 2 setback	- Ft.	25 Ft.
Rear setback	- Ft.	25 Ft.
Building height	- Ft.	30 Ft.

Zoning Compliance Table Lot 1		
Zone		Residential
Lot area	Existing	Required
or	51,223 S.F.±	33,750 S.F.
	1.176 Ac.±	0.775 Ac.
Frontage	254.29 Ft.	150 Ft.
Front setback	- Ft.	25 Ft.
Side 1 setback	- Ft.	25 Ft.
Side 2 setback	- Ft.	25 Ft.
Rear setback	- Ft.	25 Ft.
Building height	- Ft.	30 Ft.

Zoning Compliance Table Lot 2		
Zone		Residential
Lot area	Existing	Required
or	51,242 S.F.±	33,750 S.F.
	1.176 Ac.±	0.775 Ac.
Frontage	157.86 Ft.	150 Ft.
Front setback	- Ft.	25 Ft.
Side 1 setback	- Ft.	25 Ft.
Side 2 setback	- Ft.	25 Ft.
Rear setback	- Ft.	25 Ft.
Building height	- Ft.	30 Ft.

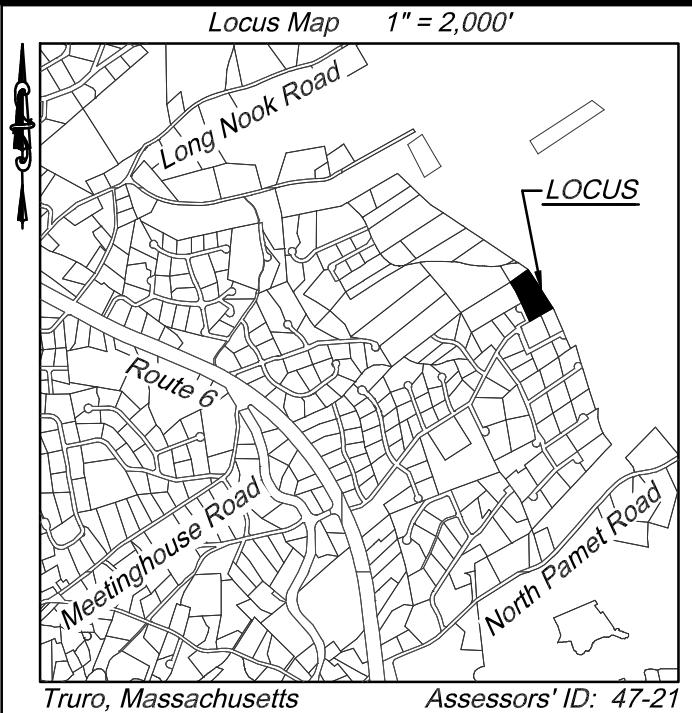
MESA AREAS	
Total Lot Area	114,866 S.F.±
or	2.637 Ac.±
Total Restrictive Easement	39,594 S.F.±
or	34.5%
Lot 1	51,227 S.F.±
Lot 1 Restrictive Easement	19,795 S.F.±
or	38.6%
Lot 2	51,218 S.F.±
Lot 2 Restrictive Easement	19,798 S.F.±
or	38.7%

Old Kings Highway
(County Way)



LEGEND

- Building
 - Step
 - Outdoor Shower
 - Chimney
 - Bay Window
 - Window Well
 - Foundation
 - Deck
 - Air Conditioning Unit
 - Generator
 - Interval Contour
 - Index Contour
 - Top of Slope
 - Bottom of Slope
 - Contour Label
 - Brick Wall
 - Concrete Wall
 - Stone Wall
 - Above Ground Pool
 - In Ground Pool
 - Edge of Brush
 - Coniferous Bush
 - Deciduous Bush
 - Edge of Garden
 - Edge of Landscaping
 - Edge of Lawn
 - Coniferous Tree
 - Deciduous Tree
 - Treeline
 - Chain Link Fence
 - Guardrail
 - Picket Fence
 - Post and Rail Fence
 - Stockade Fence
 - Wire Fence
 - Solid Fence
 - Mailbox
 - Concrete Bollard
 - Metal Bollard
 - Flag Pole
 - Centerline
 - Striping
 - Edge of Asphalt
 - Edge of Brick
 - Edge of Concrete
 - Asphalt Curb
 - Concrete Curb
 - Stone Curb
 - Edge of Dirt
 - Flowline
 - Edge of Rock
 - Edge of Shell
 - Edge of Stone
 - Edge of Tile
 - Edge of Wood
- Spot Lamp
 - Wooden Lamp
 - Metal Lamp
 - Concrete Lamp
 - Utility Manhole
 - Electric Meter
 - Electric Manhole
 - Electric Box
 - Electric Transformer
 - Guy Pole
 - Utility Pole
 - Guy Wire
 - Anchor
 - Telephone Pedestal
 - Telephone Manhole
 - Cable Manhole
 - Cable Pedestal
 - Underground Communications Line
 - Gas Meter
 - Gas Manhole
 - Gas Gate
 - Gas Line
 - Sewer Service
 - Sewer Cleanout
 - Sewer Valve
 - Sewer Manhole
 - Sewer Main
 - Septic Vent
 - Septic Cleanout
 - Septic Manhole
 - Septic Line
 - Sprinkler Head
 - Irrigation Control Box
 - Irrigation Line
 - Monitoring Well
 - Well
 - Water Shut Off
 - Water Meter Pit
 - Water Valve
 - Hydrant
 - Water Main
 - Catch Basin
 - Drainage Manhole
 - Round Catch Basin
 - Drainage Line



PRELIMINARY PLAN

32 Union Field Road, Truro, Massachusetts
July 24, 2024

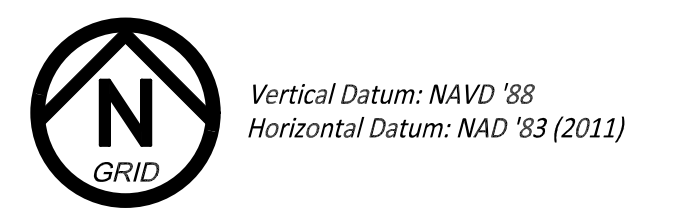
OWNER OF RECORD:
Ann D. Dyer, Trustee of the
Ann D. Dyer Revocable Trust
Deed Book 20,865, Page 248
Plan Book 246, Page 39, Lot 4

Description of Revision	Date

SUSAN DYER LAMBERT
AND WILLIAM DYER

EAST-SOUTHEAST, LLC

www.ese-llc.com * office@ese-llc.com
1033 Main Street, Chatham, MA 02633
(508) 945-3965 * Fax: (508) 945-5885



NOTES:

The stormwater system opposite Blackberry Road has been depicted as one 6x6 leach pit with 4' of stone. Design to be completed.

The stormwater system at the subject property has been depicted as a pair of bioretention basins with an overflow 6x6 leach pit with 4' of stone. Design to be completed.

The septic systems depicted on Lots 1 and 2 are sized for 5-bedrooms with a Kleantu Nitroce Septic Component. Design to be completed at the time of lot development.

The roadway depicted is a 14' way with a proposed stone surface. The cul de sac is an 18' wide surface with an island. As described in the application, the Applicants would like to develop one lot now and are requesting a waiver on road construction until the second lot is proposed to be developed.

2.4 - PRELIMINARY SUBDIVISION PLAN REVIEW CHECKLIST - Applicant

Address: <u>32 Union Field Road</u> Applicant Name: <u>Ann D. Dyer Revocable Trust</u> Date: <u>09/12/2024</u>				
No.	Requirement	Included	Not Included	Explanation, if needed
<u>2.4.2 Submission Requirements for Preliminary Plans</u>				
A submission of a Preliminary Plan shall include the following supporting documentation:				
a.	A properly executed application for Subdivision Preliminary Plan Review. (Form B)	✓		
b.	A list of the names and addresses of all abutters, as defined in Section 1.6 and as certified by the Deputy Assessor.	✓		
c.	Twelve (12) copies of the plan showing:	✓		10 copies per Procedure for Submitting Applications
c.1	the subdivision name, boundaries, north point, date, scale, legend and title "Preliminary Plan";	✓		
c.2	the names of the record owner and the applicant and the name of the designer, engineer or surveyor;	✓		
c.3	the names of all abutters, as determined from the most recent local tax list;	✓		
c.4	the existing and proposed lines of streets, ways, easements and any public areas within the subdivision in a general manner;	✓		
c.5	the proposed system of drainage, including, adjacent existing natural waterways, in a general manner;	✓		
c.6	the approximate boundary lines of proposed lots, with approximate areas and dimensions;	✓		
c.7	the names, approximate location and widths of adjacent streets; and	✓		
c.8	the topography of the land in a general manner.	✓		

* Reprinted 9/12/2024 - No Revisions Made *



TOWN OF TRURO

Assessors Office Certified Abutters List Request Form

RECEIVED

JUN 20 2024

ASSESSOR'S OFFICE
TOWN OF TRURO

DATE: June 19, 2024

NAME OF APPLICANT: Susan Dyer Lambert and William R. Dyer

NAME OF AGENT (if any): J. Thaddues Eldredge, PLS (East-SouthEast, LLC)

MAILING ADDRESS: 1038 Main Street, Chatham, MA 02633

CONTACT: HOME/CELL 508-945-3965 EMAIL office@ese-llc.com

PROPERTY LOCATION: 32 Union Field Road

(street address)

PROPERTY IDENTIFICATION NUMBER: MAP 47 PARCEL 21 EXT. (if condominium)

ABUTTERS LIST NEEDED FOR:

FEE: \$15.00 per checked item

(please check all applicable)

(Fee must accompany the application unless other arrangements are made)

___ Board of Health⁵

___ Planning Board (PB)

___ Zoning Board of Appeals (ZBA)

___ Cape Cod Commission

___ Special Permit¹

___ Special Permit¹

___ Conservation Commission⁴

___ Site Plan²

___ Variance¹

___ Licensing

☒ Preliminary Subdivision³

Type: ___

___ Definitive Subdivision³

___ Other

(Fee: Inquire with Assessors)

(Please Specify)

Note: Per M.G.L., processing may take up to 10 calendar days. Please plan accordingly.

THIS SECTION FOR ASSESSORS OFFICE USE ONLY

Date request received by Assessors: 6/20/2024

Date completed: 6/20/2024

List completed by: J. Thaddues Eldredge

Date paid: 6/19/2024 Cash/Check online CC

¹Abutters, owners of land directly opposite on any public or private street or way, and abutters to the abutters within 300 feet of the property line.

²Abutters to the subject property, abutters to the abutters, and owners of properties across the street from the subject property.

³Landowners immediately bordering the proposed subdivision, landowners immediately bordering the immediate abutters, and landowners located across the streets and ways bordering the proposed subdivision. **Note:** For Definitive Subdivision only, responsibility of applicant to notify abutters and produce evidence as required.

⁴All abutters within 300 feet of parcel, except Beach Point between Knowles Heights Road and Provincetown border, in which case it is all abutters within 100 feet. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.

⁵Abutters sharing any boundary or corner in any direction – including land across a street, river or stream. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.

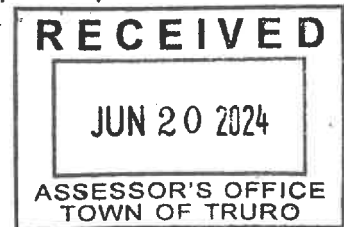


TOWN OF TRURO

Assessors Office

Certified Abutters List

Request Form



DATE: June 19, 2024

NAME OF APPLICANT: Susan Dyer Lambert and William R. Dyer

NAME OF AGENT (if any): J. Thaddues Eldredge, PLS (East-SouthEast, LLC)

MAILING ADDRESS: 1038 Main Street, Chatham, MA 02633

CONTACT: HOME/CELL 508-945-3965 EMAIL office@ese-llc.com

PROPERTY LOCATION: 32 Union Field Road
(street address)

PROPERTY IDENTIFICATION NUMBER: MAP 47 PARCEL 21 EXT. (if condominium)

ABUTTERS LIST NEEDED FOR:

FEE: \$15.00 per checked item

(please check all applicable)

(Fee must accompany the application unless other arrangements are made)

<input type="checkbox"/> Board of Health ⁵	<input type="checkbox"/> Planning Board (PB)	<input type="checkbox"/> Zoning Board of Appeals (ZBA)
<input type="checkbox"/> Cape Cod Commission	<input type="checkbox"/> Special Permit ¹	<input type="checkbox"/> Special Permit ¹
<input type="checkbox"/> Conservation Commission ⁴	<input type="checkbox"/> Site Plan ²	<input type="checkbox"/> Variance ¹
<input type="checkbox"/> Licensing	<input checked="" type="checkbox"/> Preliminary Subdivision ³	
Type: _____	<input type="checkbox"/> Definitive Subdivision ³	
<input type="checkbox"/> Other _____		

(Fee: Inquire with Assessors)

(Please Specify)

Note: Per M.G.L., processing may take up to 10 calendar days. Please plan accordingly.

THIS SECTION FOR ASSESSORS OFFICE USE ONLY

Date request received by Assessors: 6/20/2024

Date completed: 6/20/2024

List completed by: J. Thaddues Eldredge

Date paid: 6/19/2024 Cash/Check online CC

¹Abutters, owners of land directly opposite on any public or private street or way, and abutters to the abutters within 300 feet of the property line.

²Abutters to the subject property, abutters to the abutters, and owners of properties across the street from the subject property.

³Landowners immediately bordering the proposed subdivision, landowners immediately bordering the immediate abutters, and landowners located across the streets and ways bordering the proposed subdivision. **Note:** For Definitive Subdivision only, responsibility of applicant to notify abutters and produce evidence as required.

⁴All abutters within 300 feet of parcel, except Beach Point between Knowles Heights Road and Provincetown border, in which case it is all abutters within 100 feet. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.

⁵Abutters sharing any boundary or corner in any direction – including land across a street, river or stream. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.



TRURO ASSESSORS OFFICE

PO Box 2012 Truro, MA 02666

Telephone: (508) 214-0921

Fax: (508) 349-5506

Date: June 20, 2024

To: J Thaddeus Eldredge of East-SouthEast, LLC, Agent for Susan Dyer Lambert and William R Dyer

From: Assessors Department

Certified Abutters List: 32 Union Field Road (Map 47, Parcel 21)

Preliminary Subdivision

Attached is a combined list of abutters for 274 Route 6.

The current owner is Ann D Dyer Revocable Trust, Ann D Dyer, Trustee.

The names and addresses of the abutters are as of June 14, 2024 according to the most recent documents received from the Barnstable County Registry of Deeds.

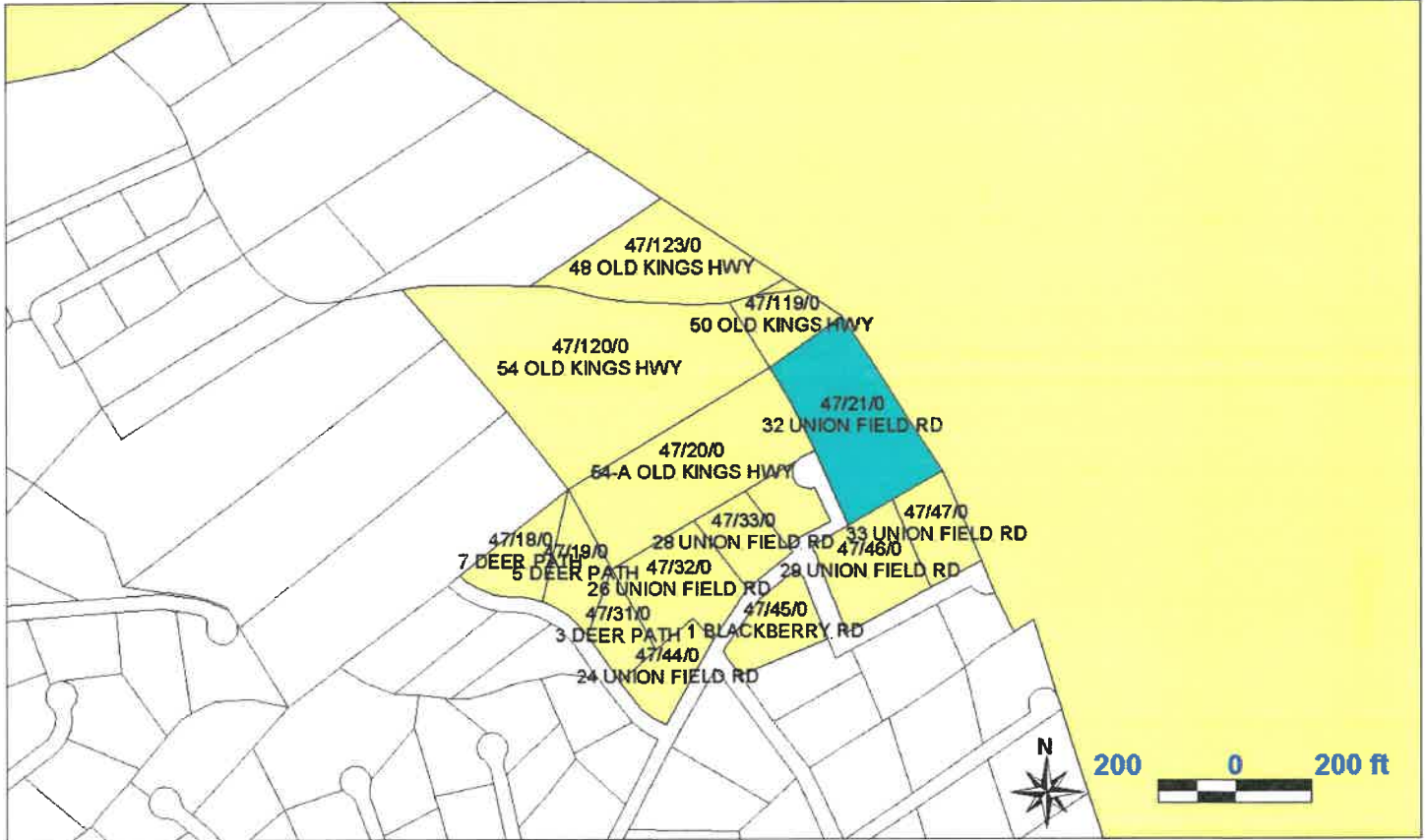
Certified by:

Olga Farrell
Assessing Clerk

32 Union Field Road
Map 47, Parcel 21
Preliminary Subdivision

TOWN OF TRURO, MA
BOARD OF ASSESSORS
P.O. BOX 2012, TRURO MA 02666

Custom Abutters List



Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	ZipCd/Country
7292	40-999-0-E	USA-DEPT OF INTERIOR Cape Cod National Seashore	0 CAPE COD NATIONAL SEASHORE	99 Marconi Site Rd	Wellfleet	MA	02667
2594	47-18-0-R	GELLER ROGER & SUISMAN MARJORIE	7 DEER PATH	29 TOXTETH ST	BROOKLINE	MA	02445-6940
2595	47-19-0-R	5 DEER PATH NOM REALTY TRUST TRS: MELNICKS NANCY & LISA	5 DEER PATH	66 STEWART HILL RD	PORTLAND	CT	06480
2596	47-20-0-R	TRURO HILLS LLC MGR: ROLAND A LETENDRE	54-A OLD KINGS HWY	36 HOLLY WOODS RD	MATTAPOISETT	MA	02739
2597	47-21-0-R	DYER ANN D REVOCABLE TRUST TRS: DYER ANN D	32 UNION FIELD RD	425 SUSAN CONSTANT DR	VIRGINIA BEACH	VA	23451
2607	47-31-0-R	AMY KANDALL 2021 LIVING TRUST TRS: AMY KANDALL	3 DEER PATH	PO BOX 65	NORTH EASTHAM	MA	02651
2608	47-32-0-R	DAVIS BRIAN G & JEANNE P	26 UNION FIELD RD	PO BOX 524	TRURO	MA	02666-0524
2609	47-33-0-R	PAMET-TARHEEL REALTY TRUST TRS: VIRGINIA MARR	28 UNION FIELD RD	PO BOX 823	TRURO	MA	02666-0823
2610	47-34-0-R	S & R 2004 REALTY TRUST TRS: SIGEL STANLEY M & RUTH M	4 UNION FIELD END	PO BOX 400	TRURO	MA	02666-0400
2620	47-44-0-R	MALONEY ELIZABETH B	24 UNION FIELD RD	PO BOX 335	TRURO	MA	02666
2621	47-45-0-R	GRIMASON DAVID W & FRANCES C	1 BLACKBERRY RD	124 MAD RIVER VIEW	FAYSTON	VT	05673
2622	47-46-0-R	AUERBACH JOEL I & ANNE WALLER	29 UNION FIELD RD	4900 N OCEAN BLVD, APT # 1606	LAUDERDALE BY THE SEA	FL	33308-2938
2623	47-47-0-R	BLUESTONE BARRY TRUST-2004 TRS: BLUESTONE BARRY	33 UNION FIELD RD	142 ST BOTOLPH ST UNIT 1	BOSTON	MA	02115
2692	47-118-0-R	HURD CYNTHIA SLADE	47 OLD KINGS HWY	PO BOX 270	TRURO	MA	02666-0147
2693	47-119-0-R	DUARTE DANIEL B	50 OLD KINGS HWY	PO BOX 199	TRURO	MA	02666-0199

rw 6/20/2024
6/20/2024

Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	ZipCd/Country
2694	47-120-0-R	TRURO HILLS LLC MGR: ROLAND A LETENDRE	54 OLD KINGS HWY	36 HOLLY WOODS RD	MATTAPOISETT	MA	02739
2697	47-123-0-R	HURD CYNTHIA SLADE	48 OLD KINGS HWY	PO BOX 270	TRURO	MA	02666

FW 6/20/2024

40-999-0-E	47-18-0-R	47-19-0-R
USA-DEPT OF INTERIOR Cape Cod National Seashore 99 Marconi Site Rd Wellfleet, MA 02667	GELLER ROGER & SUISMAN MARJORIE 29 TOXTETH ST BROOKLINE, MA 02445-6940	5 DEER PATH NOM REALTY TRUST TRS: MELNICSAK NANCY & LISA 66 STEWART HILL RD PORTLAND, CT 06480
47-20-0-R	47-21-0-R	47-31-0-R
TRURO HILLS LLC MGR: ROLAND A LETENDRE 36 HOLLY WOODS RD MATTAPOISETT, MA 02739	DYER ANN D REVOCABLE TRUST TRS: DYER ANN D 425 SUSAN CONSTANT DR VIRGINIA BEACH, VA 23451	AMY KANDALL 2021 LIVING TRUST TRS: AMY KANDALL PO BOX 65 NORTH EASTHAM, MA 02651
47-32-0-R	47-33-0-R	47-34-0-R
DAVIS BRIAN G & JEANNE P PO BOX 524 TRURO, MA 02666-0524	PAMET-TARHEEL REALTY TRUST TRS: VIRGINIA MARR PO BOX 823 TRURO, MA 02666-0823	S & R 2004 REALTY TRUST TRS: SIGEL STANLEY M & RUTH M PO BOX 400 TRURO, MA 02666-0400
47-44-0-R	47-45-0-R	47-46-0-R
MALONEY ELIZABETH B PO BOX 335 TRURO, MA 02666	GRIMASON DAVID W & FRANCES C 124 MAD RIVER VIEW FAYSTON, VT 05673	AUERBACH JOEL I & ANNE WALLER 4900 N OCEAN BLVD, APT # 1606 LAUDERDALE BY THE SEA, FL 33308-2938
47-47-0-R	47-118-0-R	47-119-0-R
BLUESTONE BARRY TRUST-2004 TRS: BLUESTONE BARRY 142 ST BOTOLPH ST UNIT 1 BOSTON, MA 02115	HURD CYNTHIA SLADE PO BOX 270 TRURO, MA 02666-0147	DUARTE DANIEL B PO BOX 199 TRURO, MA 02666-0199
47-120-0-R	47-123-0-R	
TRURO HILLS LLC MGR: ROLAND A LETENDRE 36 HOLLY WOODS RD MATTAPOISETT, MA 02739	HURD CYNTHIA SLADE PO BOX 270 TRURO, MA 02666	

EAST-SOUTHEAST, LLC

J. Thaddeus Eldredge, P.L.S.

Surveying, Geomatics Engineering and Mapping

1038 Main Street ° Chatham, Massachusetts 02633

41°41'14.73425" N 69°58'24.87695" W -10.019 M

LETTER OF TRANSMITTAL

September 12, 2024

Town of Truro Board of Health

Truro Town Hall
24 Town Hall Road
P.O. Box 2030
Truro, MA 02666

Re: **PRELIMINARY Subdivision Plan**
Ann D. Dyer Revocable Trust
32 Union Field Road
Assessors' ID 47-21

Dear Board Members:

Pursuant to § 81 S of Chapter 41 of the General Laws and § 2.4 of the Rules and Regulations Governing the Subdivision of Land, Truro, Massachusetts, please find the following:

- One (1) full size copy of the **PRELIMINARY Plan**;
- One (1) copy of **Form B: Application for Approval of a Preliminary Plan**; and
- One copy of the Certified Abutters List.

Respectfully,

EAST-SOUTHEAST, LLC



J. Thaddeus Eldredge, PLS

Y:\Clients\Dyer, Susan Lambert and Bill 5469\Planning Board\Preliminary Subdivision\03 LOT BOH 2024-09-12.docx

508-945-3965; Fax 508-945-5885; www.ESE-LLC.com; email: office@ESE-LLC.com

2025

TRURO PLANNING BOARD

HEARING/MEETING (Wednesday at 5:00 pm)	FILING DEADLINE ** (Monday at Noon - if holiday, then Tuesday at Noon*) **Filing of ANR applications shall be two (2) weeks prior to the meeting date	SUPPLEMENTAL FILING <i>Electronic <u>and</u> Paper</i> (Due by <i>Tuesday 4:00 pm</i> of the <i>prior</i> week) (Unless otherwise noted*)
January 8	December 9, 2024	December 31, 2024
January 22	December 23, 2024	January 14
February 5	January 6	January 28
February 19	January 21*	February 11
March 5	February 3	February 25
March 19	February 18*	March 11
April 9	March 10	April 1
April 23	March 24	April 15
May 7	April 7	April 29
May 21	April 22*	May 13
June 4	May 5	May 27
June 18	May 19	June 10
July 9	June 9	July 1
July 23	June 23	July 15
August 6	July 7	July 29
August 20	July 21	August 12
September 3	August 4	August 26
September 17	August 18	September 9
October 8	September 8	September 30
October 22	September 22	October 14
November 5	October 6	October 28
November 19	October 20	November 10*
December 3	November 3	November 25
December 17	November 17	December 9

2025

January						
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26	27	28	29	30	31	

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March						
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30	31					

April						
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July						
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August						
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31						

September						
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October						
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November						
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30						

December						
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14	15	16	17	18	19	20
21	22	23	24	25	26	27
28	29	30	31			

Jan 01	New Year's Day
through Jan 02	Hanukkah (ends at nightfall – do not schedule meetings)
Jan 20	M L King Day
Feb 17	Presidents' Day
Apr 12	Passover (starts at nightfall – do not schedule meetings late afternoon or evening)
Apr 18	Good Friday
through Apr 20	Passover (ends at nightfall – do not schedule meetings) Easter Sunday
Apr 21	Patriots' Day
May	Annual Town Mtg
May	Annual Town Election
May 26	Memorial Day
Jun 19	Juneteenth
Jul 04	Independence Day
Sep 01	Labor Day
Sep 22	Rosh Hashanah (starts nightfall – do not schedule meetings late afternoon or evening)
through Sep 24	Rosh Hashanah (ends at nightfall – do not schedule meetings)
Oct 1	Yom Kippur (starts at nightfall – do not schedule meetings late afternoon or evening)
through Oct 2	Yom Kippur (ends at nightfall – do not schedule meetings)
Oct 13	Indigenous Peoples' Day
Nov 11	Veterans Day
Nov 27/28	Thanksgiving Holidays
Dec 14	Hanukkah (starts at nightfall – do not schedule meetings)
through Dec 22	Hanukkah (ends at nightfall – do not schedule meetings)
Dec 24	Christmas Eve Day
Dec 25	Christmas
Dec 31	New Year's Eve Day

