

SITE PLAN REVIEW



Project Location:

**67 So Highland Ave & 10 Old Dewline Road
Truro, MA
Map: 037
Lot: 15 & 19**

Prepared for:

A/C Mobile Home Park Inc.
905 16th Place
Vero Beach, FL 32960

Prepared By:

Oakhill Engineering LLC
75 Oak Hill Ave
Seekonk, MA 02771

368 Fairview Ave
Rehoboth, MA 02769

Representative:

Mark Mariano, PE, CPO
401-574-0871

September 2024



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Oakhill Engineering LLC + Dyer Surveying

Seekonk:

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Civil Engineers | Surveyors | Aquatic Engineers

September 17, 2024

Site Plan Review: Hortons Campground

**67 So Highland Ave & 10 Old Dewline Road
Truro, MA**

Please find the attached package for the site plan review for the proposed comfort station found at Horton's Campground in Truro, MA. Please see the below dialog to better assist in your review and provide additional information that is required in the review:

Overview:

The upper area of Horton's Campground contains a variety of tent sites. The previous comfort station was out of date, non-compliant, and was determined to have exceeded its service life. The station as been raised.

The comfort station is an essential part of the primitive camping experience as it provides a designated area for patron relief and hygiene. The comfort station will contain bathrooms, lavatories, showers, dish washing station, and laundry.

The location of the comfort station is found to be central in the park to where it can provide easily accessible areas from the tent sites.

The comfort station will always be open to the patrons and will only be exclusively used by patrons of the park. The building will be serviced by a private DEP permitted water source, and wastewater will be collected and delivered into the park's sewer system has a DEP approved treatment plant.

The building will be a single level concrete masonry building and asphalt shingled roofing. The building construction and finishes are primarily selected for easily cleanable and durable surfaces.

The outside surroundings of the building will be ADA accessible concrete walkways, a minimum of 5 ft wide, with slopes less than 1:20.

The ground will be finished with the same surrounding vegetation that surrounds the park, including scrubby pines, and low covering bushes. A native seed mix shall be applied on the rest of the ground cover, but the intent is to not have lawn.

The storm runoff from the roof, will be collected with roof leaders and deposited into a subsurface infiltration system. The infiltration system will receive the same ground cover as the rest of the site.

Lighting will be minimum and only be directed at the ground surface. No up-lighting shall be used.

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The location of the building is 250+ FT from the closest property line, making it difficult to see if from the street or outside the park. Only viewpoints would be from the patrons in the park. There are no scenic views the building would interrupt.

Schedule and Cost:

With approval, the goal is to start working on the project immediately. The intent is to have the project completed by May 2025, in time for patrons in the summer of the 2025 season.

If you have any questions, please feel free to contact me by email at Mark@oakhilleng.com

Sincerely,

Mark Mariano, PE CPO
Principal

2.0 – Application Form



Town of Truro Planning Board

P.O. Box 2030, Truro, MA 02666

APPLICATION FOR COMMERCIAL SITE PLAN REVIEW

To the Town Clerk and the Planning Board of the Town of Truro, MA Date 09/23/2024

The undersigned hereby files an application with the Truro Planning Board for the following:

- ☒ **Site Plan Review** pursuant to §70 of the Truro Zoning Bylaw
- ☐ **Waiver of Site Plan Review** pursuant to §70.9 of the Truro Zoning Bylaw
(Note: *Site Plan Review shall not be waived in the Seashore District*)

1. General Information

Description of Property and Proposed Project Construction of a Comfort Station on the upper area of Horton Campground. This property is a seasonal campground allow campers, camper trailers, and tents for recreational use.

Property Address 67 So Highland Ave & 10 Old Dewline Road Map(s) and Parcel(s) 37 / 15 & 19

Registry of Deeds title reference: Book 26095, Page 003, or Certificate of Title Number _____ and Land Ct. Lot # _____ and Plan # _____

Applicant's Name A/C Mobile Home Park Inc.

Applicant's Legal Mailing Address 905 16th Place, Vero Beach, FL 32960

Applicant's Phone(s), Fax and Email h.wayne@abcamping.com / 772-584-3628

Applicant is one of the following: (please check appropriate box)

*Written Permission of the owner is required for submittal of this application.

☒ Owner ☐ Prospective Buyer* ☐ Other*

Owner's Name and Address H Wayne Klekamp, 905 16th Place, Vero Beach, FL 32960

Representative's Name and Address Mark Mariano, PE, - Oakhill Engineering, 75 Oak Hill Ave, Seekonk, MA 02771

Representative's Phone(s), Fax and Email 401-574-0871, Mark@oakhilleng.com

2. Waiver(s) Request – The Planning Board may, upon the request of the applicant, pursuant to §70.3.E, waive requirements of §70.3.D, provided that in the opinion of the Planning Board such a waiver would not be detrimental to the public interest, cause the Town any expense, or be inconsistent with the intent and purpose of this Bylaw. A request for a waiver by the applicant shall be accompanied by a reasonable explanation as to why the waiver is being requested. If multiple waivers are requested, the applicant shall explain why each waiver is requested.

- The applicant is **advised** to consult with the Building Commissioner, Planning Department, Conservation Department, and/or Health Department prior to submitting this application.

Signature(s)

Mark Mariano

Applicant(s)/Representative Printed Name(s)

Applicant(s)/Representative Signature(s)

H. Wayne Klekamp II, VP

Owner(s) Printed Name(s) or written permission

Owner(s) Signature(s) or written permission

Your signature on this application authorizes the Members of the Planning Board and town staff to visit and enter upon the subject property.

3.0 – Check List



Town of Truro Planning Board

P.O. Box 2030, Truro, MA 02666

PROCEDURE FOR SUBMITTING APPLICATION FOR COMMERCIAL SITE PLAN REVIEW

A completed application consisting of each of the requirements of §70 will be filed as follows:

- ten (10) packets to be filed with the Town Clerk; AND
- a complete copy, including all plans and attachments, submitted electronically to the Planning Department Assistant at esturdy@truro-ma.gov.

Additional material, *electronic and paper*, for a hearing shall be received no later than **Tuesday 4:00 pm** of the **prior** week.

The following information and requirements must be filed with all applications for Commercial Site Plan Review consistent with the Rules, Regulations and Fee Schedule of the Truro Planning Board.

☒ **1 – Official Application Form – Original and Nine (9) Copies**

Every application for action by the Board shall be made on an official form. Any communications purporting to be an application shall be treated as mere notice of intention until such time as it is made on an official application form accompanied by all requisite supporting data.

☒ **2 – Required Plan(s) and Other Information including Checklist (Ten (10) Copies)**

Every application and petition to the Board shall be accompanied by all the plans and other information required in the Zoning Bylaw. The application shall include each of the requirements of §70 as listed in the attached Checklist which is to be submitted as part of the official application.

☒ **3 – Criteria Review**

Applicant will briefly state how they meet each of the review criteria in §70 using the format provided in this packet.

☒ **4 – Certified Abutters List – Original and Nine (9) Copies**

A Certified Abutters List shall be obtained by the Applicant from the Truro Assessors Office and filed as part of the complete application. A copy of the “Certified Abutters List Request Form” is included in this packet.

☒ **5 – Filing Fee**

All applications shall be filed with the Town Clerk and shall be accompanied by a check payable to the Town of Truro in the amount of **\$250.00** for Site Plan Review and **\$125.00** for Waiver of Site Plan Review. The filing fee is non-refundable.

Note: *Please familiarize yourself with Truro Zoning Bylaws including bylaws specifically addressing property in your Truro Zoning District. It may also be helpful to review other potentially applicable Town regulations such as Board of Health and Conservation Commission regulations and regulations of other jurisdictions as applicable such as The Cape Cod National Seashore or a homeowner's association.*

ONCE A COMPLETED APPLICATION HAS BEEN RECEIVED

- Planning Department will determine if an application is complete. Upon determination an Application is complete, the Planning Department Assistant will notify the applicant of the next Planning Board meeting date and will proceed to post notice of a public hearing in accordance with Section 11 of Chapter 40A of the General Laws of Massachusetts.
- Either you or your agent/representative shall appear before the Board at the scheduled hearing. If you need to reschedule, you must submit a request in writing for a continuance, using Town of Truro Continuance Request Form.
- Additional material, *electronic and paper*, for a hearing shall be received no later than **Tuesday 4:00 pm** of the **prior** week. Late submittals will not be reviewed at that meeting and may result in a continuance of the hearing. Additional information for a scheduled public hearing may be submitted provided it is received within the timeframe above so that it can be included in the packet for Board Members to read and review. Submit ten (10) paper copies, including full-size plans, to the Town Clerk for filing **AND** an electronic copy to the Planning Department Assistant at esturdy@truro-ma.gov.

Please do not include a copy of these instructions with the application

70.3 - COMMERCIAL SITE PLAN REVIEW CHECKLIST - Applicant

Address : 67 So Highland Ave & 10 Old Dewline Rd Applicant Name : A/C Mobile Home Park Inc. Date : 09/17/2024

No.	Requirement	Included	Not Included	Explanation, if needed
D. Procedures and Plan Requirements				
1a.	An original and 9 copies of the Application for Site Plan Review	✓		
1b.	10 copies of the required plans and other required information including this Checklist	✓		
1c.	Completed Criteria Review	✓		
1d.	Certified copy of the abutters list obtained from the Truro Assessors Office	✓		
1e.	3 copies of drainage calculations stamped by a Professional Engineer	✓		
1f.	Applicable filing fee	✓		
1g.	Any other information that may be applicable or required by the Planning Board	✓		bldg plans provided
	Site Plans			
2a.	Site Plans shall be prepared, signed and stamped by a Registered Land Surveyor and Professional Engineer	✓		
2b.	Site Plans shall be prepared at a scale of one inch equals forty feet (1"=40') or larger	✓		
3a.	General - Submitted plans shall contain the following: North Arrow/Location Map: A north arrow and a locus plan containing sufficient information to locate the subject property, such as streets bounding or providing access to the property.	✓		
3a. 1				
3a. 2	Zoning Information: All applicable Zoning Bylaw information regarding the site's development, both existing and proposed. This information shall be placed in a table format which must list all parking, setbacks; percent of lot coverage, broken down by parking, walkways, building(s), etc.; number of dwelling units; total amount of square feet; size of signs, and any other applicable zoning information necessary for the proper review of the site plan.	✓		
	<u>Existing:</u>			
	All parking	✓		campground parking is at each campsite space
	All setbacks			
	Percent (%) of lot coverage broken down by parking, walkways, building(s), etc.	✓		
	Number of dwelling units		✓	camp site
	Total amount of square feet	✓		

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Address : 67 So Highland Ave & 10 Old Dewline Rd Applicant Name : A/C Mobile Home Park Inc. Date : 09/17/2024

No.	Requirement	Included	Not Included	Explanation, if needed
	Size of signs		✓	No signage proposed
	Any other applicable zoning information necessary for the proper review of the site plan	✓		
	<u>Proposed:</u>			
	All parking		✓	N/A for this project
	All setbacks	✓		
	Percent (%) of lot coverage broken down by parking, walkways, building(s), etc.	✓		
	Number of dwelling units	✓	✓	N/A for this project
	Total amount of square feet	✓	✓	N/A for this project
	Size of signs		✓	N/A for this project
	Any other applicable zoning information necessary for the proper review of the site plan			
3a. 3	Assessor and Deed Information: The Truro Assessors Atlas Map(s) and Parcel(s) numbers and all plan and deed references.	✓		
3a. 4	Graphic Scale	✓		
3a. 5	Title Block - Including:			
	Name and description of the project	✓		
	Address of the property	✓		
	Names of the record owner(s) and the applicant(s)	✓		
	Date of the preparation of the plan(s) and subsequent revision dates	✓		
3a. 6	Legend of all symbols	✓		
3b.	Existing Conditions Plan - showing the following:			
3b. 1	Total area and dimensions of the lot shown on a surveyed plan conforming to the requirements of the Barnstable County Registry of Deeds.	✓		
3b. 2	Location of existing buildings (including the number of stories, overall height in feet, and gross floor area in square feet of all existing buildings), parking, drives, walks, lighting service areas, all utilities, drainage facilities, easements, and other appurtenances, including setbacks from property lines.	✓		
	Location of existing buildings		✓	all features providing
	Number of stories		✓	in the 6+ acres in

N/A — upper camping area

70.3 - COMMERCIAL SITE PLAN REVIEW CHECKLIST - Applicant

Address: <u>67 So Highland Ave & 10 Old Dewline Rd</u> Applicant Name: <u>A/C Mobile Home Park Inc.</u> Date: <u>09/17/2024</u> .				
No.	Requirement	Included	Not Included	Explanation, if needed
	Overall height in feet	✓		
	Gross floor area in square feet	✓		
	Parking		✓	
	Drives		✓	
	Walks	✓		
	Lighting service areas		✓	
	All utilities	✓		
	Draining facilities	✓		
	Easements		✓	
	Other appurtenances			
	Setback from property lines	✓		
3b. 3	Existing contours based on two foot (2) contour intervals.	✓		
3b. 4	General location of trees having a caliper of ten (10) inches or more diameter at breast height (DBH), all resource areas as defined in M.G.L. Chapter 131, Section 40, landscaping and other significant natural features.	✓		
3b. 5	Respective floor areas and/or square footage of existing uses of buildings and/or the property.	✓		
3b. 6	Existing location(s) of any freestanding sign(s).	✓		
3b. 7	National Flood Insurance Program flood hazard elevation.	✓		
3b. 8	Massachusetts Natural Heritage Endangered Species Act jurisdiction.	✓		
3c.	Proposed Conditions Plan - showing the following:			
3c. 1	Building Location: Identification of all building(s) to be located on the site. The number of stories, overall height in feet and gross floor area in square feet of all buildings shall be indicated.	✓		
3c. 2	Building Elevation: A drawing(s) of the exterior of all building(s), as viewed from all sides, including dimensions, at a scale of no smaller than 1/8" = 1'-0". This drawing must be at least 8" x 11" in size.	✓		

70.3 - COMMERCIAL SITE PLAN REVIEW CHECKLIST - Applicant

Address : <u>67 So Highland Ave & 10 Old Dewline Rd</u> Applicant Name : <u>A/C Mobile Home Park Inc.</u> Date : <u>09/17/2024</u> .				
No.	Requirement	Included	Not Included	Explanation, if needed
3c. 3	Location of Parking/Walkways: Identification of the location of all parking and walkways, including curb cuts that will be used for site access from adjacent roadways or access points. Parking shall be consistent with the requirements outlined in §30.9.	✓		
3c. 4	Easements/Legal Conditions: Identification of legal encumbrances(s), including easements, that are related to the site's physical development, and a listing of any condition(s) placed upon the site by the Zoning Board of Appeals, Planning Board, Conservation Commission, Board of Health or any other public body or agency with the authority to place conditions on the site's development.		✓	N/A in this project area
3c. 5	Stormwater Drainage: All storm water drainage facilities utilized by the site shall be shown on the site plan. Storm water drainage calculations, which support the design of the control facilities shown on the plan, shall be calculated using a 2, 10, and 50-year storm events.	✓		
3c. 6	Grades: Topography and a grading plan of the site.	✓		
3c. 7	Location of Walls: Identification of the location, height, length, and materials to be used for all retaining walls to be located on the site.	✓		
3c. 8	Signs: Identification of the location, height and materials to be used for all signs to be located on the site. Signs will be reviewed using the Town of Truro Sign Code section of the zoning bylaw.		✓	N/A no large signs
3c. 9	Location of Streets/Drives: Identification of all streets and driveways including the type and dimensions of curbs and gutters. Distances to all the nearest streets and/or curb cuts shall be shown for both sides of any street which is adjacent to the site.	✓		
3c. 10	Outdoor Storage/Display Areas: Identification of the location and type of outdoor storage and display areas on the site.		✓	
3c. 11	Refuse Areas: Identification of the location of each outdoor refuse storage area, including the method of storage and screening. All refuse areas must be fully enclosed.		✓	N/A waste to be located to permitted dumpster on site

70.3 - COMMERCIAL SITE PLAN REVIEW CHECKLIST - Applicant

Address : 67 So Highland Ave & 10 Old Dewline Rd Applicant Name : A/C Mobile Home Park Inc. Date : 09/17/2024.

No.	Requirement	Included	Not Included	Explanation, if needed
3c. 12	Lighting Facilities: Identification of all illumination, including numbers and locations, indicating the direction and the degree of illumination offered by the lighting facilities and including specifications of the light fixture(s) to be used. (Also see General Bylaws Ch. IV §6.)	✓		
3c. 13	Location of Wetlands and Other Resource Areas: All resource areas as defined in M.G.L. Chapter 131, Section 40. (If applicable, the applicant shall file a Notice of Intent with the Truro Conservation Commission concurrently with the application to the Planning Board for Site Plan Review.)	✓		
3c. 14	Location and Description of Utilities. Identification of all utilities, including sewer line locations and profiles and storm drainage systems.	✓		
3c. 15	Parking and Driveway Cross Section: a cross section identifying the proposed construction of driveways and parking areas on the site.	✓		
3c. 16	Limit of work area (area to be disturbed during construction, including parking and storage of vehicles and equipment) and work staging area(s).	✓		
3d.	Proposed landscape schedule for, and identification of, the location of all perimeter and interior landscaping – showing the following:	✓		
	Proposed paving materials for walkways	✓		
	Fences	✓		
	Stonewalls		✓	
	All planting materials to be placed on the site	✓		
	All existing trees over 10 inches diameter at breast height (DBH) to be saved or removed shall be shown on the site plan			
3e.	Building Plans – at a scale of no less than 1/8" = 1'-0" showing the following:	✓		
3e. 1	Elevations showing exterior materials and features including but not limited to doors, windows, trim, roof, lighting and including the height of the building(s).	✓		
3e. 2	Floor plans with dimensions.	✓		
3f.	Project Estimate:			
	Estimated date of initiation	✓		
	Estimated time required to complete the proposed project and any and all phases thereof	✓		
	Written cost estimate with a breakdown of the building(s) and all site improvements	✓		

4.0 – Criteria Review

ADDRESSING THE REVIEW CRITERIA

§ 70.1 PURPOSE

The purpose of Site Plan Review for Commercial Development and for Residential Development is to protect the health, safety, convenience and general welfare of the inhabitants of the Town. It provides for a review of plans for uses and structures which may have significant impacts, both within the site and in relation to adjacent properties and streets; including the potential impact on public services and infrastructure; pedestrian and vehicular traffic; significant environmental and historic resources; abutting properties; and community character and ambiance.

Instructions: Please provide the Planning Board with a short explanation of how your application meets each of the review criteria of §70.3F of the Truro Zoning Bylaw. If you require extra space for your answers, please attach the additional information to your application in no more than two pages. This is to provide the Planning Board with an overview of your rationale prior to the meeting.

§70.3F – REVIEW CRITERIA/DESIGN GUIDELINES

The Planning Board will review applications and their supporting information based on the following:

1. The proposal is in conformity with all applicable provisions of the Zoning Bylaw because:

 Servicing a pre-existing campground that has been in existences before the
 current zoning designation. The camp ground has provided and will continue to
 provide tent sites that require amenities for their patrons. Previous facilities were
 outdated and non compliant. This acts as a suitable upgrade for a facility need
 replacing a pre-existing comfort station that was prior removed.

2. The proposal provides for the protection of abutting properties and the surrounding area from detrimental site characteristics and from adverse impact from excessive noise, dust, smoke, or vibration higher than levels previously experienced from permitted uses because:

 The current proposal does not provide any adverse environmental impacts.

3. The proposal provides for the protection of adjacent properties and the night sky from intrusive lighting, including parking lot and building exterior lighting. Lighting must be consistent with Chapter IV, Section 6 of the General Bylaws of the Town of Truro because:

 Proposal will only provide code minimum down lighting to provide safe foot
 traffic.

4. The proposal provides for the protection of significant or important natural, historic, or scenic features because:

Provides the replacement of a non compliant comfort station, and allows a central point for tent campers to use restrooms. Proposed building is 250+ from a closest property line and would not be visible from outside of the property.

5. The building sites shall minimize obstruction of scenic views from publicly accessible locations; minimize tree, vegetation, and soil removal and grade changes; and maximize open space retention because:

No scenic views and will not be visible from the public outside of the park.

6. The proposal adequately provides for refuse disposal because:

Bathrooms will contain waste barrels that are regularly emptied by staff each day. Refuse will be disposed of in an existing permitted dumpster area.

7. The proposed sewage disposal and water supply systems within and adjacent to the site shall be adequate to serve the proposed use because:

Water and sewer utilities are new to the site and tied in with DEP permitted collection system and treatment system, and DEP permitted water source that is a private source on site.

8. The proposed drainage system within the site shall be adequate to handle the runoff resulting from the development. Drainage run-off from the project shall not: damage any existing wellfield(s) or public water supply; damage adjoining property; overload, silt up or contaminate any marsh, swamp, bog, pond, stream, or other body of water; or interfere with the functioning of any vernal pool because:

Rain run off from roofing will be collected and infiltrated into the ground. No runoff from site will effect any sources outside of the park.

9. A soil erosion plan shall adequately protect all steep slopes within the site and control runoff to adjacent properties and streets both during and after construction because:

Silt Fencing is placed around the site to prevent erosion. Site is relatively flat.
Silt fence will act as a turtle barrier.

10. The proposal shall provide for structural and/or landscaped screening or buffers for storage areas, loading docks, dumpsters, rooftop or other exposed equipment, parking areas, utility buildings and similar features viewed from street frontages and residentially used or zoned premises because:

N/A Building will not be seen from outside the property.

11. Buildings and structures within the subject site shall relate harmoniously to each other in architectural style, site location, and building exits and entrances. Building scale, massing, materials, and detailing should be compatible with the surrounding area because:

It is found within the existing site and matches CMU block comfort stations
found closer to a public way. Would hold in conformity to the site, and offers
a durable and easily cleanable building.

12. Electric, telephone, cable, and other such utility lines and equipment shall be placed underground because:

Existing site electrical is underground throughout the park.

13. The project shall not place excessive demands on Town services because:

Building is independent from Town Services and will only be serviced by the
Owner.

14. The location and number of curb cuts shall be minimized to reduce turning movements and hazardous exits and entrances. Where appropriate and allowable, access to adjoining properties shall be provided. Joint access driveways between adjoining properties shall be encouraged because:

N/A No Curb cuts required.

15. Convenience and safety of vehicular and pedestrian movement within the site and in relation to adjacent and other ways serving the project shall be maximized. Traffic patterns for vehicles and pedestrians must show safe and adequate circulation within and access to and from the site because:

Emergency vehicles have safe, uninterrupted access to the building ground roads and streets throughout the park.

16. A bicycle rack(s) shall be provided on the site and shall be located near the entrance to the building(s) because:

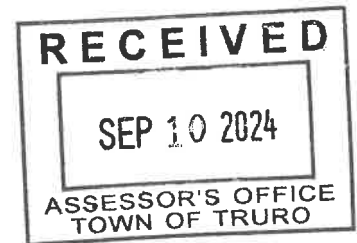
Bike racks are provided for patrons to place their bikes while using the comfort station.

5.0 – Certified List of Abutters



TOWN OF TRURO

Assessors Office Certified Abutters List Request Form



DATE: 09/09/2024

NAME OF APPLICANT: A/C Mobile Home Park, Inc.

NAME OF AGENT (if any): Oakhill Engineering LLC

MAILING ADDRESS: 368 Fairview Ave, Rehoboth, MA 02769 (Oakhill's Address)

CONTACT: HOME/CELL 401-575-0871 EMAIL Mark@oakhilleng.com

PROPERTY LOCATION: 67 Highland Road & 10 Old Dewline Road
(street address)

PROPERTY IDENTIFICATION NUMBER: MAP 37 PARCEL 15 & 19 EXT. _____
(if condominium)

ABUTTERS LIST NEEDED FOR:

FEE: **\$15.00 per checked item**

(please check all applicable)

(Fee must accompany the application unless other arrangements are made)

<input type="checkbox"/> Board of Health ⁵	<input type="checkbox"/> Planning Board (PB)	<input type="checkbox"/> Zoning Board of Appeals (ZBA)
<input type="checkbox"/> Cape Cod Commission	<input type="checkbox"/> Special Permit ¹	<input type="checkbox"/> Special Permit ¹
<input type="checkbox"/> Conservation Commission ⁴	<input checked="" type="checkbox"/> Site Plan ²	<input type="checkbox"/> Variance ¹
<input type="checkbox"/> Licensing	<input type="checkbox"/> Preliminary Subdivision ³	
Type: _____	<input type="checkbox"/> Definitive Subdivision ³	
<input type="checkbox"/> Other _____	(Fee: Inquire with Assessors)	

(Please Specify)

Note: Per M.G.L., processing may take up to 10 calendar days. Please plan accordingly.

THIS SECTION FOR ASSESSORS OFFICE USE ONLY

Date request received by Assessors: 9/10/2024 Date completed: 9/10/2024
List completed by: [Signature] Date paid: 9/10/2024 Cash/Check online CC

¹Abutters, owners of land directly opposite on any public or private street or way, and abutters to the abutters within 300 feet of the property line.

²Abutters to the subject property, abutters to the abutters, and owners of properties across the street from the subject property.

³Landowners immediately bordering the proposed subdivision, landowners immediately bordering the immediate abutters, and landowners located across the streets and ways bordering the proposed subdivision. Note: For Definitive Subdivision only, responsibility of applicant to notify abutters and produce evidence as required.

⁴All abutters within 300 feet of parcel, except Beach Point between Knowles Heights Road and Provincetown border, in which case it is all abutters within 100 feet. Note: Responsibility of applicant to notify abutters and produce evidence as required.

⁵Abutters sharing any boundary or corner in any direction – including land across a street, river or stream. Note: Responsibility of applicant to notify abutters and produce evidence as required.



TRURO ASSESSORS OFFICE

PO Box 2012 Truro, MA 02666

Telephone: (508) 214-0921

Fax: (508) 349-5506

Date: September 10, 2024

To: Oakhill Engineering LLC, Agent for A/C Mobile Home Park, Inc.

From: Assessors Department

Certified Abutters List: 67 South Highland Road and 10 Old Dewline Road (Map 37, Parcels 15 & 19)

Planning Board/ Site Plan

Attached is a combined list of abutters for 67 South Highland Road and 10 Old Dewline Road.

The current owner is A/C Mobile Home Park, Inc..

The names and addresses of the abutters are as of September 6, 2024 according to the most recent documents received from the Barnstable County Registry of Deeds.

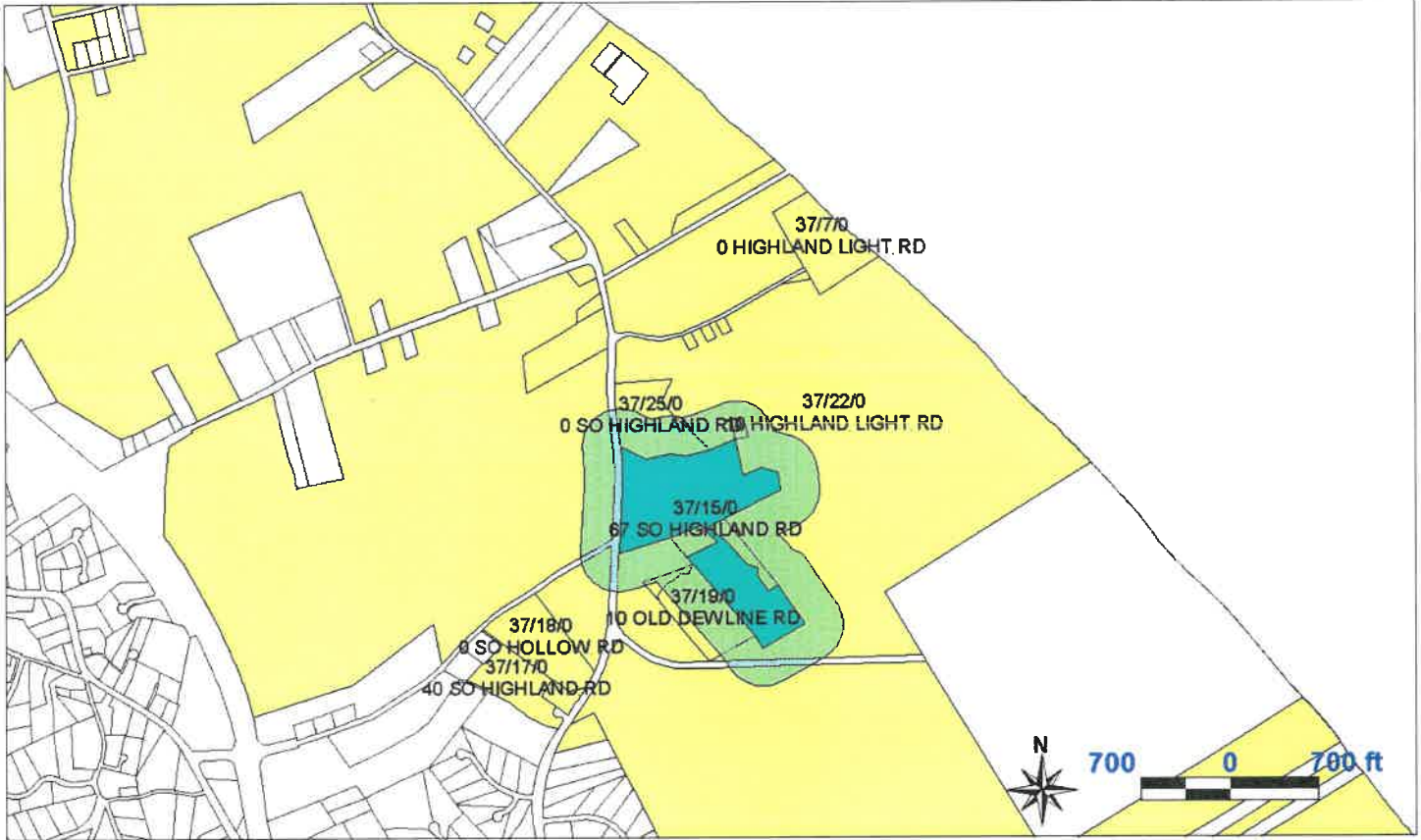
Certified by:

Olga Farrell
Assessing Clerk

67 South Highland Road &
10 Old Dewline Road
Map 37, Parcels 15 & 19
Planning Board/ Site Plan

TOWN OF TRURO, MA
BOARD OF ASSESSORS
P.O. BOX 2012, TRURO MA 02666

Abutters List Within 300 feet of Parcel 37/15/0



Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	ZipCd/Country
1111	37-5-0-R	TRURO ATLANTIC VIEW RLTY TRUST TRS: BRUCE A JACOBSON	6 OCEAN BLUFF LN	PO BOX 954	NO TRURO	MA	02652
1112	37-6-0-R	TRURO ATLANTIC VIEW RLTY TRUST TRS: BRUCE A JACOBSON	12 OCEAN BLUFF LN	PO BOX 954	NO TRURO	MA	02652
1113	37-7-0-E	U S COAST GUARD	0 HIGHLAND LIGHT RD	37 MAIN ST	CHATHAM	MA	02633
1115	37-9-0-R	READY ROBERT & LEVIN SUSAN M	90 SO HIGHLAND RD	147 WEST 87TH ST	NEW YORK	NY	10024
1116	37-10-0-R	KACZOR MAREK & ALEXANDRA	84 SO HIGHLAND RD	PO BOX 416	OAKLAND	NJ	07436
1117	37-11-0-E	U S A DEPT OF THE INTERIOR	15 HIGHLAND LIGHT RD	CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD	WELLFLEET	MA	02667
1118	37-12-0-E	U S A DEPT OF THE INTERIOR	0 HIGHLAND LIGHT RD	CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD	WELLFLEET	MA	02667
1119	37-13-0-R	FARM VIEW REALTY TRUST TRS: ZARETTE FRANCIS & DEBRA A	11 HIGHLAND LIGHT RD	625 SOUTH ST	SHREWSBURY	MA	01545
1120	37-14-0-R	KIHN NOMINEE TRUST TRS: KIHN MICHAEL A & CECILY C	7 HIGHLAND LIGHT RD	2223 DELANCEY PL	PHILADELPHIA	PA	19103
1121	37-15-0-R	A/C MOBILE HOME PARK INC	67 SO HIGHLAND RD	905 16TH PLACE	VERO BEACH	FL	32960
1122	37-16-0-E	U S A DEPT OF THE INTERIOR	0 SO HIGHLAND RD	CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD	WELLFLEET	MA	02667
1123	37-17-0-R	WIDDISON FAMILY TRUST TRS: WIDDISON JOHN J	40 SO HIGHLAND RD	2277 STATE RD	PLYMOUTH	MA	02360
1124	37-18-0-E	U S A DEPT OF THE INTERIOR	0 SO HOLLOW RD	CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD	WELLFLEET	MA	02667
1125	37-19-0-R	A/C MOBILE HOME PARK INC	10 OLD DEWLINE RD	905 16TH PLACE	VERO BEACH	FL	32960
1127	37-21-0-E	U S A DEPT OF THE INTERIOR	86 SO HIGHLAND RD	CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD	WELLFLEET	MA	02667

Handwritten signature: J. Dea/p/rozy

Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	ZipCd/Country
1128	37-22-0-E	U S A DEPT OF THE INTERIOR	10 HIGHLAND LIGHT RD	CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD	WELLFLEET	MA	02667
7692	37-25-0-E	TRURO CONSERVATION TRUST TRS: ALFRED GAECHTER, ET AL	0 SO HIGHLAND RD	PO BOX 327	NO TRURO	MA	02652
7693	37-26-0-E	TRURO CONSERVATION TRUST TRS: ALFRED GAECHTER, ET AL	0 SO HIGHLAND RD	PO BOX 327	NO TRURO	MA	02652
7694	37-27-0-E	TRURO CONSERVATION TRUST TRS: ALFRED GAECHTER, ET AL	0 SO HIGHLAND RD	PO BOX 327	NO TRURO	MA	02652
7691	37-28-0-E	TRURO CONSERVATION TRUST TRS: ALFRED GAECHTER, ET AL	0 OLD DEWLINE RD	PO BOX 327	NO TRURO	MA	02652
1547	40-127-0-R	DERCOLE ANN & BRADY LINDA	45 SO HIGHLAND RD	105 W 89TH ST APT 2B	NEW YORK	NY	10024
6567	40-168-0-R	WALKER STEPHEN M & VORNDRAN DARCEE M	42 SO HIGHLAND RD	PO BOX 313	NORTH TRURO	MA	02652
7292	40-999-0-E	USA-DEPT OF INTERIOR Cape Cod National Seashore	0 CAPE COD NATIONAL SEASHORE	99 Marconi Site Rd	Wellfleet	MA	02667

SW 9/10/2024

37-5-0-R	37-6-0-R	37-7-0-E
TRURO ATLANTIC VIEW RLTY TRUST TRS: BRUCE A JACOBSON PO BOX 954 NO TRURO, MA 02652	TRURO ATLANTIC VIEW RLTY TRUST TRS: BRUCE A JACOBSON PO BOX 954 NO TRURO, MA 02652	U S COAST GUARD 37 MAIN ST CHATHAM, MA 02633
37-9-0-R	37-10-0-R	37-11-0-E
READY ROBERT & LEVIN SUSAN M 147 WEST 87TH ST NEW YORK, NY 10024	KACZOR MAREK & ALEXANDRA PO BOX 416 OAKLAND, NJ 07436	U S A DEPT OF THE INTERIOR CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD WELLFLEET, MA 02667
37-12-0-E	37-13-0-R	37-14-0-R
U S A DEPT OF THE INTERIOR CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD WELLFLEET, MA 02667	FARM VIEW REALTY TRUST TRS: ZARETTE FRANCIS & DEBRA A 625 SOUTH ST SHREWSBURY, MA 01545	KIHN NOMINEE TRUST TRS: KIHN MICHAEL A & CECILY C 2223 DELANCEY PL PHILADELPHIA, PA 19103
37-15-0-R	37-16-0-E	37-17-0-R
A/C MOBILE HOME PARK INC 905 16TH PLACE VERO BEACH, FL 32960	U S A DEPT OF THE INTERIOR CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD WELLFLEET, MA 02667	WIDDISON FAMILY TRUST TRS: WIDDISON JOHN J 2277 STATE RD PLYMOUTH, MA 02360
37-18-0-E	37-19-0-R	37-21-0-E
U S A DEPT OF THE INTERIOR CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD WELLFLEET, MA 02667	A/C MOBILE HOME PARK INC 905 16TH PLACE VERO BEACH, FL 32960	U S A DEPT OF THE INTERIOR CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD WELLFLEET, MA 02667
37-22-0-E	37-25-0-E	37-26-0-E
U S A DEPT OF THE INTERIOR CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD WELLFLEET, MA 02667	TRURO CONSERVATION TRUST TRS: ALFRED GAECHTER, ET AL PO BOX 327 NO TRURO, MA 02652	TRURO CONSERVATION TRUST TRS: ALFRED GAECHTER, ET AL PO BOX 327 NO TRURO, MA 02652
37-27-0-E	37-28-0-E	40-127-0-R
TRURO CONSERVATION TRUST TRS: ALFRED GAECHTER, ET AL PO BOX 327 NO TRURO, MA 02652	TRURO CONSERVATION TRUST TRS: ALFRED GAECHTER, ET AL PO BOX 327 NO TRURO, MA 02652	DERCOLE ANN & BRADY LINDA 105 W 89TH ST APT 2B NEW YORK, NY 10024
40-168-0-R	40-999-0-E	
WALKER STEPHEN M & VORNDRAN DARCEE M PO BOX 313 NORTH TRURO, MA 02652	USA-DEPT OF INTERIOR Cape Cod National Seashore 99 Marconi Site Rd Wellfleet, MA 02667	

6.0 – Town Fee

OAKHILL ENGINEERING LLC
75 OAK HILL AVE
SEEKONK, MA 02771-1100

1965
50-7044/2219

09/17/24 Date

Pay to the
Order of Town of Turo

Two Hundred Fifty 00/100

\$ 250.00

Dollars

Photo
Safe
Deposit
Details on back



Webster Bank

Webster Bank, N.A. Member FDIC

For Site Plan Review - Hortons
Campground

[Signature]

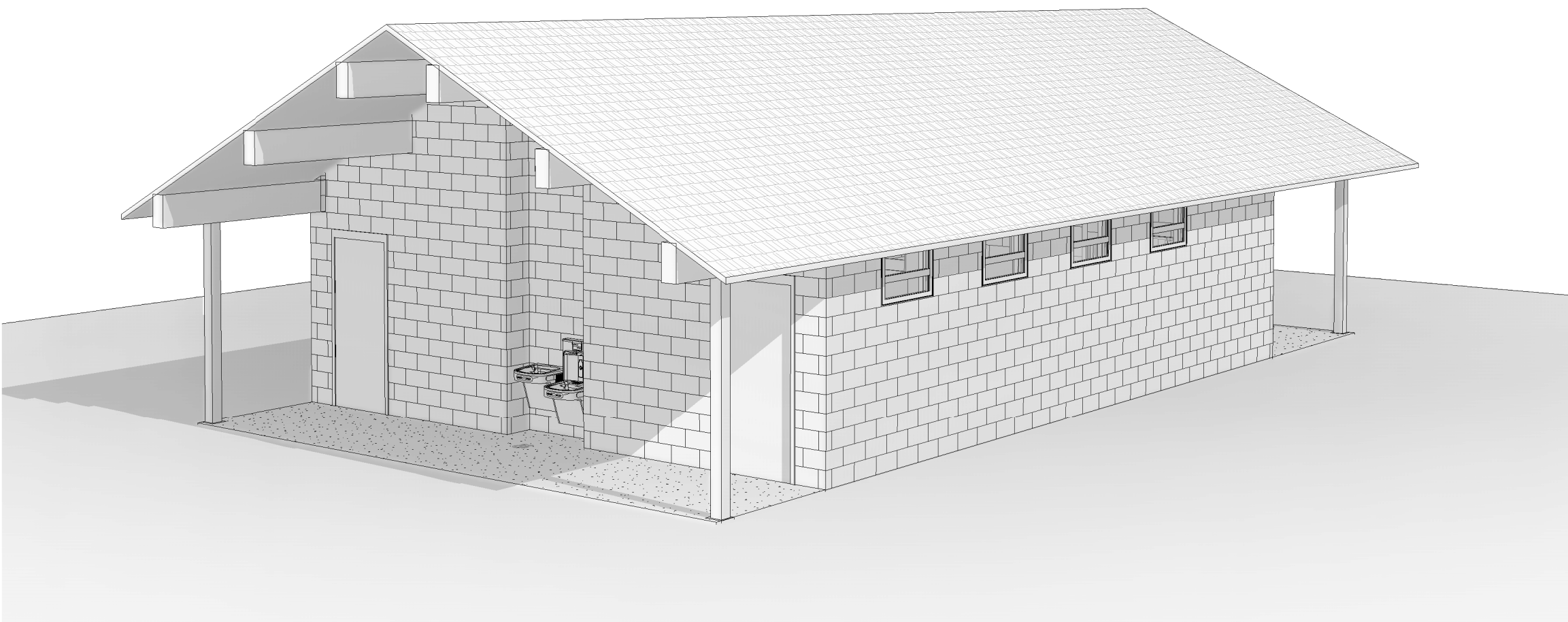
MP

ADVENTURE BOUND CAMPING RESORTS

ADVENTURE BOUND - COMFORT BUILDING TRURO, MA



Weston & Sampson
Weston & Sampson Engineers, Inc.
100 Foxborough Boulevard, Suite 250
Foxborough, MA 02035
978.532.1900 600.SAMPSON
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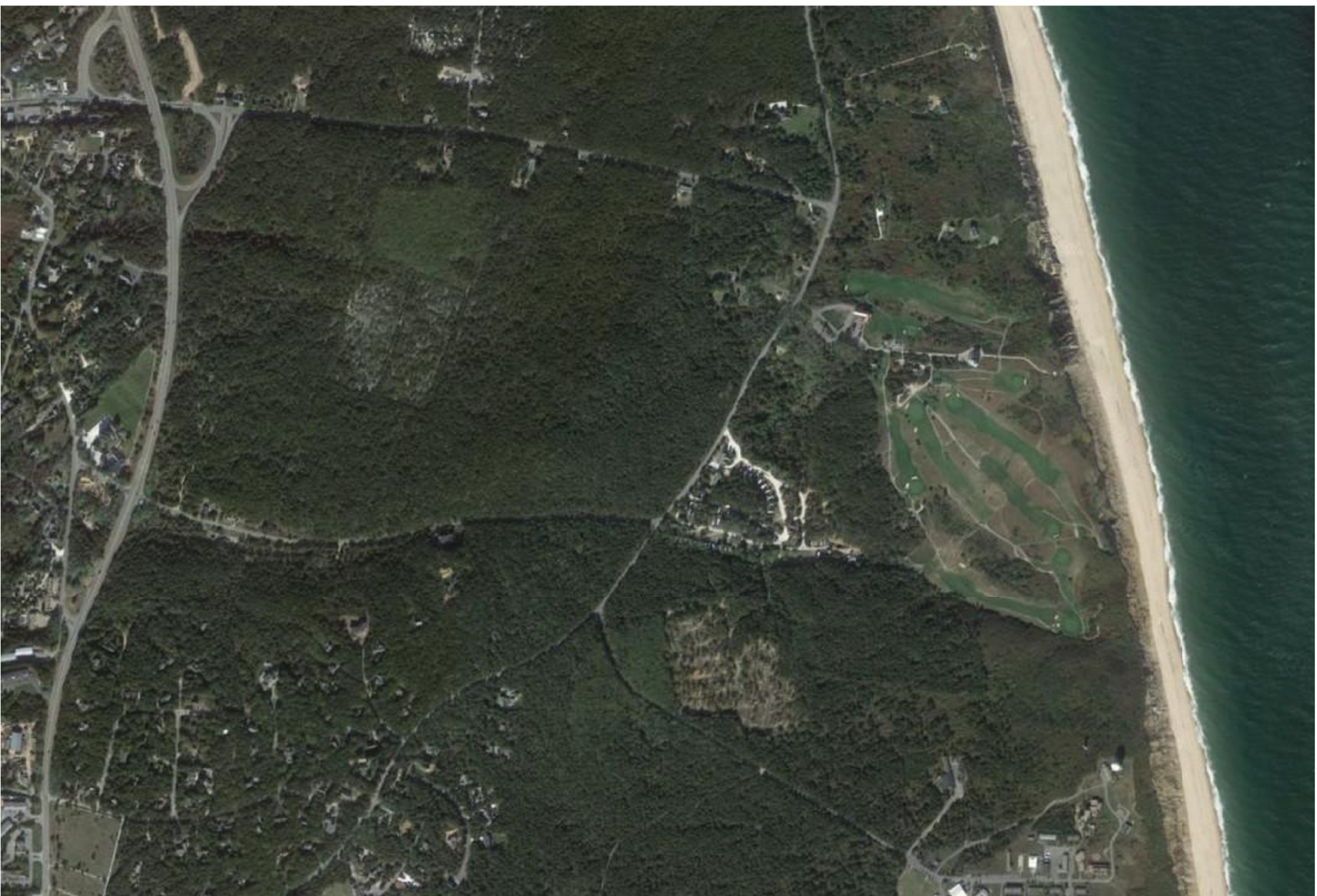


DRAWING LIST

GENERAL	
G000	TITLE SHEET
ARCHITECTURAL	
A011	ABBREVIATIONS, SYMBOLS, LEGEND, GENERAL NOTES, & WALL TYPES
A021	GENERAL NOTES
A101	OVERALL FLOOR PLANS
A103	OVERALL ROOF PLAN & DETAILS
A201	OVERALL ELEVATIONS
A231	3D VIEWS
A301	BUILDING & WALL SECTIONS
A701	INTERIOR ELEVATIONS



Location Map



Vicinity Map

Issue Date: 11/14/2023

Issued For: Permit



CODE PLAN LEGEND

EXIT CAPACITY

###

101

150SF
50SF/P

3P

ACTUAL EGRESS OF DOOR OR STAIR
MAXIMUM ALLOWABLE EGRESS
CAPACITY OF DOOR OR STAIR
ROOM NUMBER
MAXIMUM NUMBER OF ALLOWABLE OCCUPANTS
AREA IN NET SQUARE FEET (GROSS SQUARE FEET)
OCCUPANCY LOAD FACTOR

115'

15

→

→

PATH OF MAXIMUM TRAVEL DISTANCE TO EXIT
DIRECTION OF TRAVEL TO EXIT

HANDICAPPED ACCESSIBLE AREA OR EXIT

A = 33" x 48" D = 36" x 60"
B = 33" x 60" E = 30" x 48"
C = 36" x 48" F = 30" x 50"

FIRE EXTINGUISHERS:

FE = FIRE EXTINGUISHER, BRACKET MOUNTED
FEC = FIRE EXTINGUISHER, CABINET MOUNTED (SEMI-RECESSED)

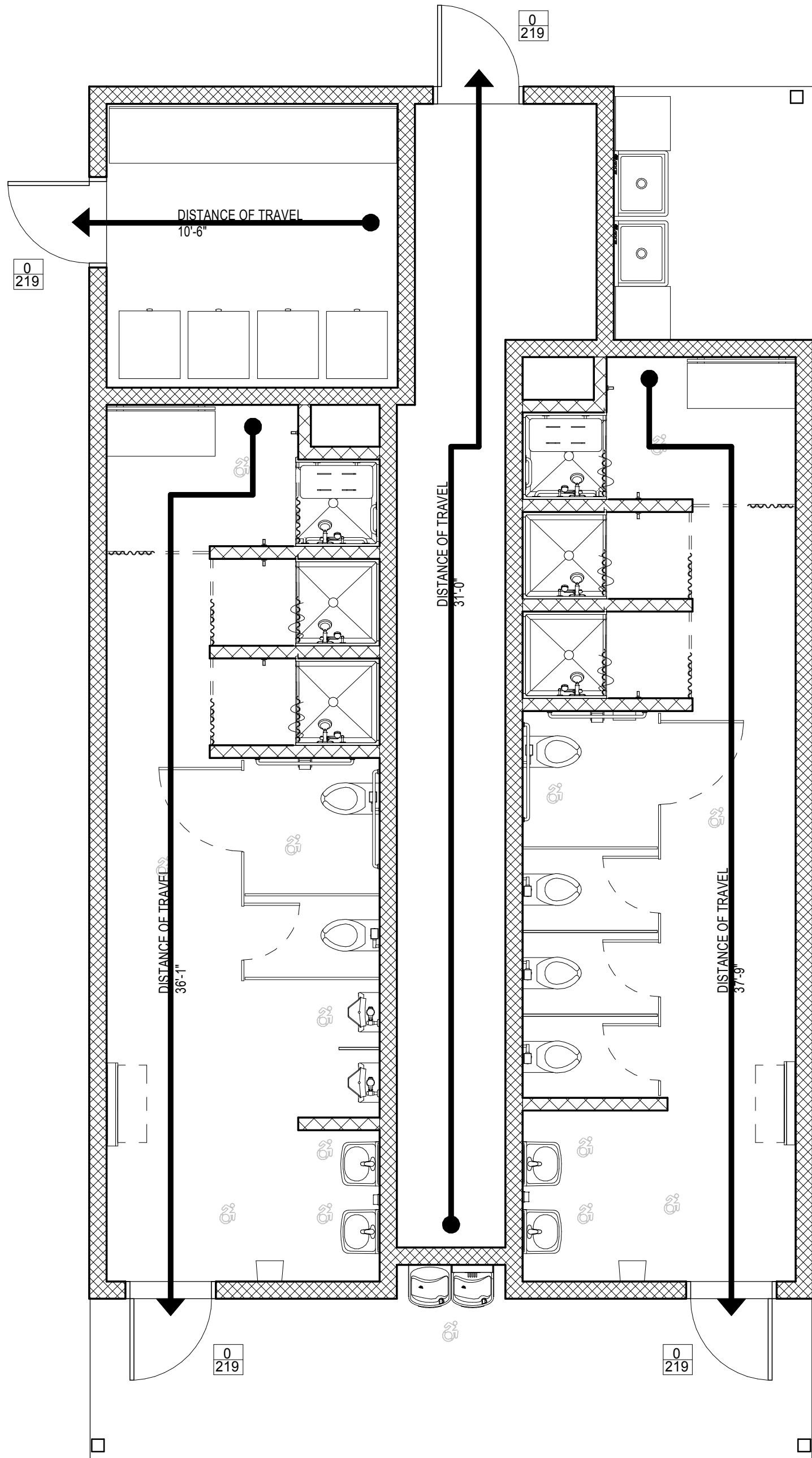
SEPARATIONS ARE DESIGNATED AS FOLLOWS:

2 HOUR FIRE-RESISTANCE RATED FIRE BARRIER
1 HOUR FIRE-RESISTANCE RATED FIRE BARRIER
SMOKE RESISTANT SEPARATION

ADDRESS IDENTIFICATION SIGNAGE: IFC 505.1

87

- APPLICABILITY:
- VERIFY SPECIFIC REQUIREMENTS WITH LOCAL FIRE CODE OFFICIAL
 - CHARACTER HEIGHT - 4" MINIMUM W/ 1/2" STROKE MINIMUM
 - COLOR - EASILY IDENTIFIABLE COLOR, CONTRASTING WITH BACKGROUND



1 FIRST FLOOR - CODE PLAN
1/4" = 1'-0" 1/ A201

Project:

ADVENTURE BOUND -
COMFORT BUILDING
TRURO, MA

ADVENTURE BOUND CAMPING
RESORTS

Weston & Sampson

Weston & Sampson Engineers, Inc.
100 Foxborough Boulevard, Suite 250
Foxborough, MA 02035
978.532.1900 800.SAMPSON

www.westonandsampson.com

Consultants:

Revisions:		
No.	Date	Description

Seal:

Issued For: Permit

Scale: As indicated
Key Plan:

NORTH
P

Date:

11/14/2023

Drawn By:

MMF

Reviewed By:

BPM

Approved By:

JB

W&S Project No.:

ENG21-1089

W&S File No.:

TBD

Drawing Title:

CODE SUMMARY

Sheet Number:

G101

WALL TYPE NOTES

1. WALL TYPES LISTED REPRESENT SEVERAL TYPES OF WALL CONSTRUCTION, ALL OF WHICH MAY NOT BE USED ON THIS PROJECT. REFER TO FLOOR PLANS FOR WALL TYPE DESIGNATIONS.
2. EXTEND ALL METAL STUDS AND GYPSUM BOARD TO UNDERSIDE OF DECK, WHERE ABUSE RESISTANT GYPSUM BOARD (ARGB) IS USED, EXTEND ARGB TO 6" ABOVE FINISH CEILING, CONTINUE WITH GYPSUM BOARD TO UNDERSIDE OF DECK.

3. AT ALL NON-FIRE RATED PARTITIONS, FILL VOIDS WITH SOUND ATTENUATION INSULATION INCLUDING, BUT NOT LIMITED TO, FLUTES IN METAL FLOOR / ROOF DECK, VOIDS BETWEEN PARTITIONS AND STRUCTURAL MEMBERS, PENETRATIONS OF DUCTWORK, ELECTRICAL CONDUIT, PIPING, ETC.

4. GYPSUM BOARD AND ARGB USED IN A ONE, TWO, OR THREE HOUR FIRE-RESISTANCE RATED PARTITION MUST BEAR THE U.L. CLASSIFICATION MARKING.

SMOKE PARTITIONS:

5. NON-FIRE-RESISTANCE RATED PARTITIONS REQUIRED TO RESIST THE PASSAGE OF SMOKE ARE DESIGNATED AS "SMOKE RESISTANT" WITH AN ASTERISK (*) LOCATED BELOW THE WALL TYPE DESIGNATION. EXTEND ALL SMOKE PARTITIONS TO THE UNDERSIDE OF METAL FLOOR / ROOF DECK AND / OR STRUCTURE ABOVE. PENETRATIONS AND VOIDS SHALL BE FIRESTOPPED IN ACCORDANCE WITH DIVISION 07 SPECIFICATION SECTION "FIRESTOPPING". ALL HEAD-OF-WALL JOINTS AND FLOOR-TO-WALL JOINTS SHALL BE SEALED IN ACCORDANCE WITH SPECIFICATION SECTION "FIRESTOPPING".

SMOKE BARRIERS:

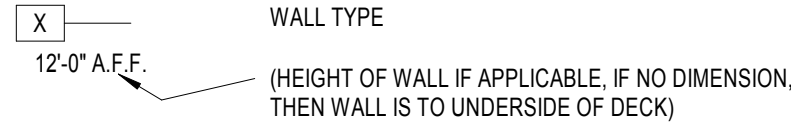
6. FOR THE PURPOSE OF SUBDIVIDING BUILDING SPACES, SMOKE BARRIERS ARE FIRE-RESISTANCE RATED PARTITIONS, DESIGNATED WITH AN "S" LOCATED ADJACENT TO THE WALL TYPE DESIGNATION.

7. PROVIDE SMOKE DAMPERS AT DUCTWORK PENETRATIONS IN ALL ONE, TWO, AND THREE HOUR FIRE-RESISTANCE RATED SMOKE BARRIERS.

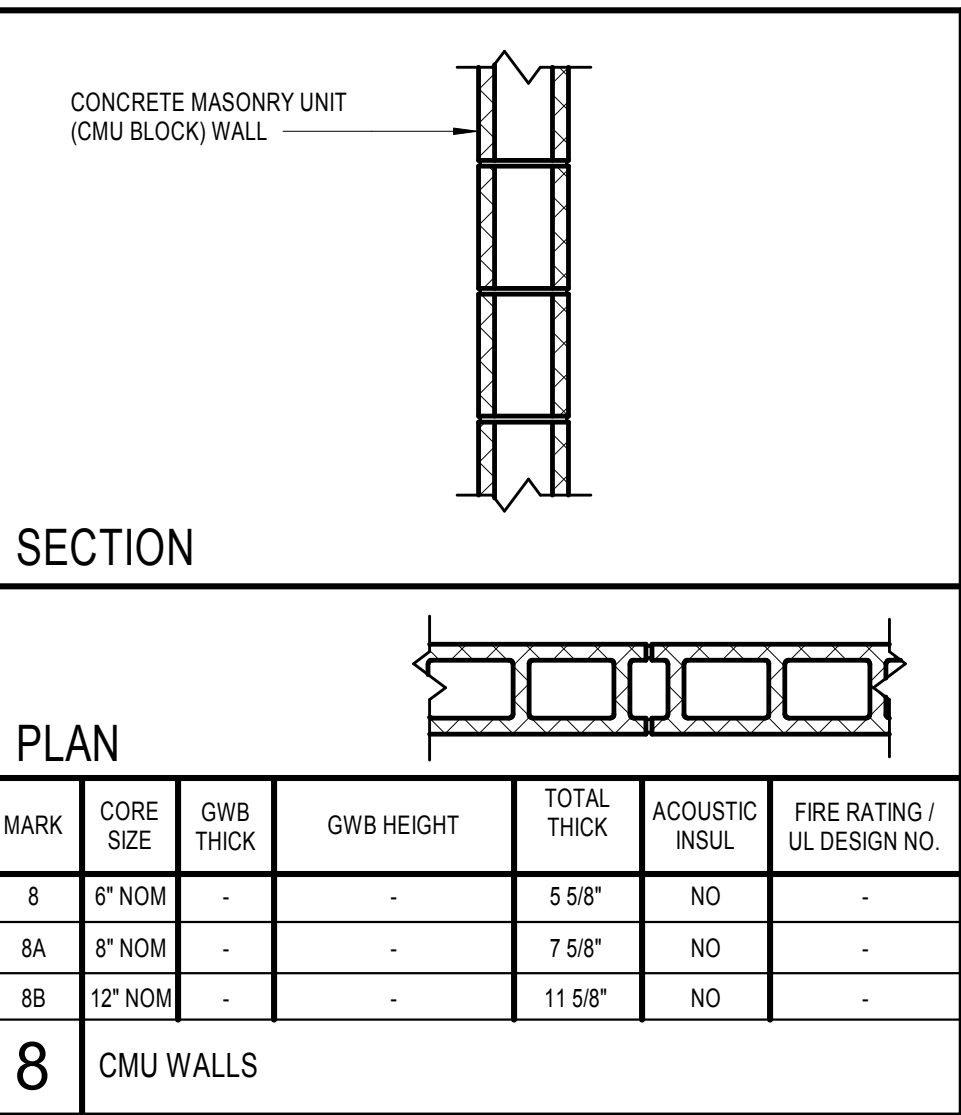
8. REFER TO FIRE-RESISTANCE RATED CONSTRUCTION FOR ADDITIONAL REQUIREMENTS.

FIRE-RESISTANCE RATED CONSTRUCTION:

9. ALL FIRE-RESISTANCE RATED PARTITIONS RESIST THE PASSAGE OF SMOKE AND ARE CONSIDERED SMOKE RESISTANT WITHOUT THE ASTERISK DESIGNATION. EXTEND ALL FIRE-RESISTANCE RATED PARTITIONS TO THE UNDERSIDE OF METAL FLOOR/ROOF DECK AND/OR STRUCTURE ABOVE. PENETRATIONS AND VOIDS SHALL BE FIRESTOPPED IN ACCORDANCE WITH SPECIFICATION SECTION "FIRESTOPPING". ALL HEAD-OF-WALL JOINTS AND FLOOR-TO-WALL JOINTS SHALL BE SEALED IN ACCORDANCE WITH SPECIFICATION SECTION "FIRE-RESISTIVE JOINT SYSTEMS."



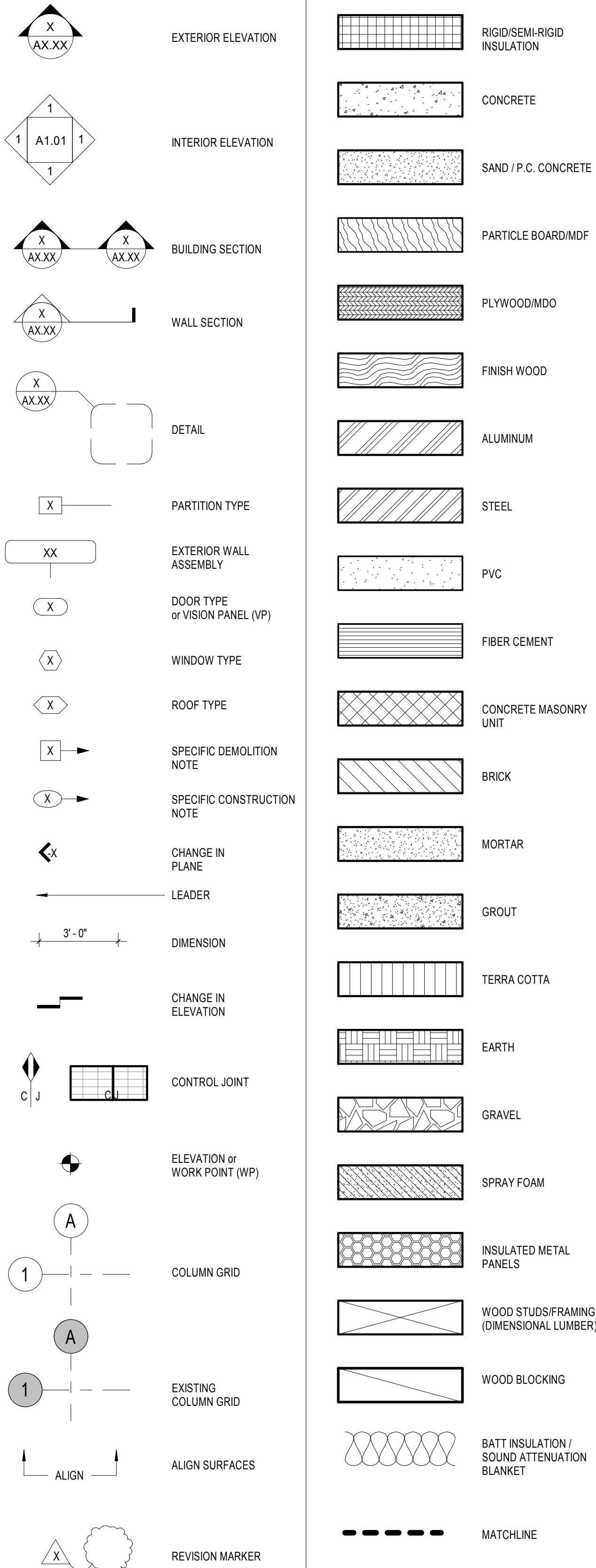
10. GYPSUM BOARD AT EXTERIOR WALLS IS TO GO TO THE UNDERSIDE OF DECK AND HAVE THE ROOF VAPOR BARRIER / FABRIC LINER EXTEND AND SEALED AGAINST THE BACK SIDE OF THE GYPSUM BOARD.



ABBREVIATION

A	AIR CONDITION	F	FIRE ALARM	MH	MANHOLE	SHR	SHOWER
AC	ACOUSTICAL	FAAP	FIRE ALARM ANNUNCIATOR PANEL	MIN	MINIMUM	SIM	SIMILAR
ACT	ACOUSTICAL CEILING TILE	FACP	FIRE ALARM CONTROL PANEL	MIR	MIRROR	SND	SANITARY NAPKIN DISPENSER
ADJ	ADJACENT	FAK	FIRST AID KIT	MISC	MISCELLANEOUS	SNV	SANITARY NAPKIN VENDOR
AFF	ABOVE FINISH FLOOR	FB	FIRE BLANKET	ML	MATCH LINE	SOLSUR	SOLID SURFACE (COUNTER)
ALT	ALTERNATE	FC	FILE CABINET	MDG	MOULDING	SPC	SPECIAL
ALUM	ALUMINUM	FD	FLOOR DRAIN	MO	MASONRY OPENING	SPEC	SPECIFICATION
ANC BLT	ANCHOR BOLT	FE	FIRE EXTINGUISHER	MOD	MODULAR	SQ	SQUARE
ANOD	ANODIZED	FEC	FIRE EXTINGUISHER CABINET	MR	MOISTURE RESISTANT	SR	SHEET RUBBER
APPROX	APPROXIMATE	FF	FINISH FLOOR	MRGB	MOISTURE RESISTANT GYPSUM BOARD	SS	STAINLESS STEEL
ARCH	ARCHITECT	FFE	FINISH FLOOR ELEVATION	MS	METAL STUD	STD	STANDARD
ARGB	ABUSE RESISTANT GYPSUM BOARD	FG	FIBERGLASS	MTD	MOUNTED	STL	STEEL
ASPH	ASPHALT	FIN	FINISH	MTL	METAL	STOR	STORAGE
AVB	AIR VAPOR BARRIER	FLASH	FLASHING	FLOOR	METAL TOILET PARTITION	STRUCT	STRUCTURE or STRUCTURAL
		FLR	FLOOR			SUSP	SUSPENDED or SUSPENSION
		FLUOR	FLUORESCENT			SV	SHEET VINYL
B		FOC	FACE OF CONCRETE	N		SYS	SYSTEM(S)
BC	BASE CABINET	FOF	FACE OF FINISH	N/A	NOT APPLICABLE		
BD	BOARD	FOM	FACE OF MASONRY	NAT	NATURAL	T	
BF	BRACE FRAME	FOS	FACE OF STUD	NIC	NOT IN CONTRACT	T & B	TOP AND BOTTOM
BITUM	BITUMINOUS	FOUND	FOUNDATION	NO	NUMBER	T & G	TONGUE AND GROOVE
BLDG	BUILDING	FP	FIREPROOF(ING)	NOM	NOMINAL	TB	TRASH BARREL
BLK	BLOCK	FR	FIRE RETARDANT	NTS	NOT TO SCALE	TBA	TO BE ABANDONED
BLKG	BLOCKING	FRP	FIBERGLASS REINFORCED WALL PANEL	NUM	NUMBER	TBB	TILE BACKER BOARD
BM	BENCH MARK			NW	NEW	TBD	TO BE DETERMINED
BOF	BOTTOM OF FOOTING	FRTW	FIRE RETARDANT TREATED WOOD			TBOC	TOP BACK OF CURB
BOS	BOTTOM OF STEEL	FSB	FILED SUB BID	O		TEL	TELEPHONE
BOTT	BOTTOM	FT	FEET	OA	OVERALL	TEMP	TEMPORARY
BPL	BEARING PLATE	FTG	FOOTING	OC	ON CENTER	THK	THICK(NESS)
BRG	BEARING	FUR	FURRING	OD	OUTSIDE DIAMETER	THRESH	THRESHOLD
BRK	BRICK			OH	OVERHEAD DOOR	TOC	TOP OF CONCRETE
BS	BRICK SHELF			OPNG	OPENING	TOF	TOP OF FOOTING
BSMT	BASEMENT	G		OPP	OPPOSITE	TOL	TOP OF LANDING
BVL	BEVELED	GA	GAUGE	OPHAN	OPPOSITE HAND	TOP	TOP OF PLATE
		GALV	GALVANIZED	D		TOS	TOP OF STEEL
CAB	CABINET	GB	GRAB BAR	OSB	ORIENTED STRAND BOARD	TOW	TOP OF WALL
CB	CEMENT BOARD / CATCH BASIN	GC	GENERAL CONTRACTOR	OTS	OPEN TO STRUCTURE	TR	TRANSLUCENT PANEL
CDM	CAVITY DRAINAGE MATERIAL	GDRL	GUARD RAIL	OW	OPERABLE WALL	TREAD	TREAD
CF	CUBIC FEET	GL	GLASS	OZ	OUNCE	TTD	TUBULAR STEEL
CH	CEILING HEIGHT	GLB	GLAZED BLOCK			TTT	TOILET TISSUE DISPENSER
CIP	CAST IN PLACE	GN	GOOSENECK	P		TW	TO WEATHER
CJ	CONTROL JOINT	GRT	GROUT	PART	PARTICLE BOARD	TYP	TYPICAL
CL	CENTER LINE / COLUMN LINE	GWB	GYPSUM WALL BOARD	BD			
CL	CLOSET / CHAIN LINK			PAV	PAVING	U	
CLG	CEILING			PCP	PRECAST CONCRETE PLANK	UC	UNDERCUT
CLOS	CLOSET	H		PERIM	PERIMETER	UG	UNDERGROUND
CLR	CLEAR	HB	HOSE BIB	PL	PROPERTY LINE / PLATE	UND	UNDERSIDE (OF DECK)
CMU	CONCRETE MASONRY UNIT	HC	HANDICAP	PLAM	PLASTIC LAMINATE	UNFIN	UNFINISHED
CNTR	COUNTER	HD	HEAVY DUTY	PLAS	PLASTIC	UNO	UNLESS NOTED OTHERWISE
CO	CASED OPENING	HDWR	HARDWARE	PLY	PLYWOOD	UV	UNIT VENTILATOR
COL	COLUMN	HM	HOLLOW METAL	PMUF	PRE-MOLDED JOINT FILLER		
COMP	COMPOSITION	HOR	HORIZONTAL	PNT	PAINT	V	
CONC	CONCRETE	HP	HIGH POINT	PR	PAIR	VB	VINYL BASE / VAPOR BARRIER
CONST	CONSTRUCTION	HT	HEIGHT	PREFIN	PREFINISHED	VCT	VINYL COMPOSITION TILE
CONT	CONTINUOUS	HTR	HEATER	PRFB	POURED RESIN FLOOR BASE	VERT	VERTICAL
CONTC	CONTRACTOR	HVAC	HEATING, VENTILATING, & AIR CONDITIONING	PSF	POUNDS PER SQUARE FOOT	VEST	VESTIBULE
CONV	CONVECTOR	HW	HOT WATER	PSI	POUNDS PER SQUARE INCH	VIF	VERIFY IN FIELD
COORD	COORDINATE			PT	PRESSURE TREATED	VPD	VENEER PLASTER BASE
CORR	CORRIDOR	I		PTD	PAPER TOWEL DISPENSER	VS	VENT STACK
CPET	COMMON PATH OF EGRESS TRAVEL	ID	INSIDE DIAMETER	PTD	PAINTED	VT	VINYL TREAD
CPT	CARPET	IN	INCH	PTN	PARTITION	VTS	VINYL TRANSITION STRIP
INCL	INCLUDED	INCL	INCLUDED	PVC	POLYVINYL CHLORIDE	VWB	VINYL WALL BASE
INFO	INFORMATION	INT	INTERIOR	PVMT	PAVEMENT	VWC	VINYL WALL COVERING
INSUL	INSULATION	INV	INVERT				
INT	INTERIOR	IRGWB	IMPACT-RESISTANT GWB	Q		W	
INV	INVERT			QT	QUARRY TILE	W	WASHER
IRGWB	IMPACT-RESISTANT GWB					W	WITH
		J		R		W/O	WITHOUT
D		JAN	JANITOR	R	RISER	WB	WOOD BASE
D	DRYER	JST	JOIST	R & D	REMOVE & DISPOSE	WC	WALL CABINET
D-PART	DEMOUNTABLE PARTITION	JT	JOINT	R & R	REMOVE AND REPLACE	WD	WOOD
DBL	DOUBLE			R & S	REMOVE AND SALVAGE	WDC	WATERPROOFING, DAMPPROOFING, & CAULKING CONTRACTOR
DEMO	DEMOLITION	K		RAD	RADIUS	WF	WIRE FABRIC
DF	DRINKING FOUNTAIN	KD	KNOCK-DOWN	RCP	REFLECTED CEILING PLAN	WG	WIRE GLASS
DH	DOUBLE HUNG	KIP	1,000 LBS	RD	ROOF DRAIN	WH	WALL HUNG
DI	DRAIN INLET	KO	KNOCKOUT	REF	REFRIGERATOR	WIN	WINDOW
DIA	DIAMETER	KPLT	KICKPLATE	REFURB	REFURBISH	WP	WATER PROTECTION
DIAG	DIAGONAL			REINF	REINFORCEMENT	WPG	WATERPROOF(ING)
DIM	DIMENSION	L		RELOC	RELOCATED	WR	WATER RESISTANT
DIST	DISTANCE	L	LENGTH	REM	REMOTE	WS	WATER STOP
DL	DRAIN LEADER	L	LENGTH	REQD	REQUIRED		
DN	DOWN	LAM	LAMINATE	RES	RESILIENT		
DR	DOOR	LAV	LAVATORY	REV	REVISION		
DS	DOWNSPOUT	LBL	LABEL	RFG	ROOFING		
DTL	DETAIL	LC	LEAD COATED	RFI	RIGID FOAM INSULATION		
DW	DISHWASHER	LCC	LEAD COATED COPPER	RFS	RESINOUS FLOOR SYSTEM		
DWG	DRAWING	LGMF	LIGHT-GAUGE METAL FRAMING	RH	RIGHT HAND		
		LIN	LINOLEUM	RL	ROOF LADDER		
E		LLH	LONG LEG HORIZONTAL	RM	RUBBER MAT		
EA	EACH	LLV	LONG LEG VERTICAL	RO	ROUGH OPENING		
EF	EACH FACE	LSC	LIFE SAFETY CODE	RT	RUBBER TILE		
EIFS	EXTERIOR INSULATED FINISH SYSTEM	LT	LIGHT	RTU	ROOF TOP UNIT		
EJ	EXPANSION JOINT	M		RUB	RUBBER		
EL	ELEVATION	M	METER	S			
ELEC	ELECTRIC	MANUF	MANUFACTURER	S	SEALANT		
ELEV	ELEVATOR	MAS	MASONRY	S.L.	STRUCTURAL LINE		
EMER	EMERGENCY	MAT	MATERIAL	SACI	SPRAY-APPLIED CELLULOSE INSULATION		
ENCL	ENCLOSURE	MAX	MAXIMUM	SACP	SECURITY ALARM CONTROL PANEL		
EOC	EDGE OF CONCRETE	MB	MOISTURE BARRIER	SAFI	SPRAY-APPLIED FOAM INSULATION		
EP	ELECTRICAL PANEL	MBL	MARBLE	SCHED	SCHEDULE		
EQ	EQUAL	MBM	METAL BUILDING MANUFACTURER	SCR	SHOWER CURTAIN ROD		
EQUIP	EQUIPMENT	MCR	MEMBER	SCW	SOLID CORE WOOD		
ER	EXISTING TO REMAIN	MDF	MEDIUM DENSITY FIBERBOARD	SD	SOAP DISPENSER		
ES	EXPOSED STRUCTURE	MDO	MEDIUM DENSITY OVERLAY	SECT	SECTION		
EW	EACH WAY	MECH	MECHANICAL	SF	SQUARE FEET		
EXH	EXHAUST	MFR	MANUFACTURER	SH	SINGLE HUNG		
EXIST	EXISTING						
EXP	EXPANSION						
EXT	EXTERIOR						

SYMBOLS



ADMINISTRATION

100

1 View Name
1/8" = 1'-0" 1/4/201

DRAWING TITLE
(ORIGINAL TAG REFERENCE
LOCATED NEXT TO SCALE)

Project: ADVENTURE BOUND - COMFORT BUILDING TRURO, MA

ADVENTURE BOUND CAMPING RESORTS



Weston & Sampson

Weston & Sampson Engineers, Inc.
100 Foxborough Boulevard, Suite 250
Foxborough, MA 02035
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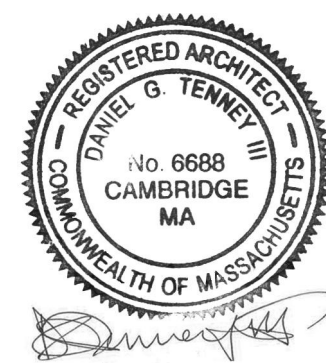
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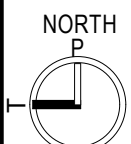


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Date: 11/14/2023

Drawn By: MMF

Reviewed By: BPM

Approved By: JB

W&S Project No.: ENG21-1089

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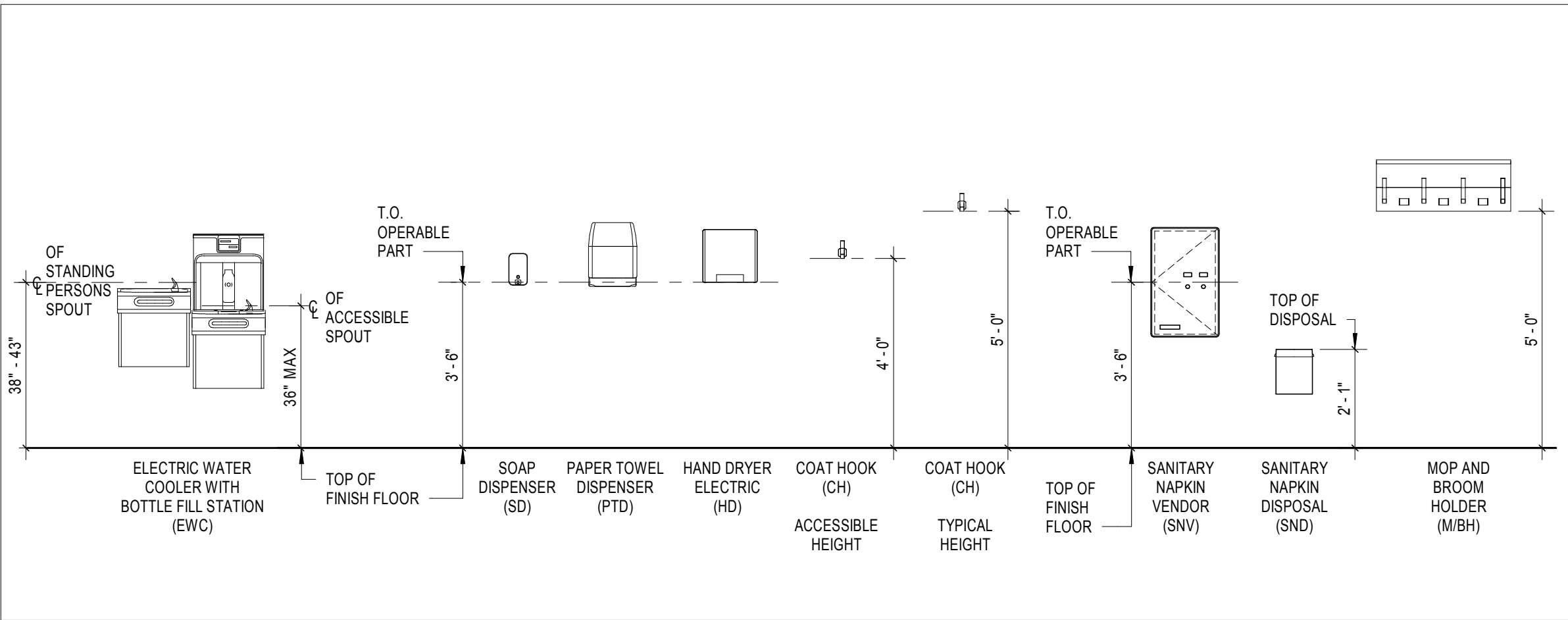
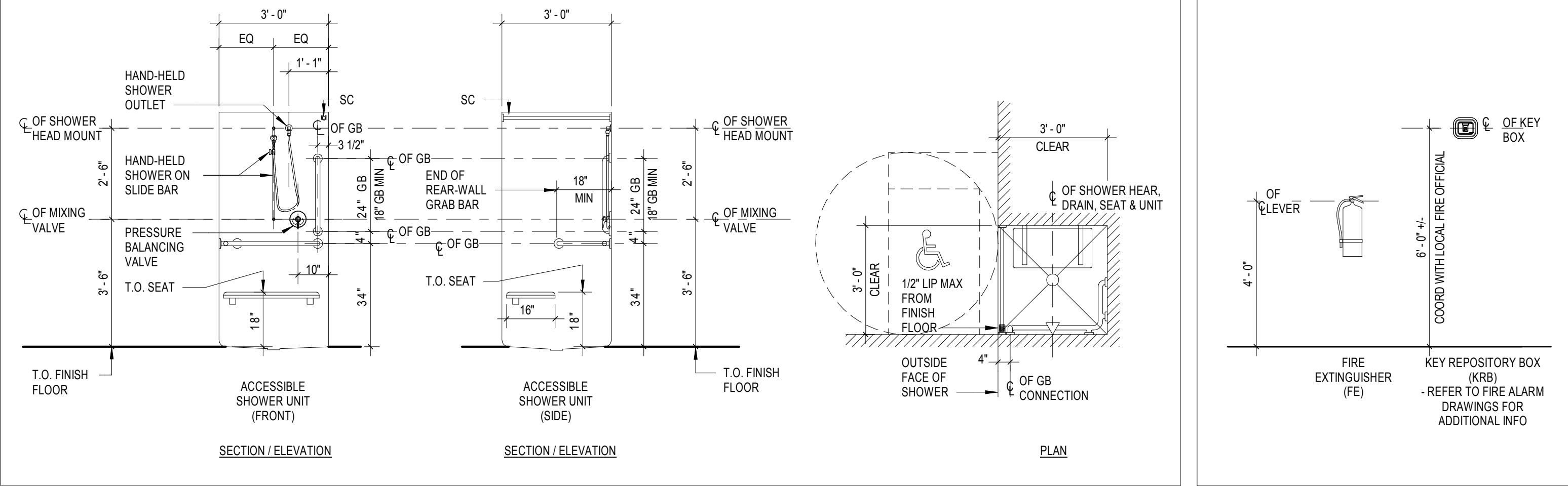
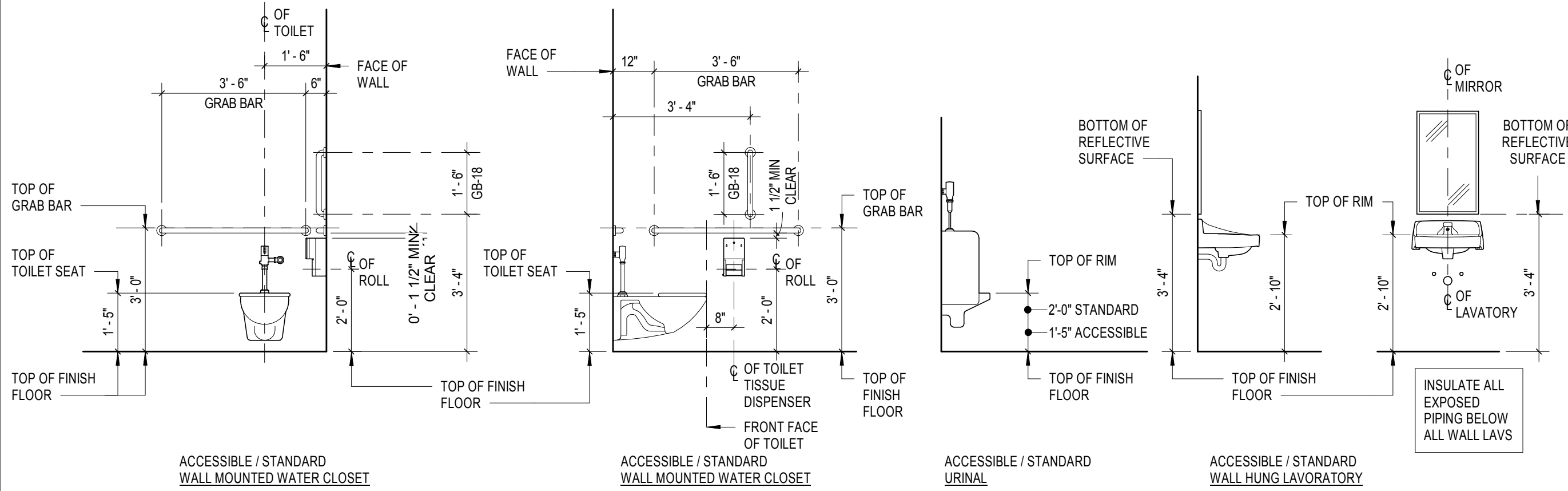
ABBREVIATIONS,
SYMBOLS, LEGEND,
GENERAL NOTES, &
WALL TYPES

Sheet Number:

A011

PLUMBING FIXTURE SCHEDULE / MOUNTING HEIGHTS

3/8" = 1'-0"



GENERAL NOTES:

- PROVIDE BULLNOSE TOP COURSE AND CEMENTITIOUS TILE BACK BOARD / CEMENT BOARD AT ALL CERAMIC TILE LOCATIONS. TYPICAL. INSTALLATION OF CERAMIC TILE OVER GYPSUM BOARD EXCEPT FOR A KITCHENETTE BACKSPLASH IS NOT ACCEPTABLE.
- PROVIDE CONT. BLOCKING AT SHELVING, ACCESS PANELS, DISPLAY MONITORS, MARKER BOARDS ETC. COORDINATE LOCATION IN FIELD.
- MOISTURE RESISTANT (MR) GYPSUM BOARD TO BE USED IN ALL TOILET ROOM / RESTROOM FACILITIES.
- PROVIDE PVC SHIMS AS NECESSARY TO MAKE TOILET ROOM ACCESSORIES SUCH AS PTD'S, MIRRORS, SD'S, TOILET PARTITIONS, ETC., FLUSH ON WALL OVER CERAMIC TILE WAINSCOT. SHIMS TO BE PAINTED BY PAINTING FSB. THICKNESS TO MATCH CERAMIC WALL TILE.

TOILET ACCESSORY SCHEDULE - DIV 10

MARK	DESCRIPTION
SD	SOAP DISPENSER
PTD	PAPER TOWEL DISPENSER
TTD	TOILET TISSUE DISPENSER
TB	TRASH BARREL
MARK	DESCRIPTION
CH	COAT / ROBE HOOK
GB	GRAB BAR (DIMENSION PER PLANS)
MIRR	MIRROR
SC	SHOWER CURTAIN
CR	CURTAIN ROD FOR SHOWER

GENERAL NOTES

- COORDINATE THE ARCHITECTURAL DRAWINGS WITH STRUCTURAL, PLUMBING, FIRE PROTECTION, MECHANICAL, AND ELECTRICAL / FIRE ALARM DRAWINGS FOR THE VERIFICATION OF ALL PROJECT REQUIREMENTS.
- FINISH FIRST FLOOR SLAB ELEVATION HIGH POINT IS 0'-0" FOR THIS PROJECT.
- ALL INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF STUD TO FACE OF STUD / FACE OF MASONRY UNLESS SPECIFICALLY NOTED OTHERWISE. **DO NOT SCALE DRAWINGS.** REFER TO ENLARGED PLANS AND DETAILS FOR FURTHER DIMENSIONING INFORMATION. ALL WORK LINES AND LEVELS SHALL BE LAID OUT BY WRITTEN DIMENSIONS. ANY DEVIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER. ALL DEVIATIONS AND DISCREPANCIES SHALL BE CORRECTED BY THE CONTRACTOR BEFORE HE BEGINS HIS PORTION OF THE WORK.
- FIRE EXTINGUISHER AND CABINET QUANTITIES AND LOCATIONS TO BE COORDINATED WITH THE TOWN FIRE DEPARTMENT PRIOR TO ORDERING AND INSTALLATION. CONFORM TO THE STATE FIRE REGS AND NFPA.
- COORDINATE MASTER BOX, KNOX BOX, AND BEACON LOCATIONS WITH THE ELECTRICAL / FIRE ALARM DRAWINGS AND THE TOWN FIRE DEPARTMENT REQUIREMENTS. ELECTRICAL CONTRACTOR TO PROVIDE KNOX BOX THAT MEET THE TOWN FIRE DEPARTMENT REQUIREMENTS.
- THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO THE WORK AND SHALL NOTIFY THE DESIGNER REGARDING ANY DISCREPANCIES.
- THE CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS, SAMPLES, CATALOG CUTS ECT., INCLUDING COLOR CHARTS FOR PAINTS, FOR ALL INTERIOR FINISHES, TO THE DESIGNER FOR SELECTION, REVIEW AND APPROVAL WITH THE OWNER PRIOR TO FABRICATION OR INSTALLATION. THE COLORS MUST BE SUBMITTED IN A TIMELY MANNER AND TOGETHER FOR REVIEW AND COLOR BOARDS. FAILURE TO DO SO IN A TIMELY MANNER WILL FALL ON THE CONTRACTOR'S RESPONSIBILITY AND NOT ON THE OWNER. REFER TO EACH INDIVIDUAL SPECIFICATIONS FOR SIZE, QUANTITY AND TYPE OF COLOR SELECTION.
- PERFORM ALL WORK IN ACCORDANCE WITH THE STATE BUILDING CODE, AS WELL AS LOCAL CODES AND ORDINANCES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, BACKCHARGES AND FEES AS REQUIRED BY THE TOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAILY REMOVAL AND LEGAL DISPOSAL OF ALL DEBRIS OFF SITE.
- THE CONTRACTOR SHALL SEAL ALL THROUGH-WALL & FLOOR PENETRATIONS WITH 3M BARRIER CAULK (O.A.E.) AND SEALANT ON USG SAFING 2500 PSI GROUT. U.N.O. INSTALL ANY REQUIRED FIRE RATED PARTITIONS TO UNDERSIDE OF FLOOR AND ROOF DECK, INCLUDING DEFLECTION HEAD FIRE SAFING.
- INSTALL A CONTINUOUS SEALANT BEAD ON BACKER ROD AT ALL JUNCTURES OF DISSIMILAR MATERIALS (E.G.: METAL TO CMU, STEEL TO ALUMINUM) AND ALL MATERIAL JOINTS AS REQUIRED BY THE MANUFACTURER'S SPECIFICATION AND RECOMMENDATIONS, INDUSTRY STANDARDS AND GOOD PRACTICE.
- PROVIDE CONTINUOUS GALVANIZED METAL EDGE TRIM AT ALL GWB WORK.
- THE CONTRACTOR SHALL INSTALL ALL INTERIOR FINISHES AT ALL SURFACES INDICATED ON THE DRAWINGS IN CONFORMANCE TO STATE BUILDING CODE. ALL DOORS SHALL HAVE LEVER HARDWARE TO CONFORM TO 521 CMR.
- INSTALL USG .093 (OR APPROVED EQUAL) CONTROL JOINTS AT 30'-0" O.C. MAX. OR AS PER MANUFACTURER'S SUGGESTED DETAILS AND SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A GAP FILLING SYSTEM OR OTHER SYSTEM WHICH SPANS ANY GAP IN THE EXTERIOR WALL SYSTEM WHICH DOES NOT MEET THE MAXIMUM SPAN OF THE APPROVED AIR BARRIER MEMBRANE SYSTEM. THIS SYSTEM SHALL BE PROVIDED TO ALLOW FOR A COMPLETE AIR BARRIER MEMBRANE INSTALLATION. THE SYSTEM SHALL BE COMPATIBLE WITH THE APPROVED AIR BARRIER PRODUCT AND SHALL BE APPROVED BY THE DESIGNER PRIOR TO INSTALLATION.
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE DISCONNECT SWITCHES, STARTERS AND ALL LINE VOLTAGE WIRING AND CONDUIT TO OH DOOR OPERATORS. THE HAND-OFF-AUTO SWITCH, PUSH BUTTON CONTROL STATION (MOMENTARY UP-STOP-DOWN) AND CONTROLLER IS FURNISHED BY THE OVERHEAD DOOR MANUFACTURER AND INSTALLED BY THE ELECTRICAL CONTRACTOR. THE ELECTRICAL CONTRACTOR IS TO PROVIDE CONDUIT AND WIRING BETWEEN THE HAND-OFF-AUTO SWITCH, THE PUSH BUTTON CONTROL STATION AND CONTROLLER PER OVERHEAD DOOR MANUFACTURER REQUIREMENTS. FURNISHING AND INSTALLATION OF THE MOTOR UNIT, OPTICAL SENSORS, PNEUMATIC DOOR SAFETY BOTTOM, LOW VOLTAGE WIRING AND ALL OTHER ACCESSORIES ASSOCIATED WITH THE OVERHEAD DOORS SHALL BE THE RESPONSIBILITY OF THE OVERHEAD DOOR CONTRACTOR.
- ALL STRUCTURAL ELEMENTS WHICH PASS IN FRONT OF WINDOWS / CLERESTORIES SHALL BE BACK PAINTED.
- ALL STRUCTURAL ELEMENTS SHOWN ON THE ARCHITECTURAL DRAWINGS ARE FOR INFORMATION ONLY. REFER TO STRUCTURAL DRAWINGS FOR EXACT SIZES AND LOCATION OF STRUCTURAL ELEMENTS.
- THE CONTRACTOR SHALL PROVIDE SUPPLEMENTAL FRAMING AND OR BLOCKING AS NECESSARY TO SUPPORT ALL EXTERIOR WALL MOUNTED ELEMENTS.
- ALL OPENINGS IN EXTERIOR WALLS FOR PLUMBING, FIRE PROTECTION, MECHANICAL, AND ELECTRICAL / FIRE ALARM SYSTEMS SHALL BE SEALED WEATHER-TIGHT BY THE CONTRACTOR. CONTRACTOR TO PROVIDE FIRE RATED SEALANTS AS REQUIRED AT FIRE RATED WALL, FLOOR, CEILING, AND ROOF ASSEMBLIES.
- THE CONTRACTOR IS TO FIELD MEASURE OH DOOR OPENINGS TO ENSURE PROPER FIT OF OH DOORS.
- ALL EXPOSED SURFACES (INCLUDING, BUT NOT LIMITED TO: WALLS, UNDERSIDE OF EXPOSED ROOF AND FLOOR DECK, STRUCTURAL STEEL, MISCELLANEOUS METALS, DOORS/FRAMES, DUCTWORK, CONDUIT, AND PIPING) SHALL BE PRIMED AND PAINTED.
- BLOCKING SHALL BE PROVIDED FOR ALL WALL MOUNTED EQUIPMENT (INCLUDING, BUT NOT LIMITED TO: PLUMBING FIXTURES, TOILET ACCESSORIES, UTILITY SINKS, FIRE EXTINGUISHER CABINETS, SHELVING, COUNTERS, CASEWORK, CABINETS, MEDIA EQUIPMENT, AND WINDOW TREATMENTS); PROVIDE ADDITIONAL METAL STUD FRAMING AS REQUIRED TO SUPPORT BLOCKING.
- THE AIR BARRIER MEMBRANE (ABM) SHALL BE CONTINUOUS THROUGH THE BUILDING ENVELOPE AND BETWEEN THE WALL AND ROOF SYSTEMS INSTALLED ON THE WINTER WARM SIDE OF THE INSULATION. OPENINGS AND PENETRATIONS IN THE BUILDING ENVELOPE SHALL BE SEALED WITH SEALANT MATERIALS OR CLOSED WITH GASKETING SYSTEMS WHICH IS COMPATIBLE WITH THE ABM SYSTEM AND MEETS THE PERFORMANCE REQUIREMENTS IN THE SPEC. SYSTEM SHALL BE COMPATIBLE WITH THE CONSTRUCTION MATERIALS AND LOCATION. JOINTS AND SEAMS SHALL BE SEALED IN THE SAME MANNER OR TAPED OR COVERED WITH A MOISTURE VAPOR-PERMEABLE WRAPPING MATERIAL. SEALING MATERIALS SPANNING JOINTS BETWEEN CONSTRUCTION MATERIALS SHALL ALLOW FOR EXPANSION AND CONTRACTION OF THE CONSTRUCTION MATERIALS. AT ALL OH DOOR JAMBS AND HEADERS, THE ABM SHALL TERMINATE AT THE STEEL FACE WHERE THE INSULATION ABUTS STEEL FRAMED OPENINGS. TERMINATE ABM ON THE INSIDE FACE OF EXTERIOR WALL SYSTEM AT DOORS, WINDOWS, LOUVERS, AND CLERESTORIES. THE TERMS VAPOR RETARDER, AND AIR MOISTURE BARRIER ARE SYNONYMOUS WITH ABM.
- METAL BUILDING SYSTEM SHALL BE A SINGLE SOURCE MANUFACTURED SYSTEM. ALL ACCESSORIES, NOT LIMITED TO: PRIMARY FRAMING, WALLS, ROOF INSULATION, EXTRUSIONS, TRIMS, FASTENERS, GASKETS, SUBGIRT FRAMING, ECT SHALL BE PROVIDED BY THE METAL BUILDING SYSTEM MANUFACTURER. METAL WALL PANEL COLOR TO BE SELECTED BY THE DESIGNER FROM THE MANUFACTURES STANDARD COLOR SELECTION WITH FINISH PROTECTIONS AS SPECIFIED.
- ALL WALL/PARAPET FLASHING SHALL TERMINATE WITH A MINIMUM 8" VERTICAL LEG TO ALLOW FOR PROPER INTERFACE WITH THE ABM. ABM SHALL BE INSTALLED BEHIND FLASHING AND THE FLASHING SHALL BE INTEGRATED INTO THE ABM SYSTEM USING A SELF-ADHERED MEMBRANE FLASHING WITH MINIMUM OVERLAP REQUIREMENTS PER MANUFACTURER.
- ALL EXTERIOR AND INTERIOR MATERIAL SURFACE COLOR AND TEXTURES SHALL BE SELECTED BY THE DESIGNER FROM THE MANUFACTURES STANDARD & PREMIUM FINISH / COLOR SELECTIONS. ONCE ALL COLORS HAVE BEEN SUBMITTED, THE OWNER WILL REVIEW AND PROVIDE GUIDANCE ON COLORS FOR INCLUSION IN THE MOCK-UP REFERENCED IN DIVISION 1 OF THE SPECIFICATIONS.
- DETAILS AND NOTES SHOWN ON THE ARCHITECTURAL DRAWINGS SHALL BE APPLICABLE TO ALL PARTS OF THE ARCHITECTURAL WORK EXCEPT WHERE SPECIFICALLY REQUIRED OTHERWISE BY THE CONTRACT DOCUMENTS. CONDITIONS NOT SPECIFICALLY SHOWN SHALL BE SIMILAR TO THOSE SHOWN FOR LIKE CONDITIONS AS DETERMINED BY THE DESIGNER.
- PROVIDE ALL ACCESSIBLE FIXTURES, CONTROLS & ACCESSORIES, AND APPROPRIATE CLEARANCES, AS REQUIRED FOR COMPLIANCE W/ STATE BUILDING CODE W/ ALL AMENDMENTS, TYP.
- SEALANT DEPTH AT ALL EXTERIOR OPENINGS SHALL BE EQUAL TO THE WIDTH OF THE JOINT.
- THE CONTRACTOR TO PROVIDE CANE PROTECTION AT ALL PANELS IN EGRESS PATHS (AS DETERMINED BY DESIGNER) WHICH EXTEND 4" OR MORE FROM FACE OF WALL AND ARE GREATER THAN 27" ABOVE FINISHED FLOOR.
- FOR SITE LEGEND REFER TO DRAWING SERIES CX.00.
- FOR STRUCTURAL LEGEND REFER TO DRAWING SERIES SX.00.
- FOR WALL TYPES, REFER TO DRAWING SERIES AX.00.
- ALL DIMENSIONS ARE TO FACE OF MASONRY, FACE OF METAL STUD, AND TO THE CENTERLINE OF COLUMN, UNLESS OTHERWISE NOTED.
- FOR CEILING LEGEND AND SOFFIT DETAILS REFER TO DRAWING SERIES AX.00.
- FOR ROOF DETAILS, REFER TO DRAWING SERIES AX.00.
- FOR LARGE SCALE TOILET AND STAIR PLANS, REFER TO DRAWING SERIES AX.00.
- FOR DOOR NUMBERS AND DETAILS, REFER TO DRAWING SERIES AX.00.
- FOR INTERIOR ELEVATIONS, REFER TO DRAWING SERIES AX.00.
- FOR CASEWORK ELEVATIONS, REFER TO DRAWING SERIES AX.00.
- FOR FINISH SCHEDULE, REFER TO DRAWING SERIES AX.00.
- FOR PLUMBING LEGEND, REFER TO DRAWING SERIES PX.00.
- FOR FIRE PROTECTION LEGEND, REFER TO DRAWING SERIES FPX.00.
- FOR MECHANICAL LEGEND, REFER TO DRAWING SERIES MX.00.
- FOR ELECTRICAL LEGEND, REFER TO DRAWING SERIES EX.00.
- ALL NOTES AND DIMENSIONS DESIGNATED "TYPICAL" APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PROJECT.
- SIGNAGE TO BE MOUNTED ON THE WALL, ADJACENT TO THE LEVER SIDE OF THE DOOR, AT A HEIGHT OF FIVE (5) FEET A.F.F. REFER TO THE FLOOR PLANS FOR LOCATIONS OF DIRECTIONAL SIGNAGE.
- CONTRACTOR(S) TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND BE RESPONSIBLE FOR COORDINATION OF THE SAME. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
- GENERAL CONTRACTOR TO PROVIDE EXCAVATION & TRENCHING AT ALL UNDERGROUND UTILITIES IN EXISTING AND NEW BUILDINGS AS REQUIRED FOR MEP/FP UTILITIES AND COORDINATION. REFER TO MEP / FP DRAWINGS FOR OVERALL REQUIREMENTS. GENERAL CONTRACTOR TO COORDINATE INVERTS AND COMPACT ALL MATERIALS FOR PLACEMENT OF CONCRETE SLAB INFILL IN ACCORDANCE WITH ASTM D1567. GC TO PROVIDE SOIL COMPACTION, DOWELS, WWF MESH, VAPOR RETARDER AND TIE-INS. CONCRETE PLACEMENT AND ALL REQUIREMENTS TO CLOSE UP TRENCH ONCE MEP/FP SUB-TRADE WORK IS COMPLETE.
- ISSUE AN ACCENT WALL AT ALL ROOMS. ARCHITECT / ENGINEER TO PROVIDE LOCATION DURING CONSTRUCTION FOR ACCENT WALL. IF NOT IDENTIFIED ON PROJECT PLANS.

TYPICAL DEVICE MOUNTING HEIGHTS

- ELECTRICAL EQUIPMENT MOUNTING HEIGHT DIMENSIONS ARE TO CENTER OF DEVICE UNLESS OTHERWISE NOTED:
- RECEPTACLES: 18" A.F.F. AT LOCATIONS ABOVE CASEWORK, MOUNT BOTTOM OF MOUNT AT 24" A.F.F.
 - EXTERIOR RECEPTACLES: 24" A.F.F.
 - SWITCHES: 48" A.F.F.
 - BOILER EMERGENCY SWITCH: 60" A.F.F.
 - DATA/PHONE OUTLETS: 18" A.F.F.
 - WALL MOUNTED CLOCKS AND SPEAKERS: COORDINATE LOCATION ABOVE DOOR WITH CEILING HEIGHT. IF THE CLOCK AND SPEAKER DO NOT FIT, PLACE AT 7'-6" A.F.F. NEXT TO DOOR. COORDINATE WITH BLOCK COURSING AS OCCURS. CONSULT DESIGNER IF CONDITIONS DIFFER.
 - FIRE ALARM PULL STATIONS: 48" A.F.F.
 - AREA OF REFUGE CALL STATION: 48" A.F.F.
 - EMERGENCY SHUT-OFF SWITCH/PUSH BUTTON: 48" A.F.F.
 - EMERGENCY CALL SWITCH: 36" A.F.F.
 - EMERGENCY CALL BELL/LIGHT: 7'-8" A.F.F.
 - FIRE ALARM VISUAL/AUDIO INDICATING UNITS: 6'-8" TO BOTTOM OF DEVICE.
 - WALL MOUNTED EXT SIGNS: 8" ABOVE DOOR OR 7'-6" A.F.F.
 - EMERGENCY CALL SYSTEM FOR TOILET ROOMS: LOCATE ALARM PULL SWITCH WITHIN 3' OF WATERCLOSET. EXTEND PULL CORD TO WITHIN 12" OF THE FLOOR.
- DOOR HARDWARE MOUNTING HEIGHT DIMENSIONS ARE TO CENTER OF HARDWARE:
- PULL: 42"
 - PUSH PLATE: 45"

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ADVENTURE BOUND CAMPING RESORTS



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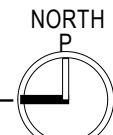


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GENERAL NOTES

Sheet Number:



A021

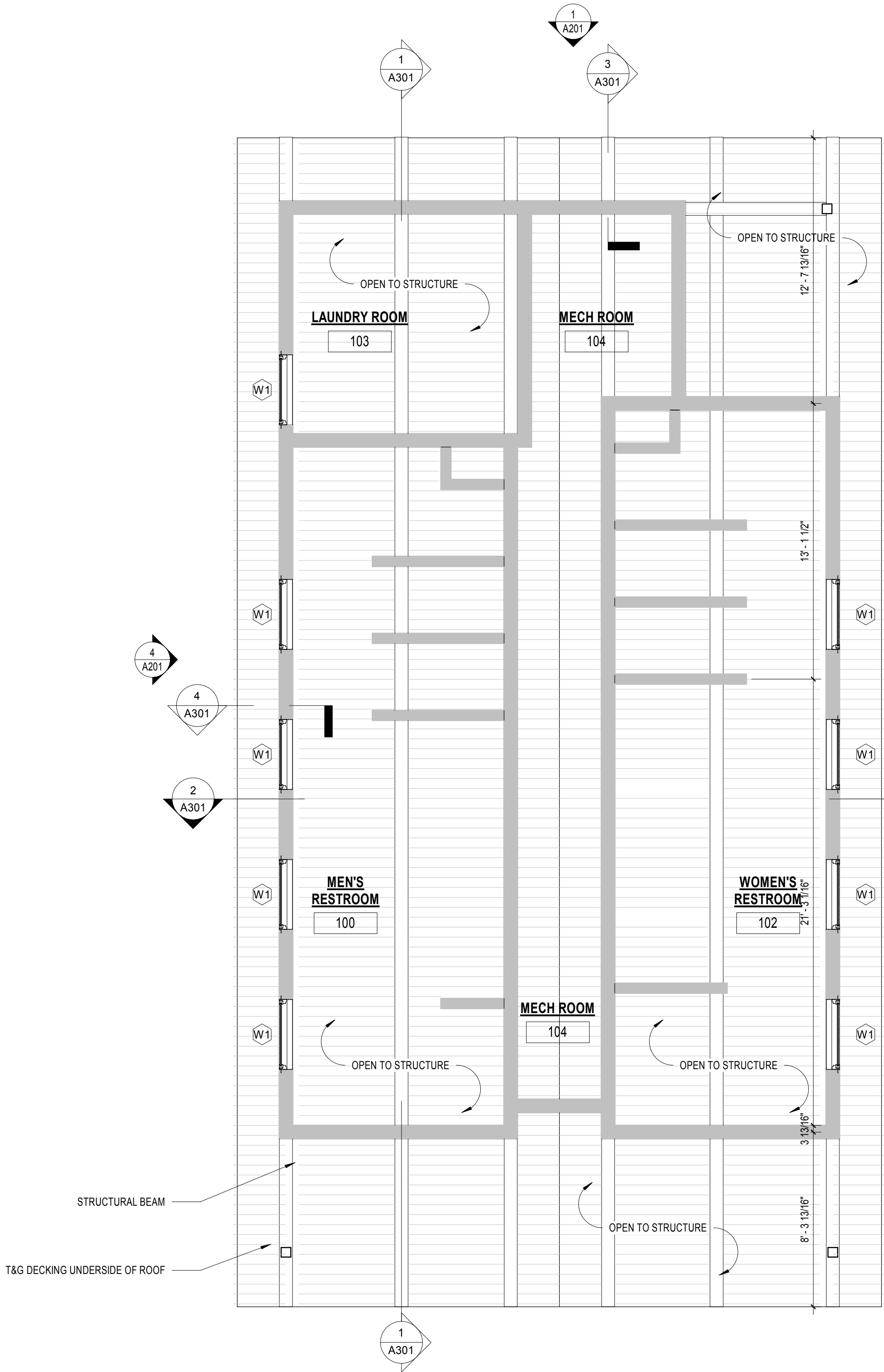
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GENERAL NOTE DISCIPLINES

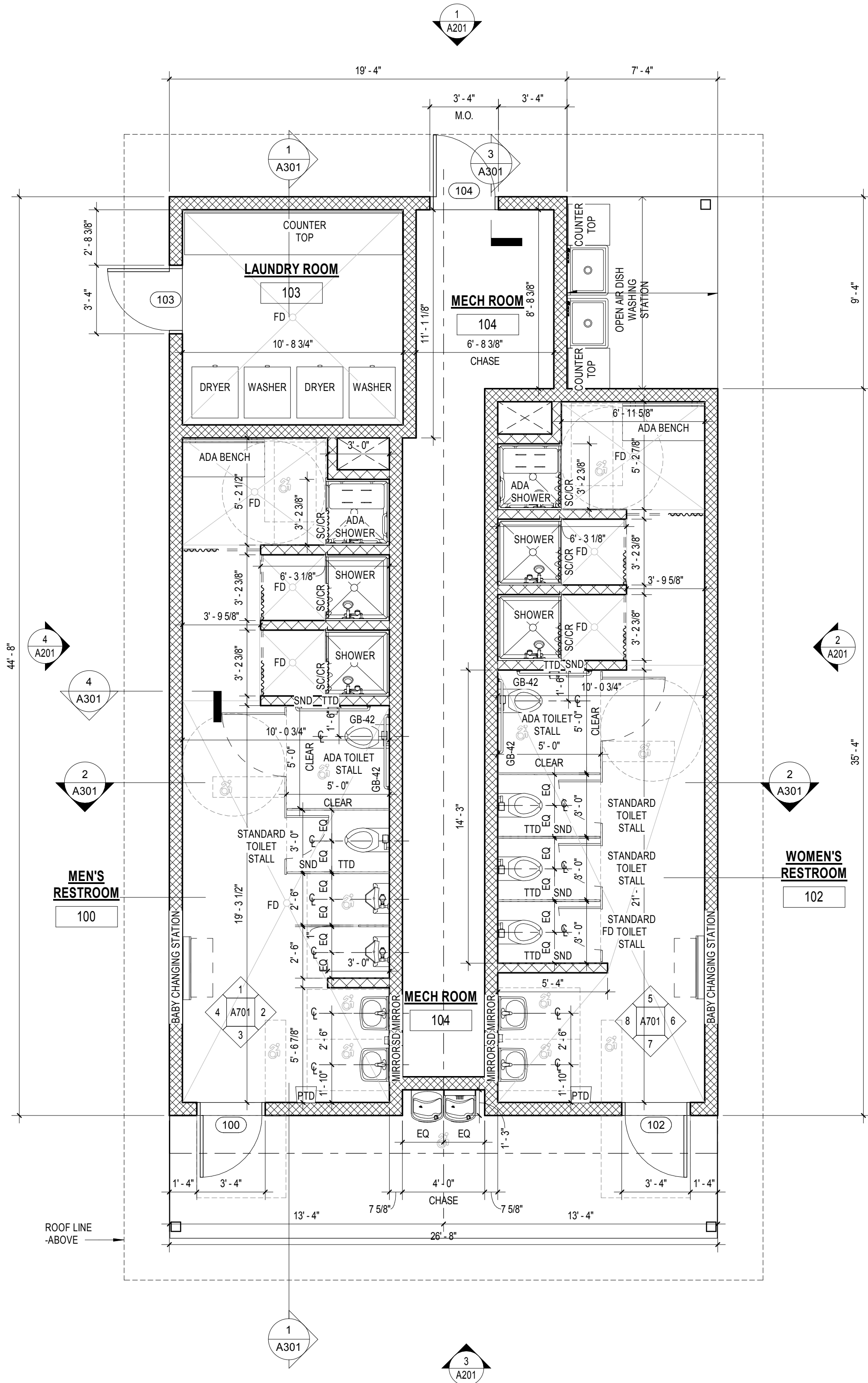
- ALL APPROACHES TO THE BUILDING NEED TO BE MA 521 CMR | ADA COMPLIANT
- PROVIDE POSITIVE MECHANICAL VENTILATION FOR ALL INTERIOR SPACES
- PROVIDE VENTILATION FOR DRYERS AND EXHAUST APPROPRIATELY
- COORDINATE WASHING MACHINE HOOK-UPS WITH WALLS AND EQUIPMENT

FLOOR PLAN GENERAL NOTES:

- F.E. = FIRE EXTINGUISHER.
F.E.C = FIRE EXTINGUISHER CABINET
 BRACKET MOUNTED
 CABINET MOUNTED (SEMI-RECESSED)
- ALL INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF GYPSUM WALL BOARD TO FACE OF GYPSUM WALL BOARD OR FACE OF CMU UNLESS SPECIFICALLY NOTED OTHERWISE.
- SEE SHEET A012 FOR PLUMBING FIXTURE SCHEDULE / MOUNTING HEIGHTS.



2 REFLECTED CEILING PLAN
1/4" = 1'-0"
1/ A201



1 OVERALL FLOOR PLAN
1/4" = 1'-0"
1/ A201

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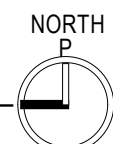


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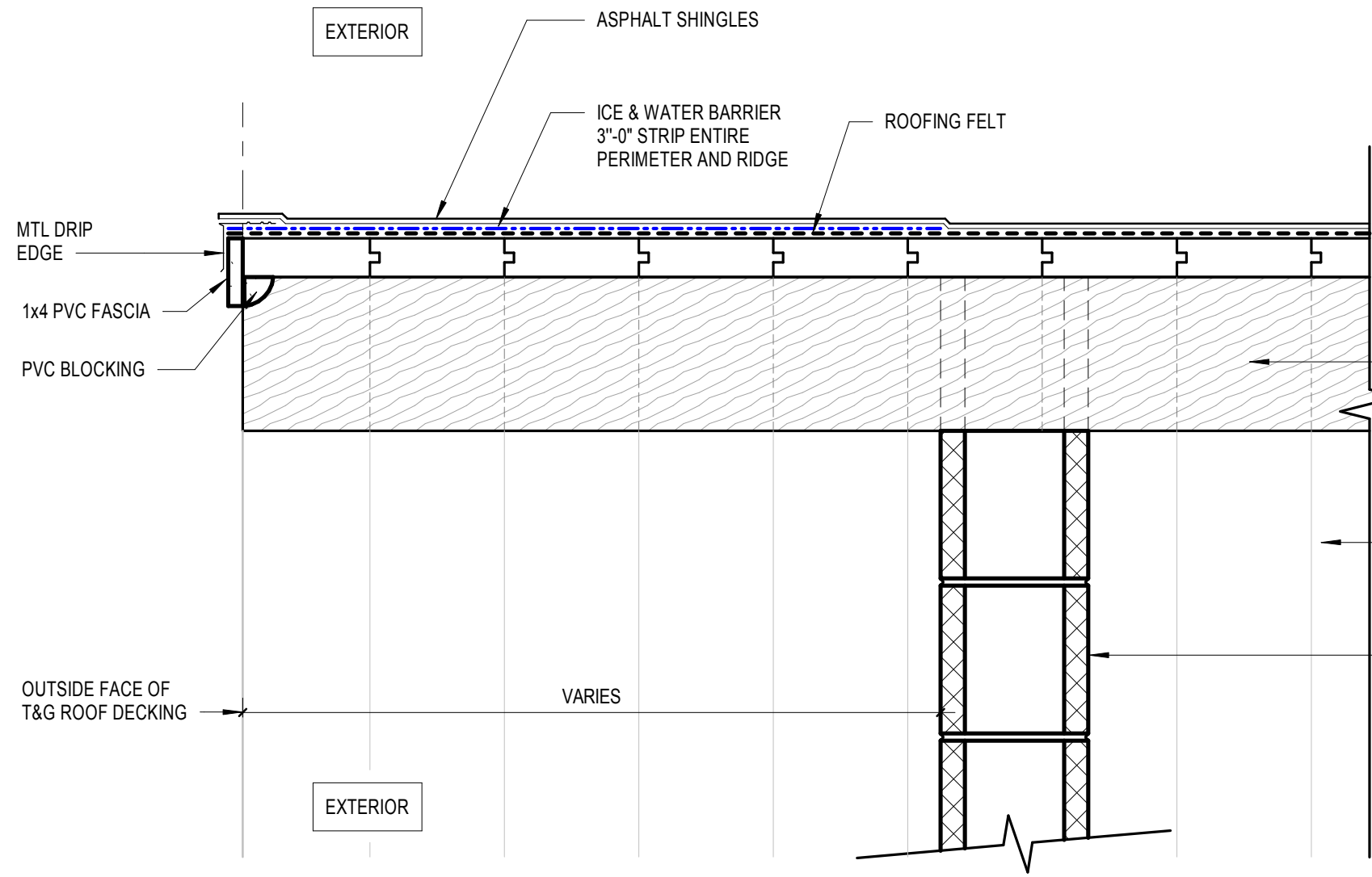
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OVERALL FLOOR PLANS

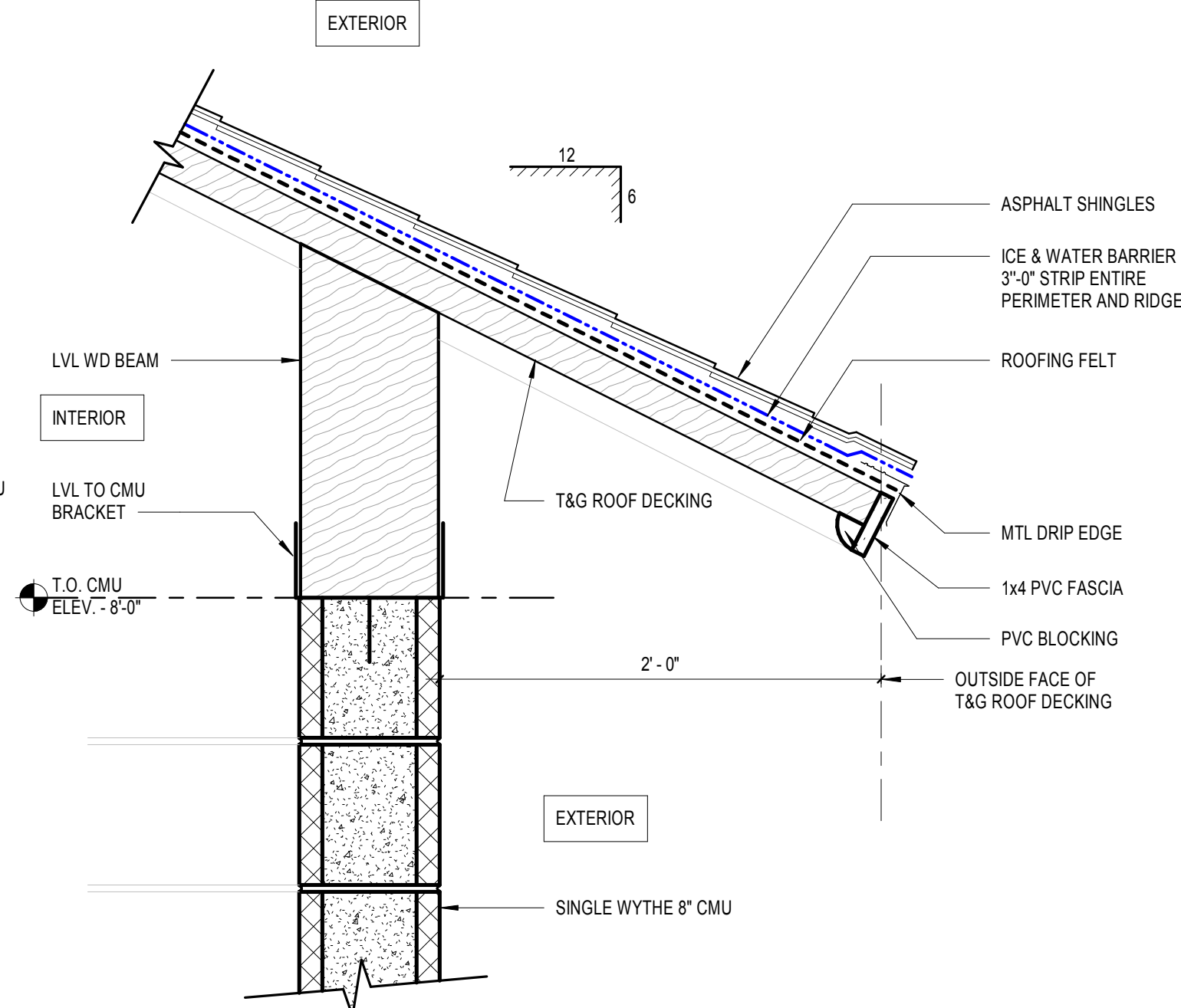
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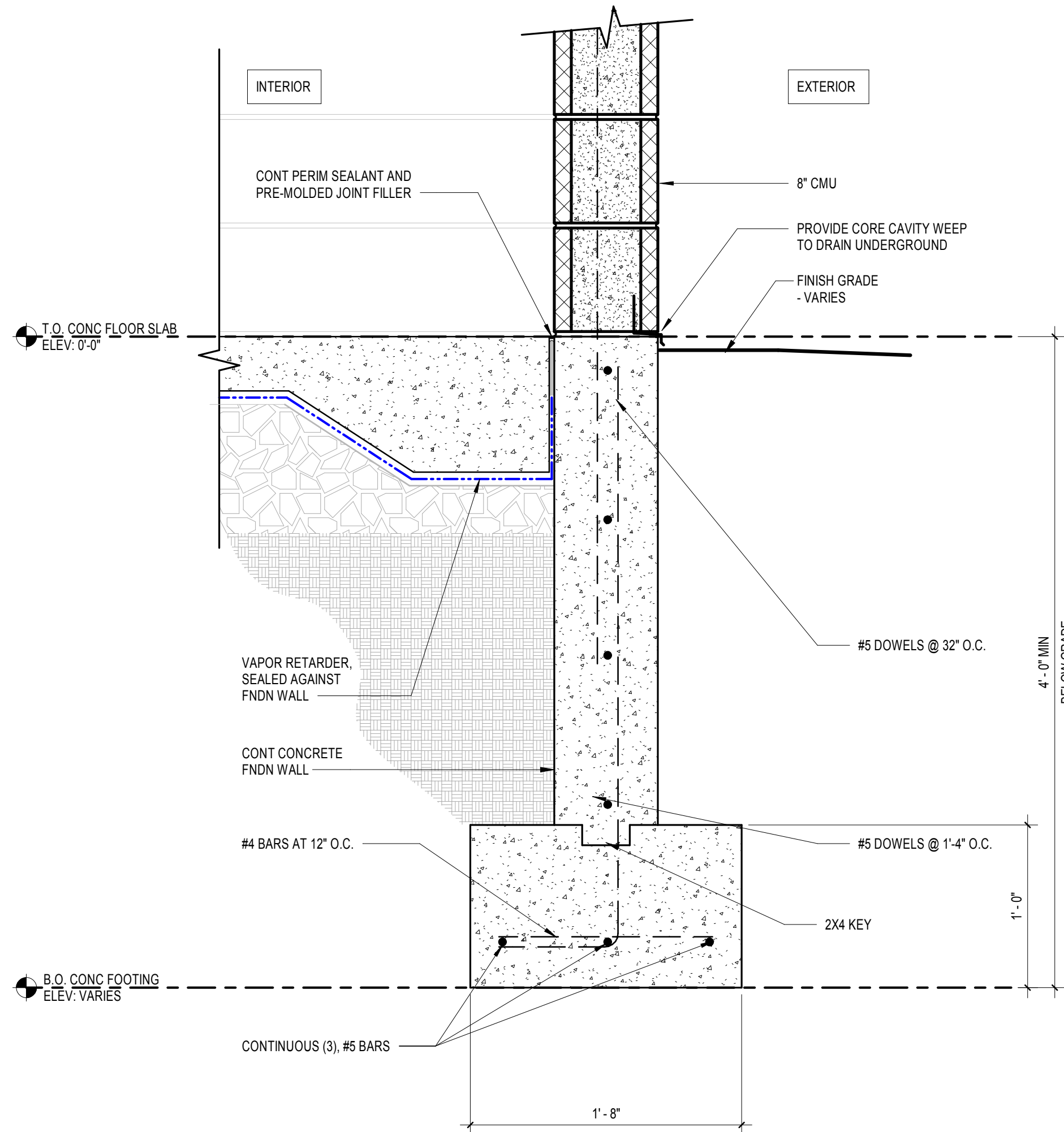
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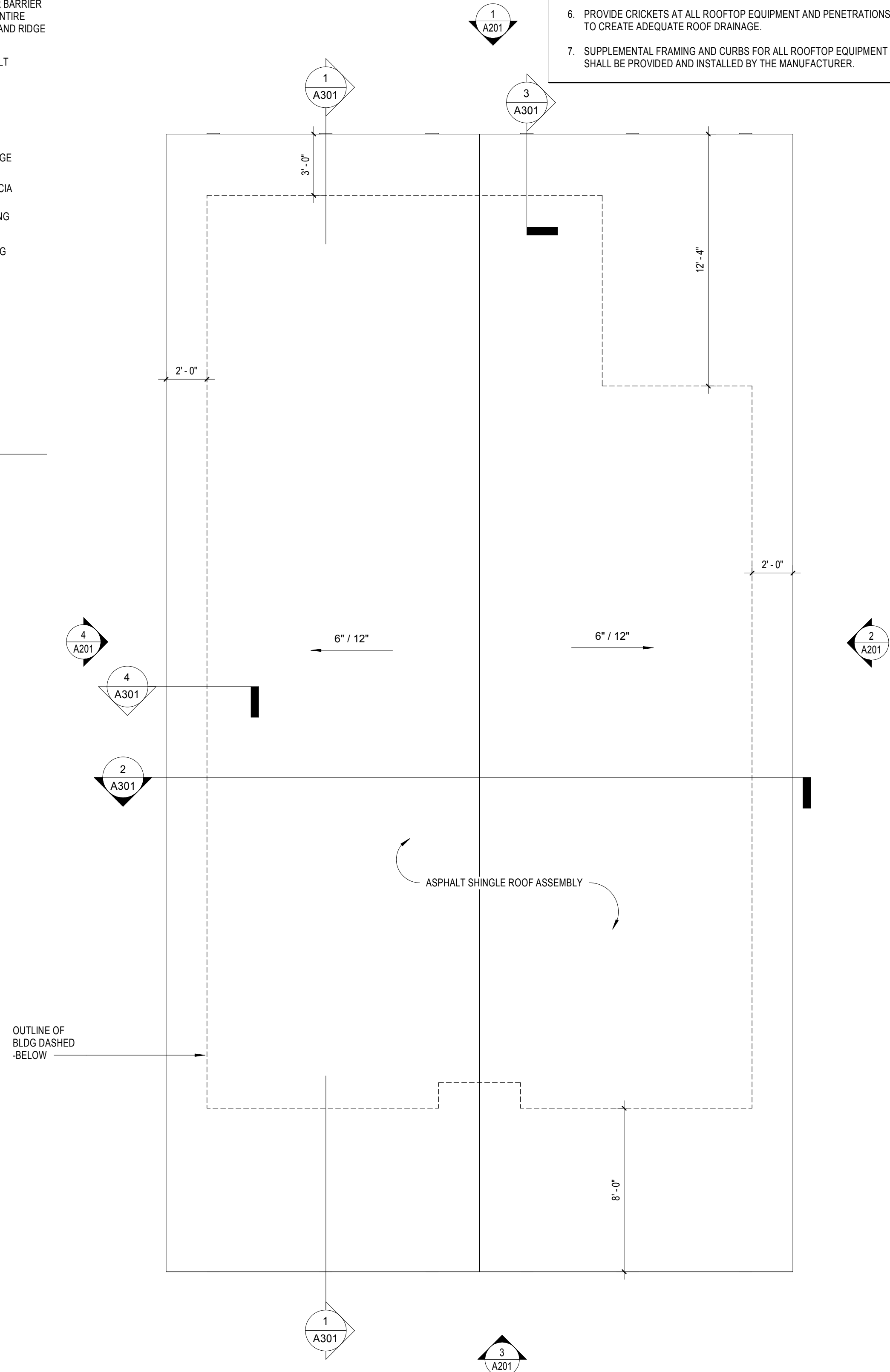
3 RAKE DETAIL
1 1/2" = 1'-0"



2 EAVE DETAIL
1 1/2" = 1'-0"



4 BASE OF WALL DETAIL - TYPICAL
1 1/2" = 1'-0"



1 ROOF PLAN
1/4" = 1'-0"

GENERAL ROOF NOTES

1. REFER TO EQUIPMENT, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL ROOF PENETRATIONS AND EQUIPMENT NOT SHOWN. ANY DISCREPANCIES REGARDING LOCATION OF EQUIPMENT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION IN FIELD.
2. ROOF SLOPE = 0'-8" : 12'-0"
3. SEE GENERAL NOTES ON A012
4. ROOF PENETRATIONS TO BE CUT AND FLASHED BY THE MANUFACTURER
5. PROVIDE ROOF FLASHING AT ALL PENETRATIONS INCLUDING BUT NOT LIMITED TO VENT STACKS, FLUES, AND EXHAUST FANS. REVIEW PLUMBING, EQUIPMENT, MECHANICAL, AND ELECTRICAL DRAWINGS FOR CONSTRUCTION NOT INDICATED ON THIS DRAWING.
6. PROVIDE CRICKETS AT ALL ROOFTOP EQUIPMENT AND PENETRATIONS TO CREATE ADEQUATE ROOF DRAINAGE.
7. SUPPLEMENTAL FRAMING AND CURBS FOR ALL ROOFTOP EQUIPMENT SHALL BE PROVIDED AND INSTALLED BY THE MANUFACTURER.

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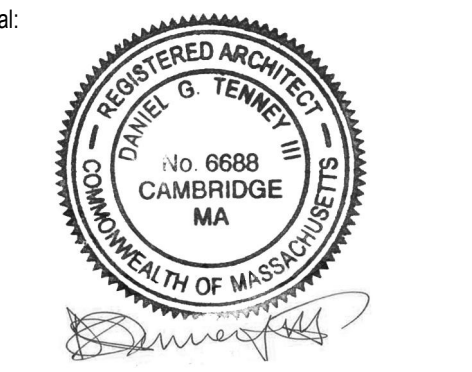
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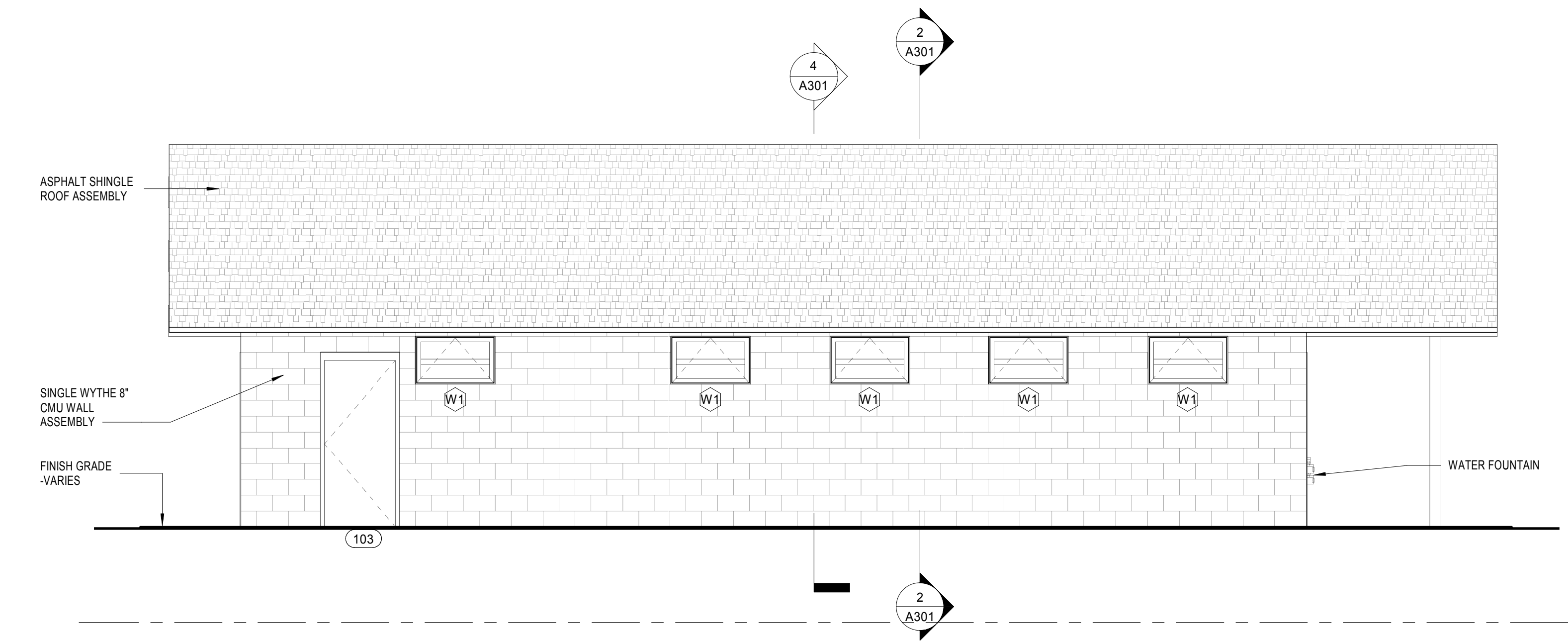


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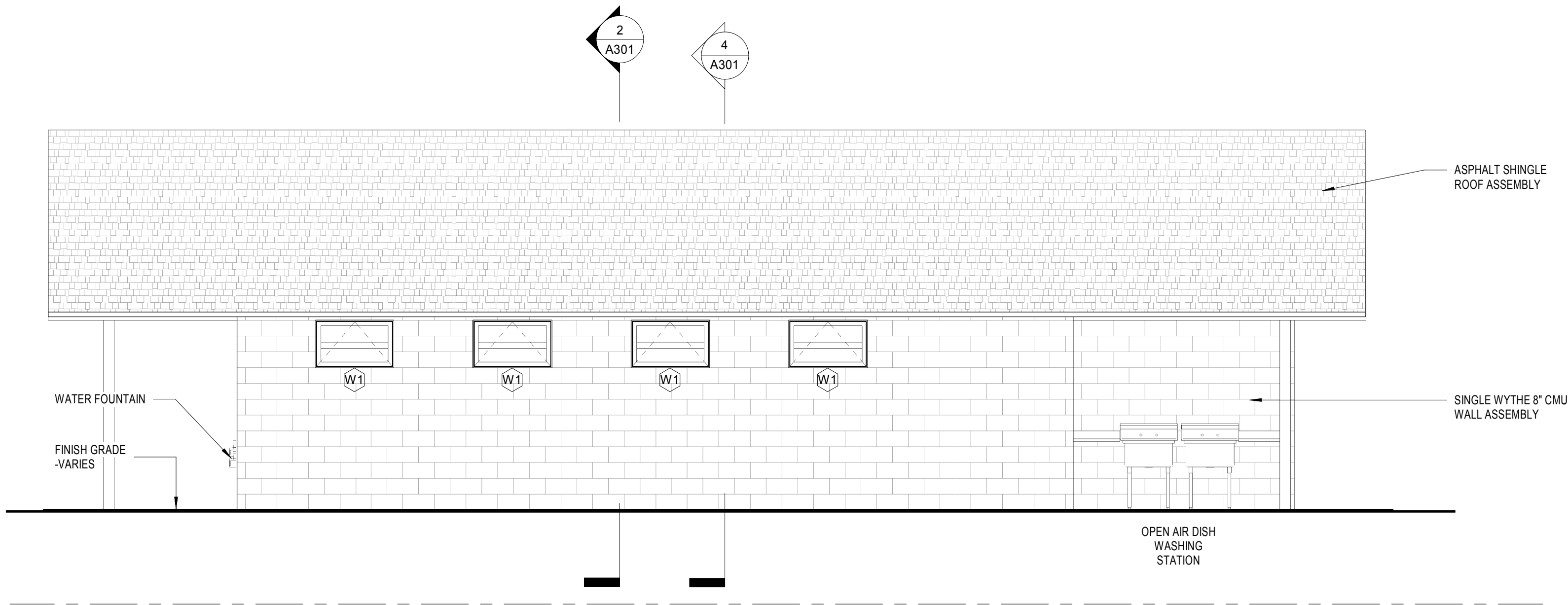
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OVERALL ROOF PLAN & DETAILS

Sheet Number:
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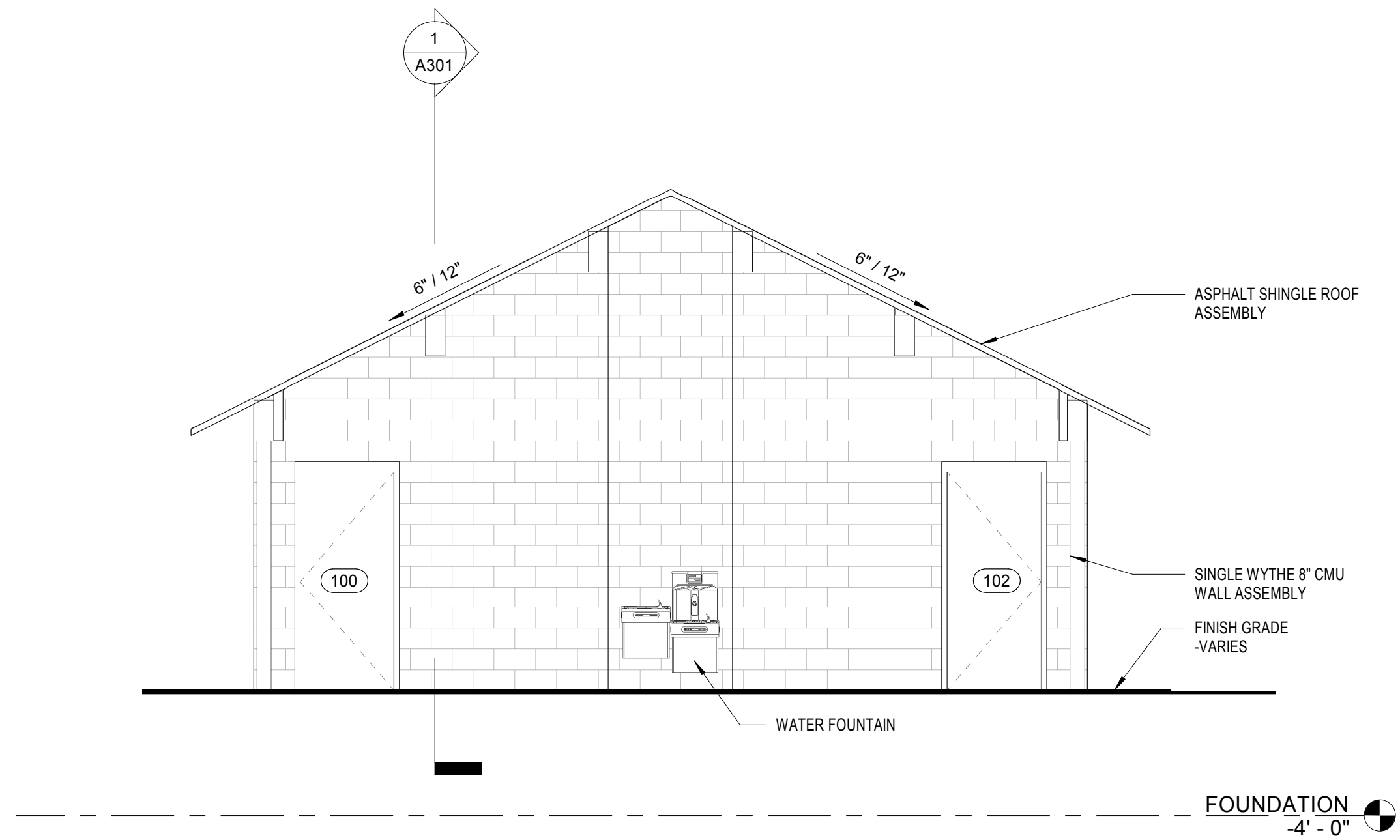
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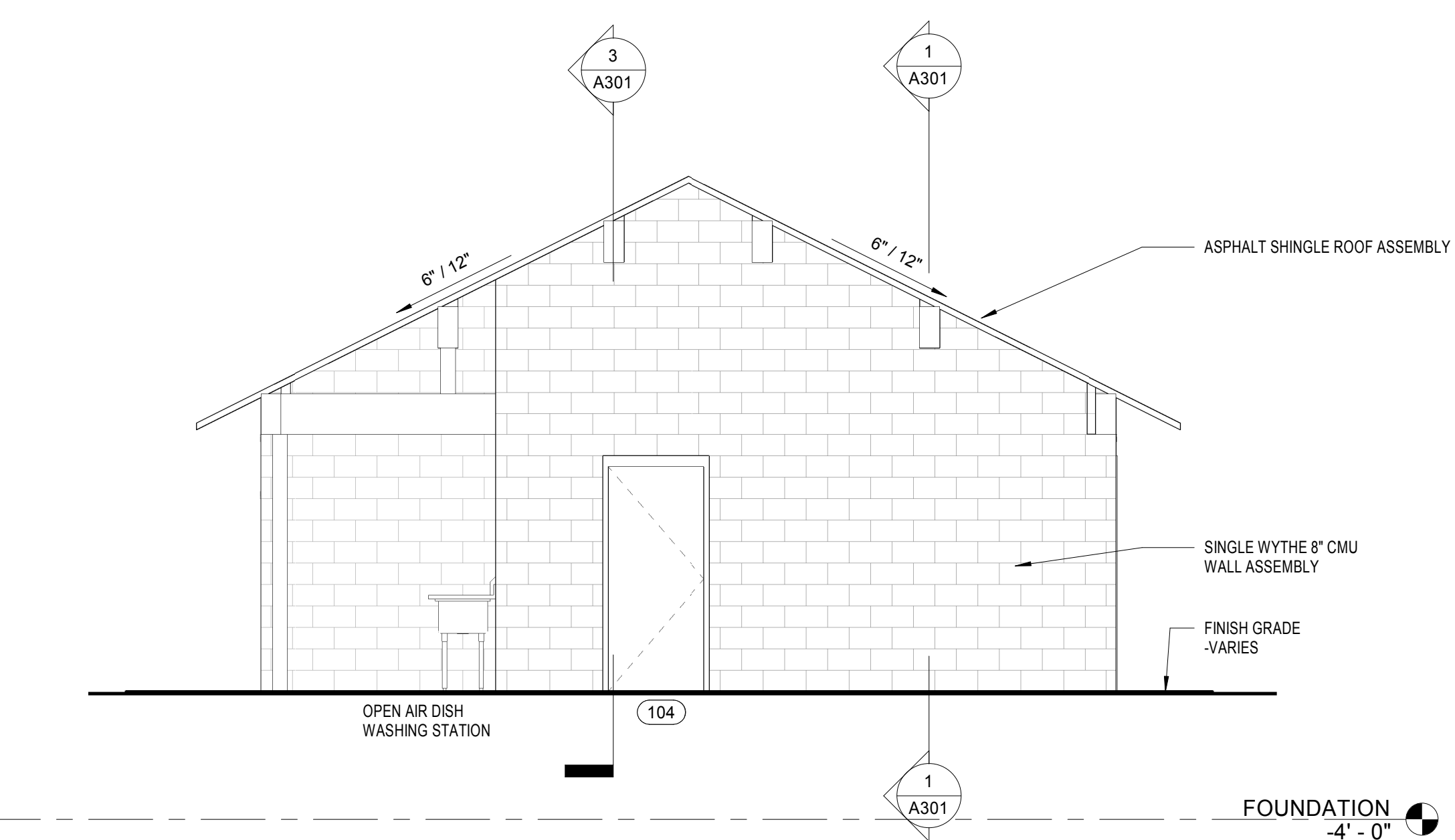
4 WEST EXTERIOR BUILDING ELEVATION
1/4" = 1'-0" 1/ A101



2 EAST EXTERIOR BUILDING ELEVATION
1/4" = 1'-0" 1/ A101



3 SOUTH EXTERIOR BUILDING ELEVATION
1/4" = 1'-0" 1/ A101



1 NORTH EXTERIOR BUILDING ELEVATION
1/4" = 1'-0" 1/ A101

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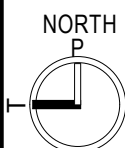


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Scale: 1/4" = 1'-0"

Key Plan:



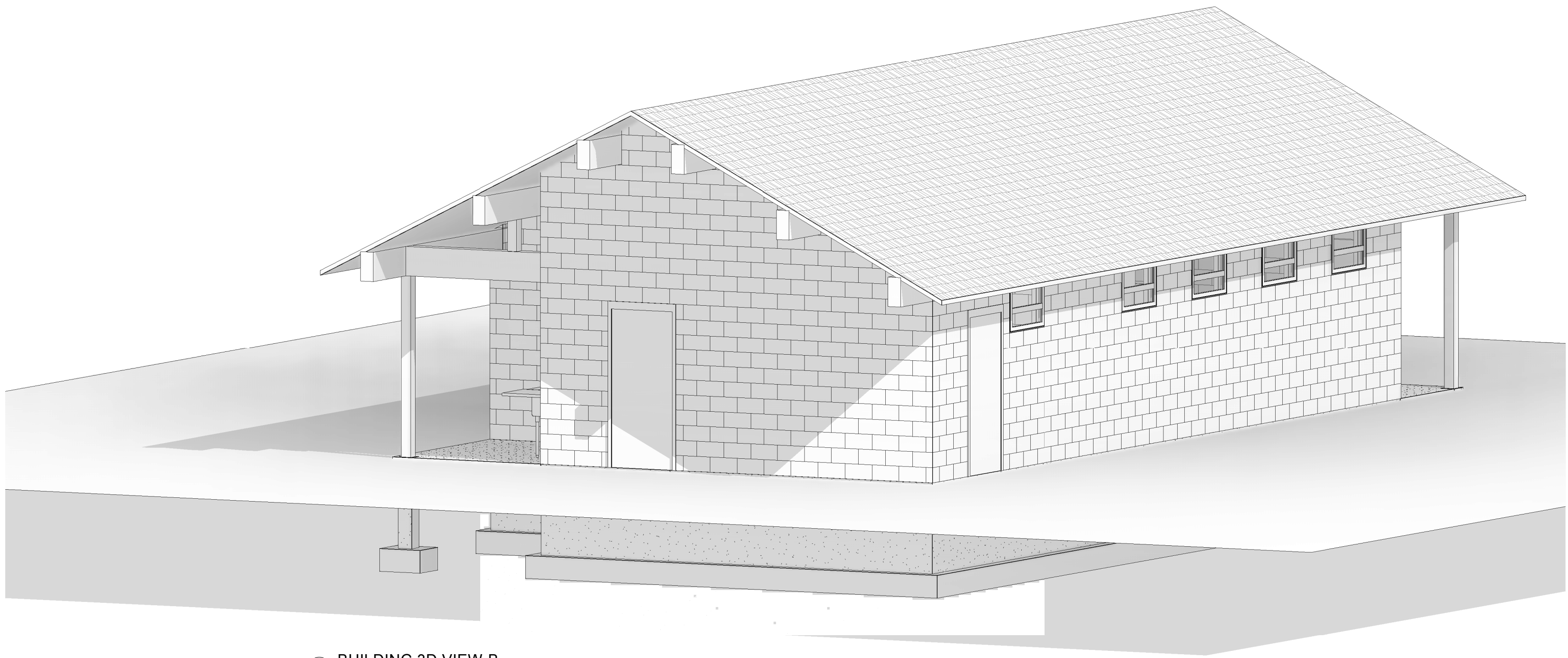
Date: 11/14/2023
Drawn By: MMF
Reviewed By: BPM
Approved By: JB
W&S Project No.: ENG21-1089
W&S File No.: TBD

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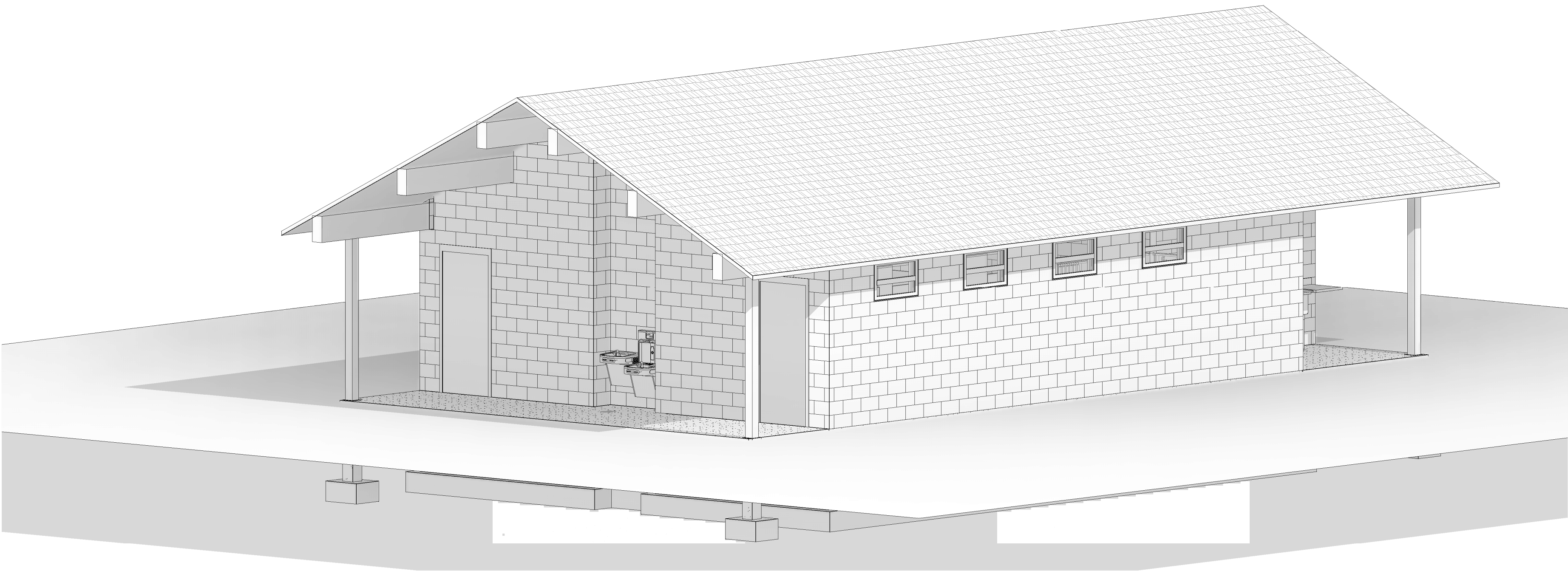
OVERALL
ELEVATIONS

Sheet Number:

A201



2 BUILDING 3D VIEW B



1 BUILDING 3D VIEW A

NOTE: 3D VIEWS ARE PROVIDED FOR REFERENCE ONLY. REFER TO PLANS, ELEVATIONS, SECTIONS, DETAILS AND SCHEDULES FOR BUILDING REQUIREMENTS.

Project: ADVENTURE BOUND - COMFORT BUILDING TRURO, MA
ADVENTURE BOUND CAMPING RESORTS



Weston & Sampson
Weston & Sampson Engineers, Inc.
100 Foxborough Boulevard, Suite 250
Foxborough, MA 02035
978.532.1900 800.SAMPSON

www.westonandsampson.com

Consultants:

Revisions:

No.	Date	Description

Seal:

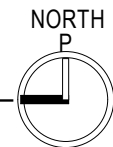


Issued For:

Permit

Scale: 1/8" = 1'-0"

Key Plan:



Date: 11/14/2023
Drawn By: MMF
Reviewed By: BPM
Approved By: JB
W&S Project No.: ENG21-1089
W&S File No.: TBD

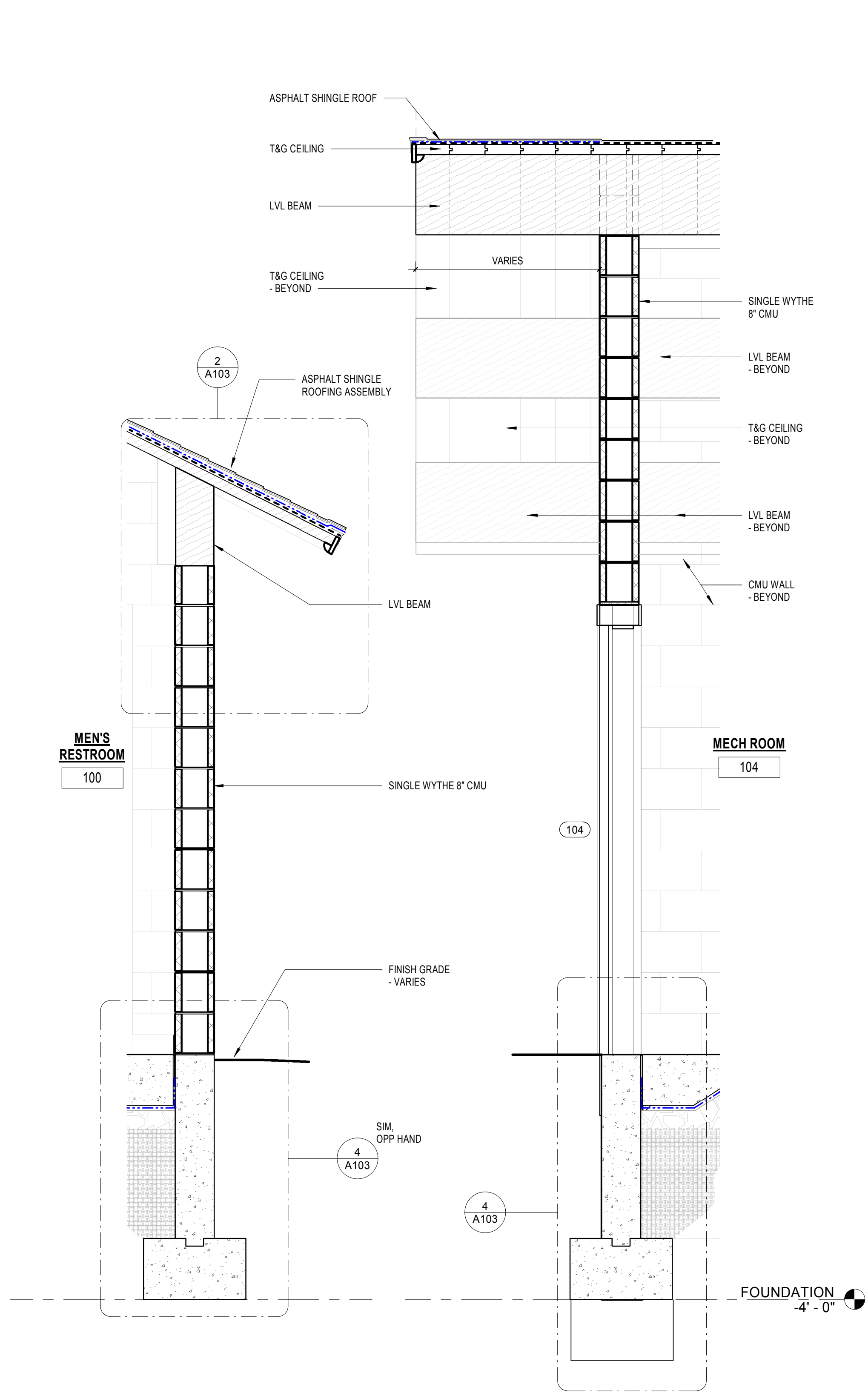
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3D VIEWS

Sheet Number:

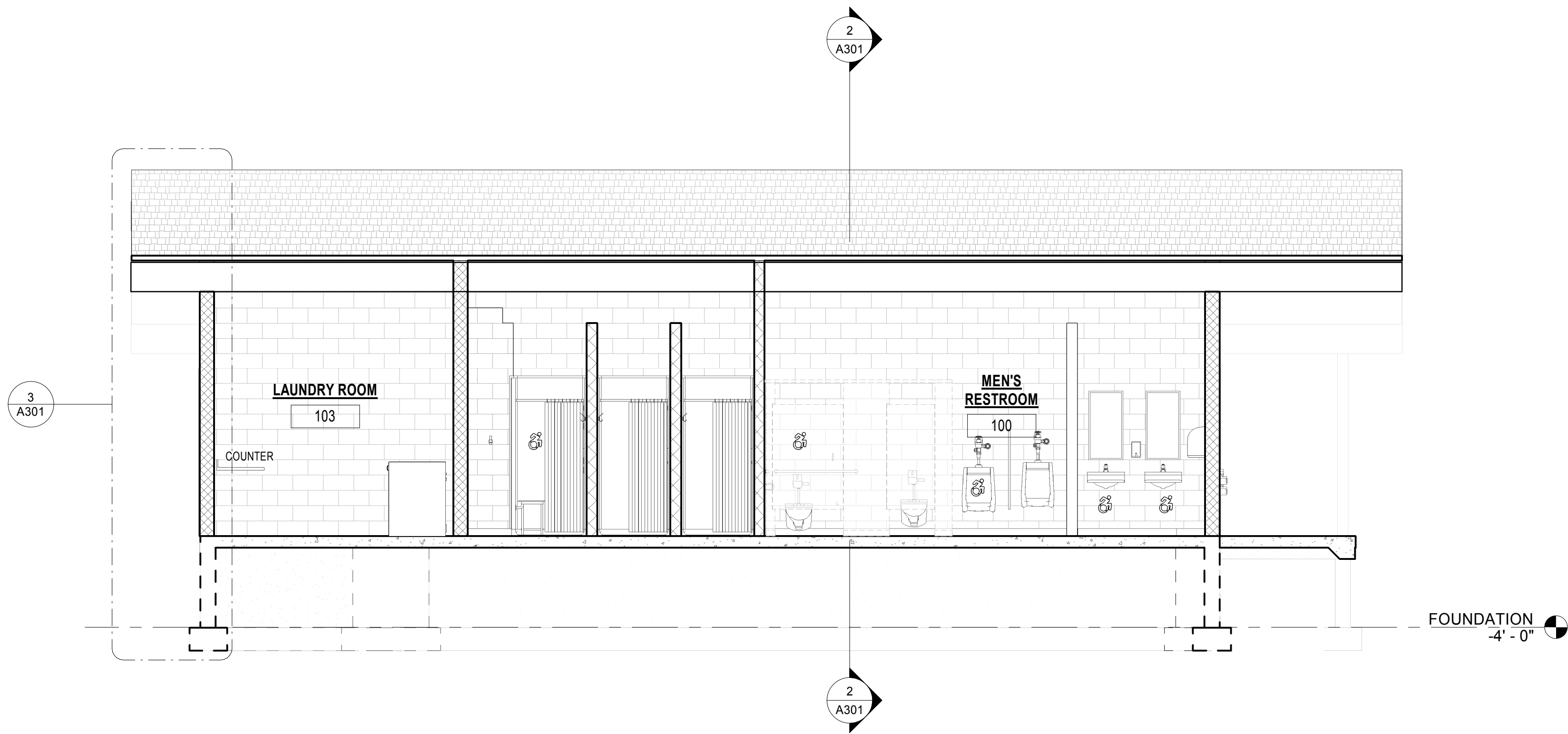
A231

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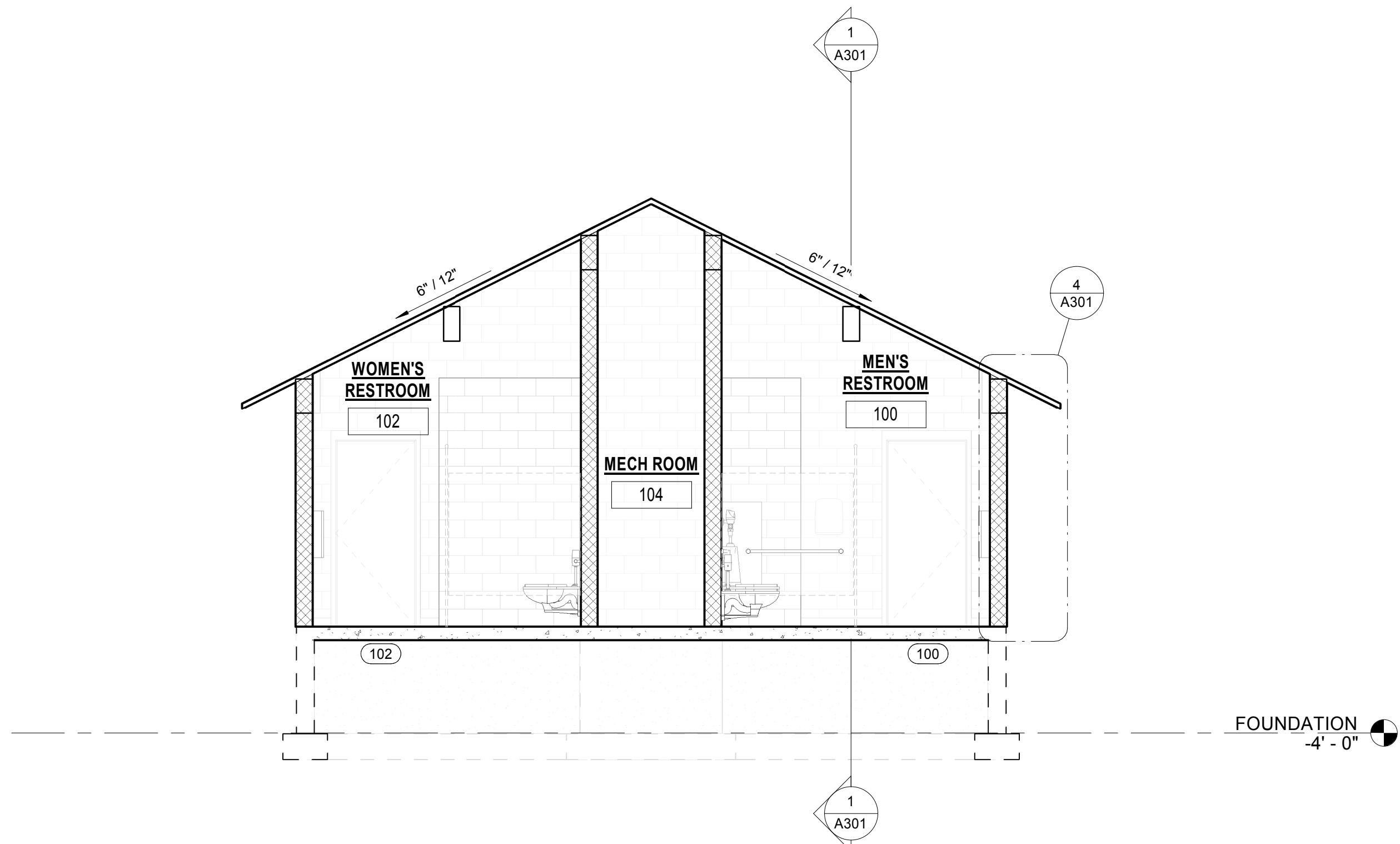


4 BUILDING WALL SECTION B
3/4" = 1'-0" 1/ A101

3 BUILDING WALL SECTION A
3/4" = 1'-0" 1/ A101



1 BUILDING SECTION A
1/4" = 1'-0" 1/ A101



2 BUILDING SECTION B
1/4" = 1'-0" 1/ A101

Project: ADVENTURE BOUND - COMFORT BUILDING TRURO, MA
ADVENTURE BOUND CAMPING RESORTS



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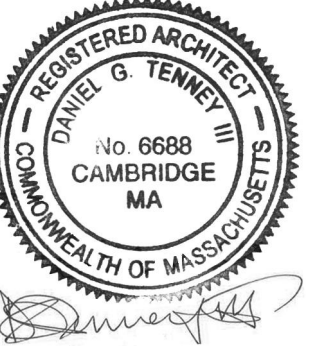
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Consultants:

Revisions:

No.	Date	Description

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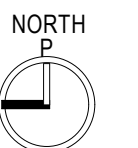


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Key Plan:



Date: 11/14/2023
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Approved By: JB
W&S Project No.: ENG21-1089
W&S File No.: TBD

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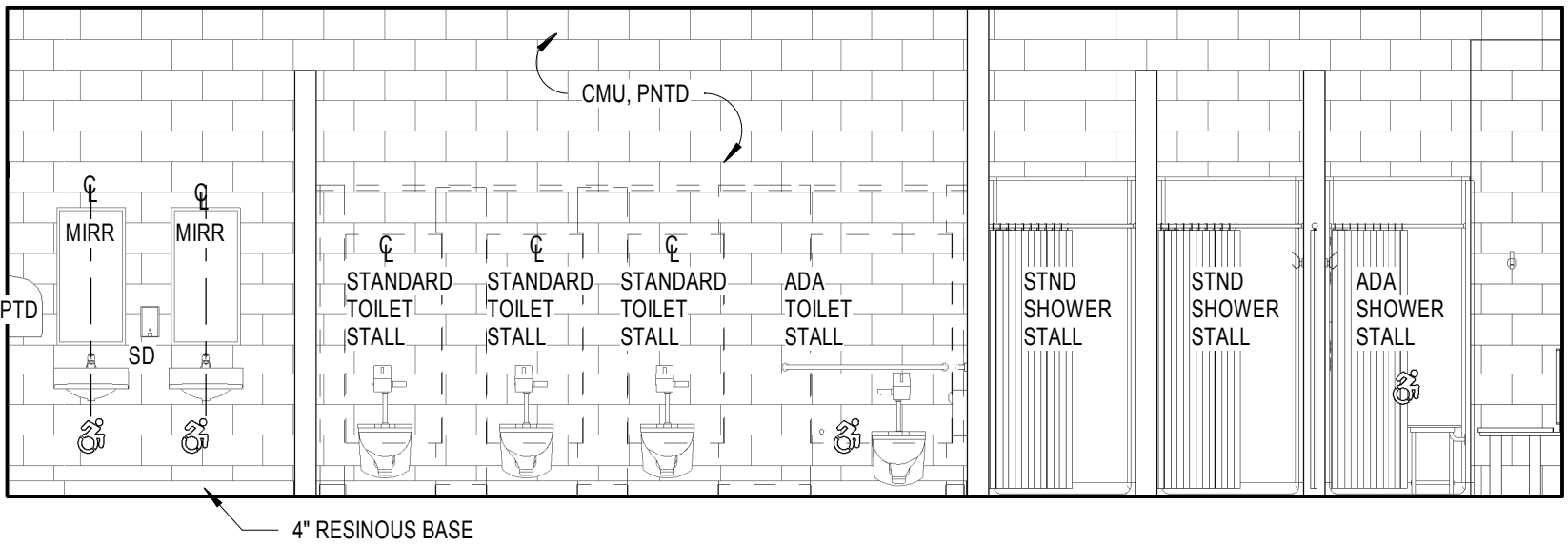
BUILDING & WALL SECTIONS

Sheet Number:

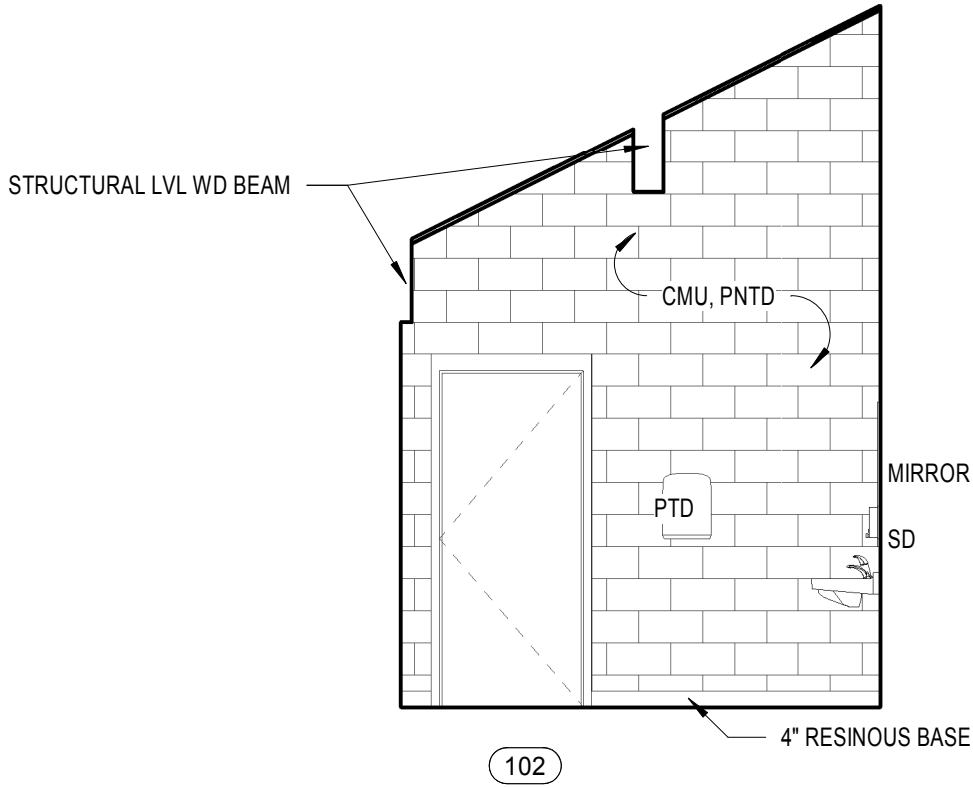
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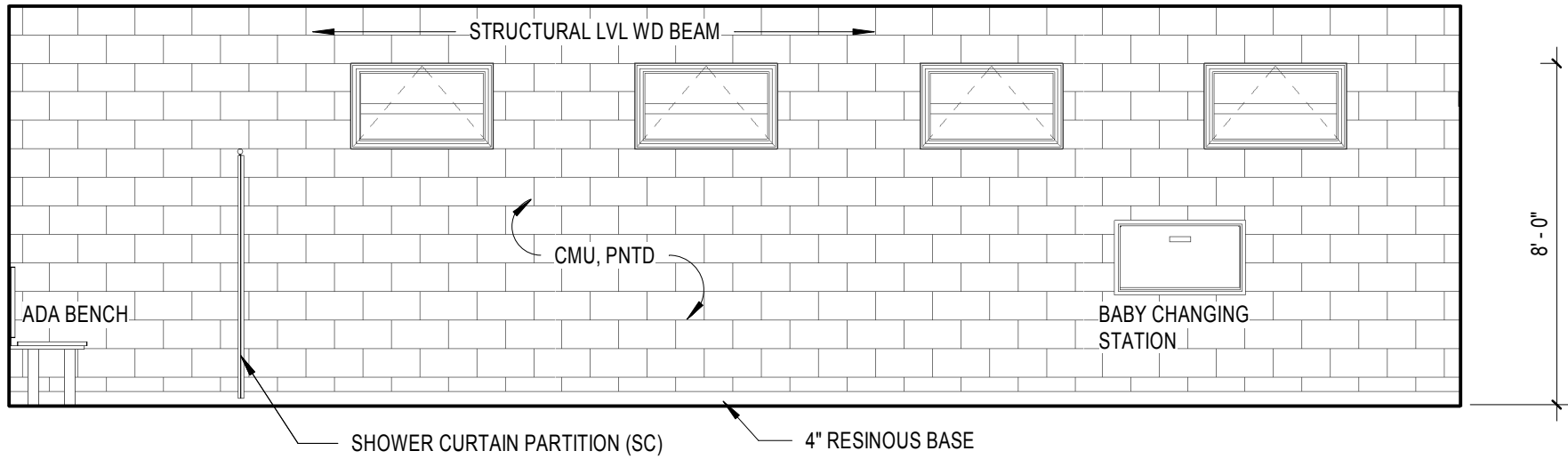
GENERAL NOTES:		TOILET ACCESSORY SCHEDULE - DIV 10	
1. PROVIDE BULLNOSE TOP COURSE AND CEMENTITIOUS TILE BACK BOARD / CEMENT BOARD AT ALL CERAMIC TILE LOCATIONS. TYPICAL INSTALLATION OF CERAMIC TILE OVER GYPSUM BOARD EXCEPT FOR A KITCHENETTE BACKSPASH IS NOT ACCEPTABLE.	MARK	DESCRIPTION	
	SD	SOAP DISPENSER	
	PTD	PAPER TOWEL DISPENSER	
	TTD	TOILET TISSUE DISPENSER	
2. PROVIDE CONT. BLOCKING AT SHELVING, ACCESS PANELS, DISPLAY MONITORS, MARKER BOARDS ETC. COORDINATE LOCATION IN FIELD.	TB	TRASH BARREL	
	MARK	DESCRIPTION	
	CH	COAT / ROBE HOOK	
	GB	GRAB BAR (DIMENSION PER PLANS)	
3. MOISTURE RESISTANT (MR) GYPSUM BOARD TO BE USED IN ALL TOILET ROOM / RESTROOM FACILITIES.	MIRR	MIRROR	
	SC	SHOWER CURTAIN	
	CR	CURTAIN ROD FOR SHOWER	
4. PROVIDE PVC SHIMS AS NECESSARY TO MAKE TOILET ROOM ACCESSORIES SUCH AS PTD'S, MIRRORS, SD'S, TOILET PARTITIONS, ETC..., FLUSH ON WALL OVER CERAMIC TILE WAINSCOT. SHIMS TO BE PAINTED BY PAINTING FSB. THICKNESS TO MATCH CERAMIC WALL TILE.			



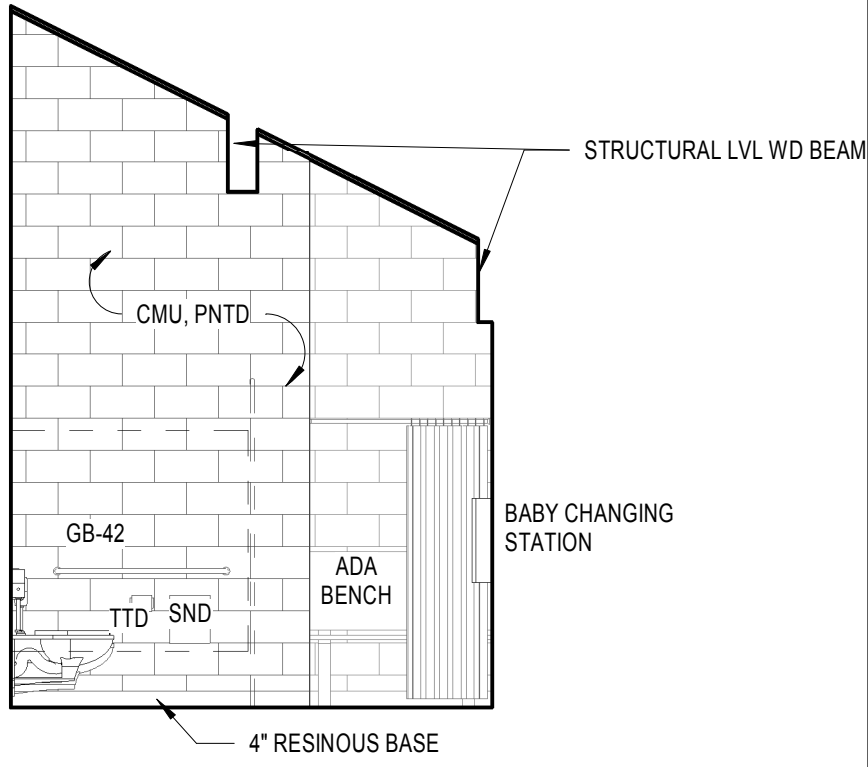
8 WOMEN'S WEST INTERIOR ELEVATION
1/4" = 1'-0" 1/ A101



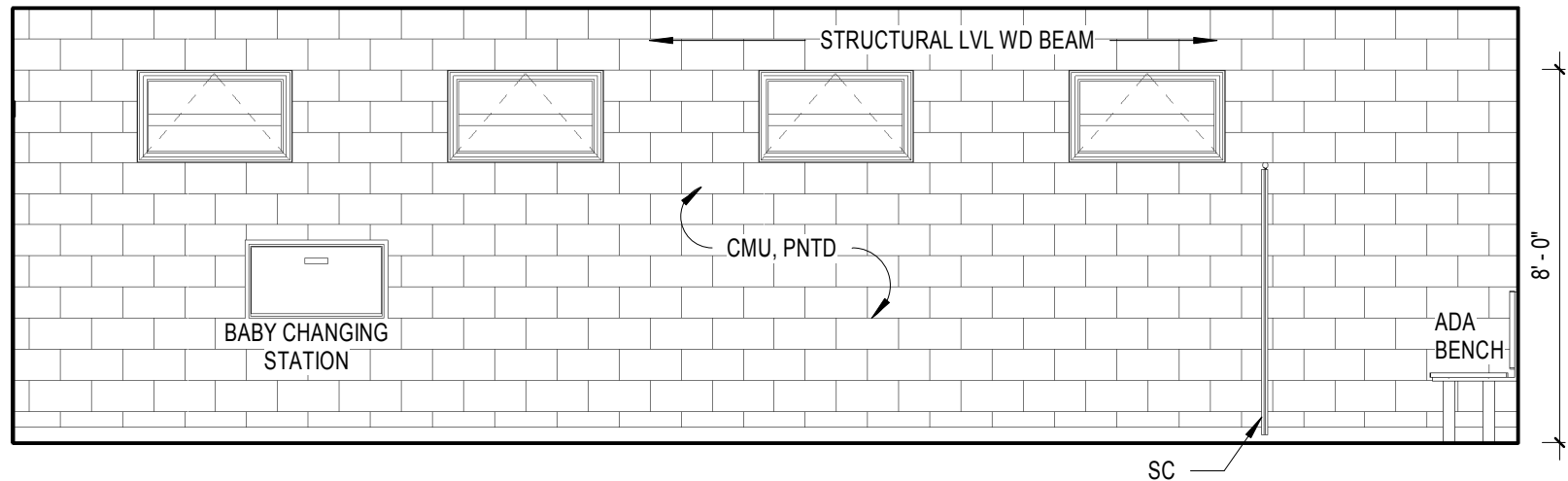
7 WOMEN'S SOUTH INTERIOR ELEVATION
1/4" = 1'-0" 1/ A101



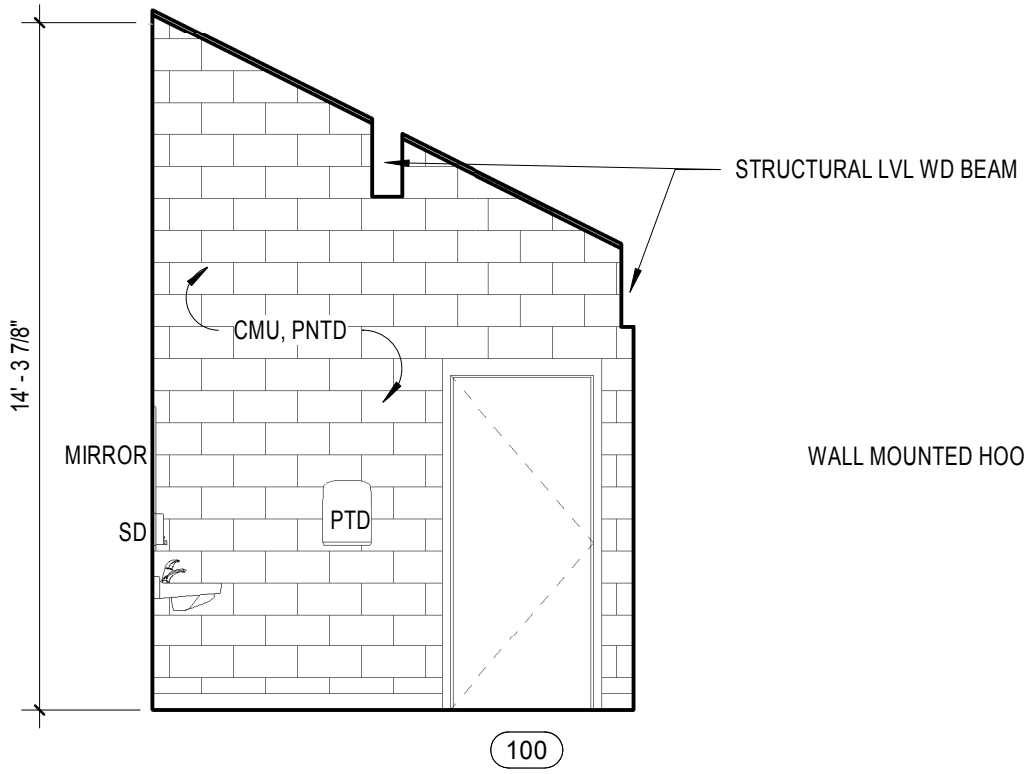
6 WOMEN'S EAST INTERIOR ELEVATION
1/4" = 1'-0" 1/ A101



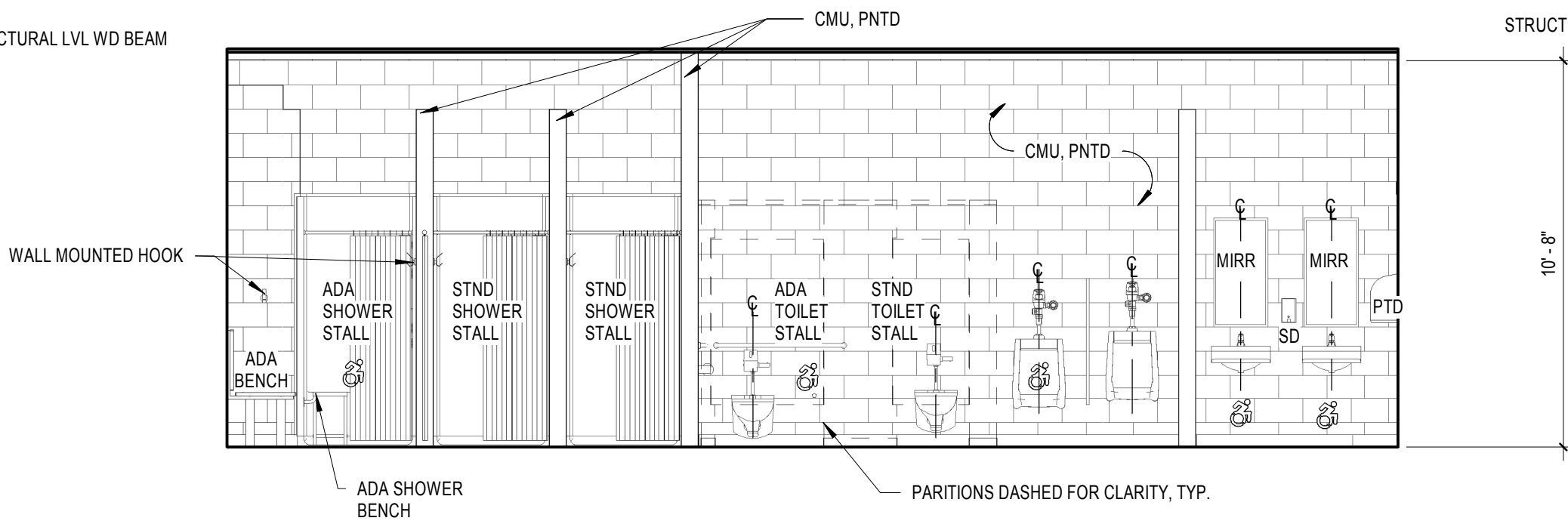
5 WOMEN'S NORTH INTERIOR ELEVATION
1/4" = 1'-0" 1/ A101



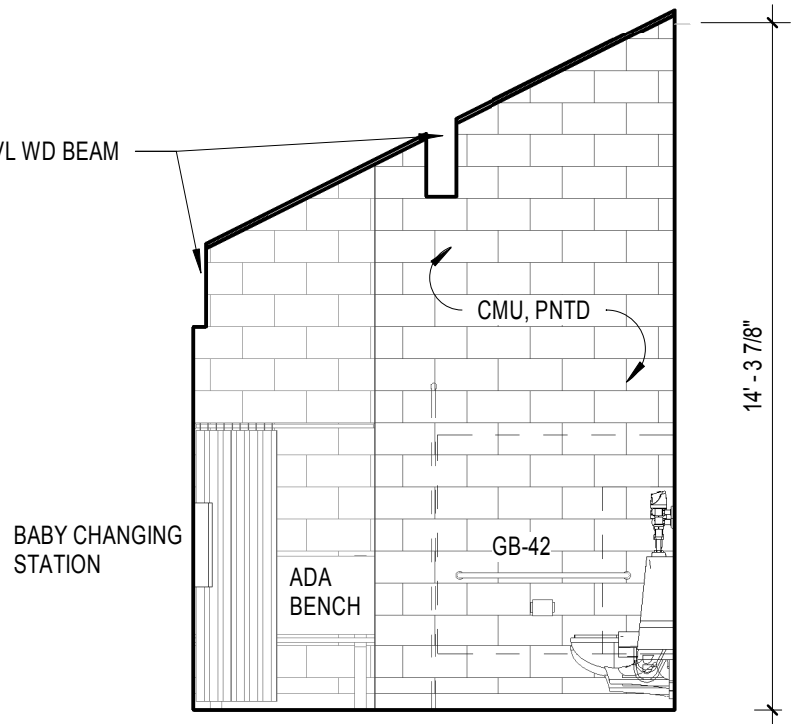
4 MEN'S WEST INTERIOR ELEVATION
1/4" = 1'-0" 1/ A101



3 MEN'S SOUTH INTERIOR ELEVATION
1/4" = 1'-0" 1/ A101



2 MEN'S EAST INTERIOR ELEVATION
1/4" = 1'-0" 1/ A101



1 MEN'S NORTH INTERIOR ELEVATION
1/4" = 1'-0" 1/ A101

Project: ADVENTURE BOUND - COMFORT BUILDING TRURO, MA
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Consultants:

Revisions:

No.	Date	Description

Seal:

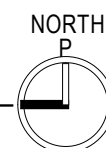


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Scale: As indicated

Key Plan:



Date: 11/14/2023
Drawn By: MMF
Reviewed By: BPM
Approved By: JB

W&S Project No.: ENG21-1089

W&S File No.: TBD

Drawing Title:

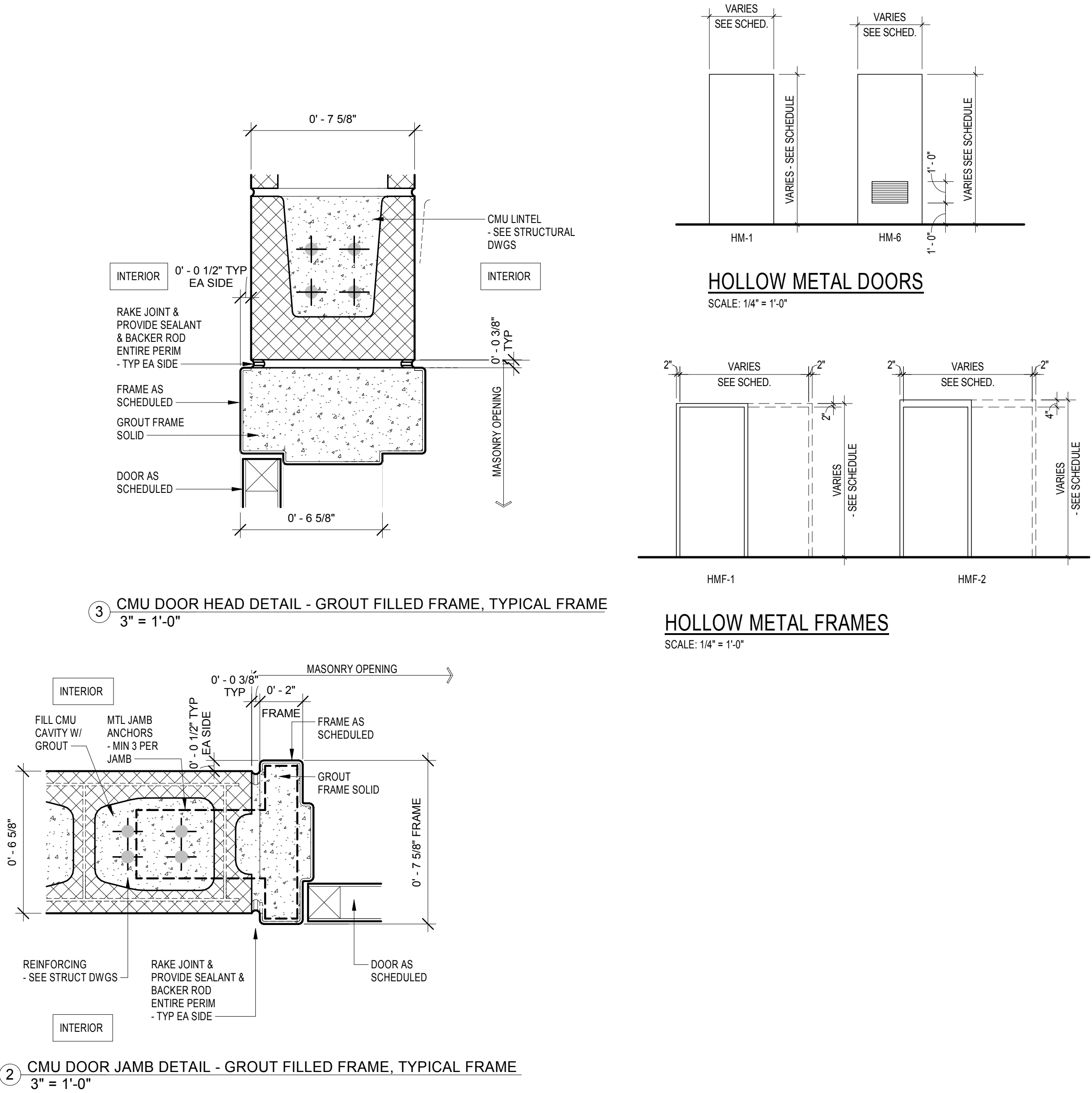
INTERIOR ELEVATIONS

Sheet Number:

A701

DOOR SCHEDULE													
DOOR #	DOOR				FRAMES		DETAILS			GLAZING TYPE	HDWR SET	DOOR CONTACT	REMARKS
	WIDTH	HEIGHT	TYPE	MATERIAL	TYPE	MATERIAL	HEAD	JAMB	SILL				
100	3' - 0"	7' - 0"											
102	3' - 0"	7' - 0"											
103	3' - 0"	7' - 0"											
104	3' - 0"	7' - 0"											

NON-STOREFRONT GLAZING SCHEDULE		
TYPE	DESCRIPTION	USE IN THESE LOCATIONS
1	1/4" CLEAR TEMPERED	ALL INTERIOR NON-FIRE RATED DOORS AND INTERIOR WINDOWS
2	1/4" CLEAR LAMINATED GLASS	AS INDICATED
3	5/16" - 3/8" CERAMIC FIRE RATED GLASS	ALL INTERIOR FIRE RATED DOORS & WINDOWS
4	1" CLEAR INSULATING TEMPERED GLASS	ALL EXTERIOR DOORS, CURTAIN WALL, STOREFRONT, & WINDOWS
5	1/4" TEMPERED FROSTED GLASS	AS INDICATED



Project: ADVENTURE BOUND - COMFORT BUILDING TRURO, MA

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W&S Project No.: ENG21-1089
W&S File No.: TBD

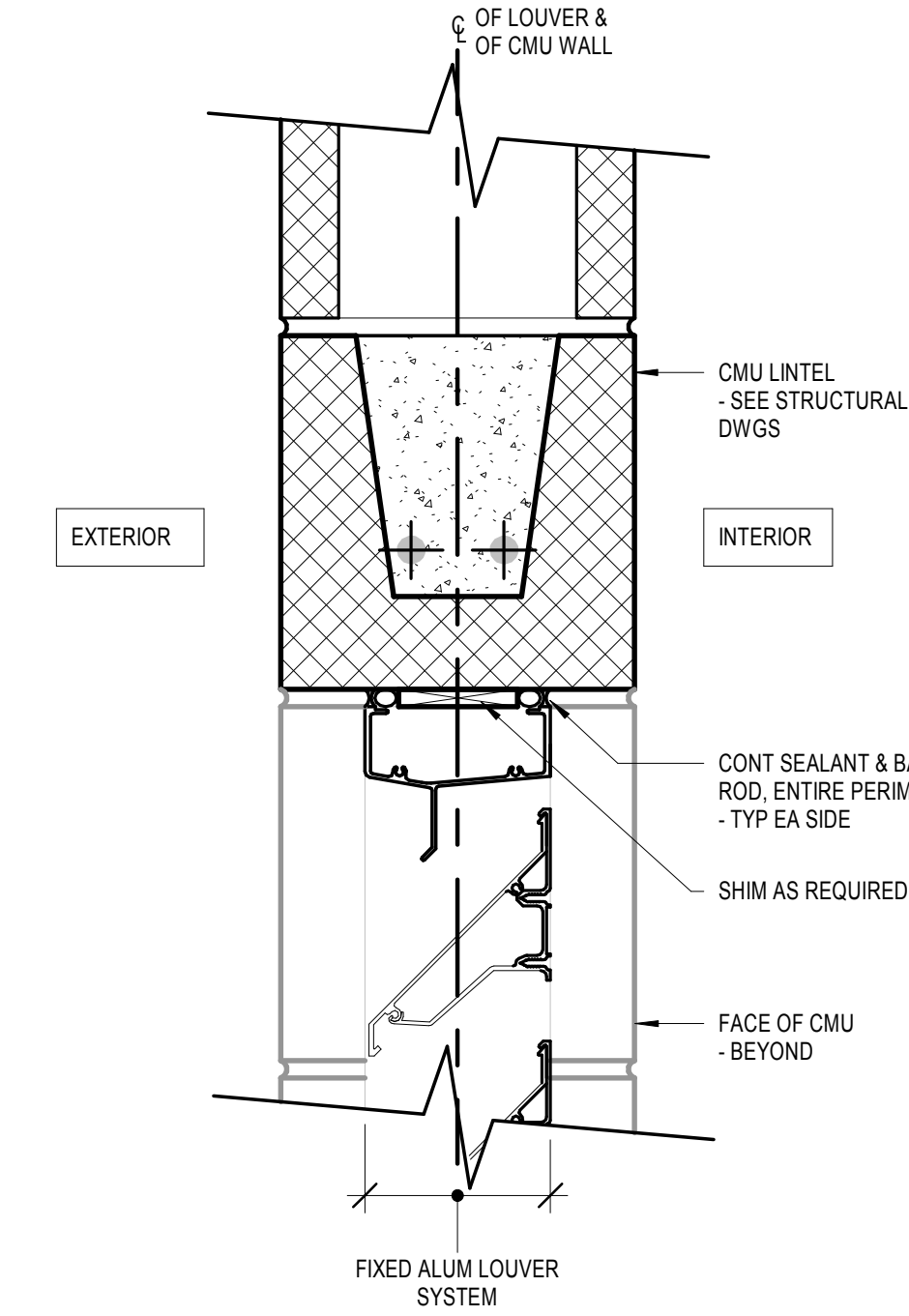
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DOOR SCHEDULE

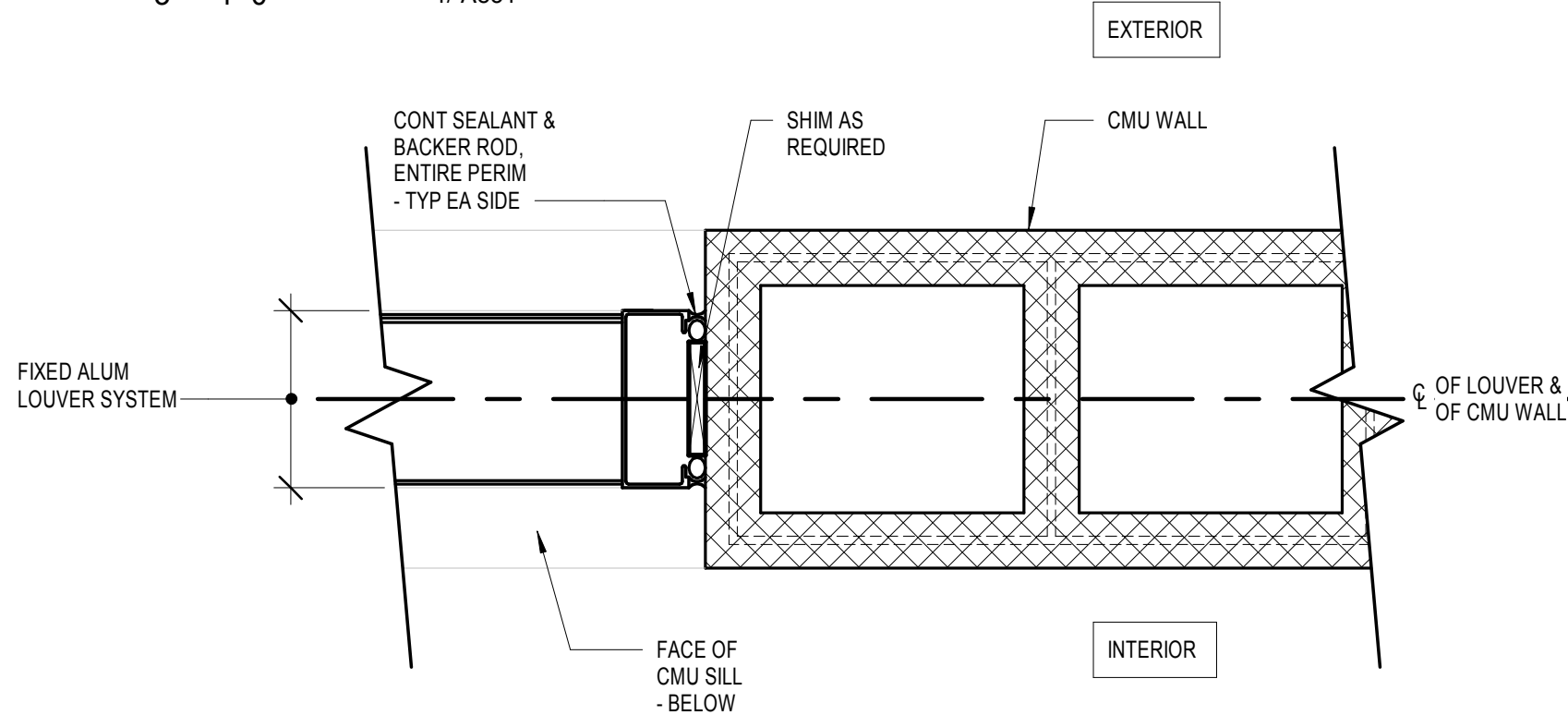
Sheet Number:

A801

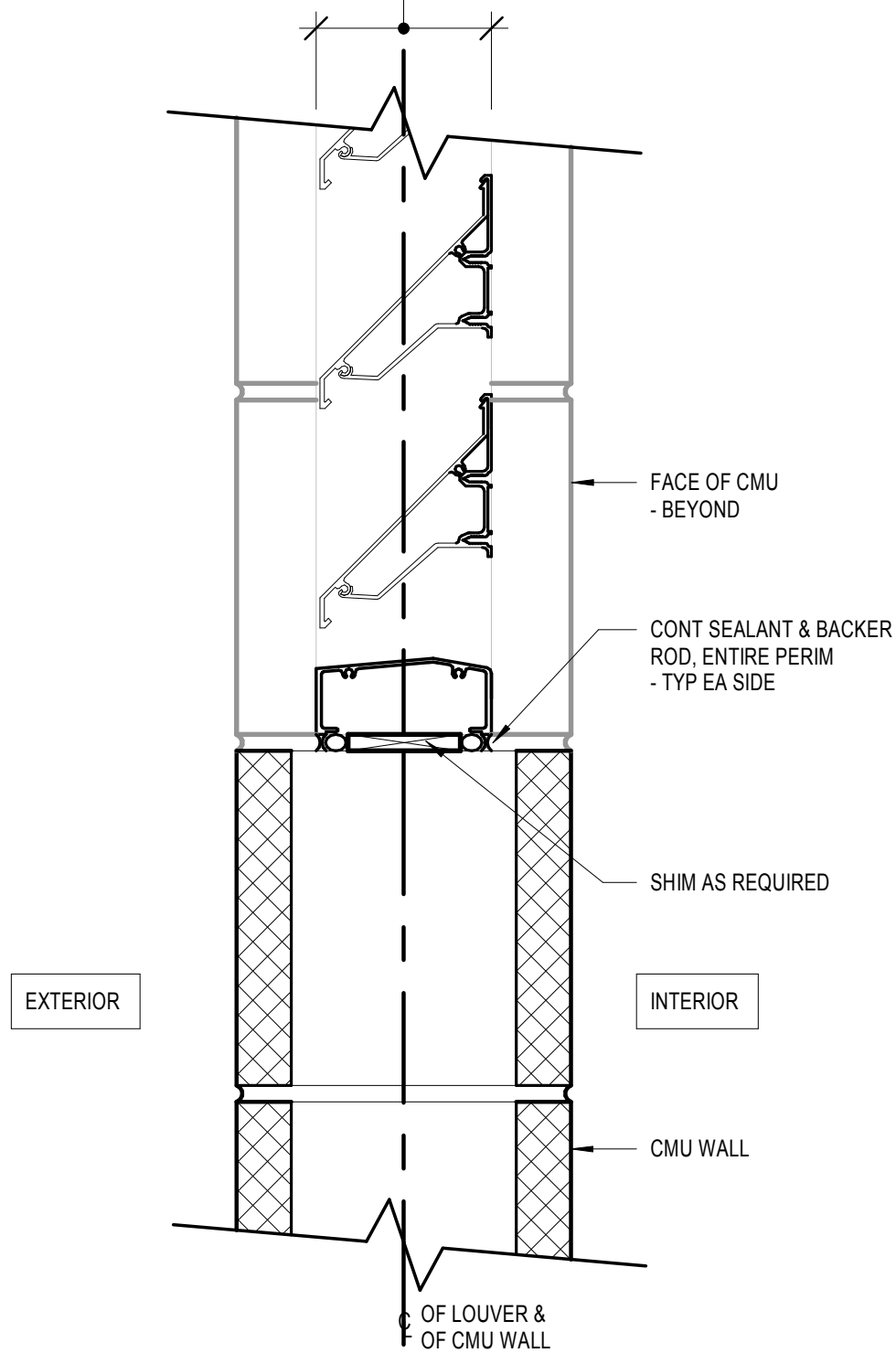
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4 LOUVER HEAD DETAIL
3" = 1'-0" 1/ A831



3 LOUVER JAMB DETAIL
3" = 1'-0" 1/ A831



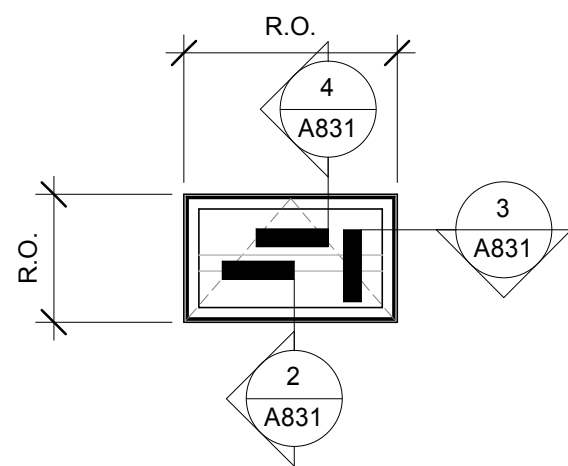
2 LOUVER SILL DETAIL
3" = 1'-0" 1/ A831

FENESTRATION GENERAL NOTES:

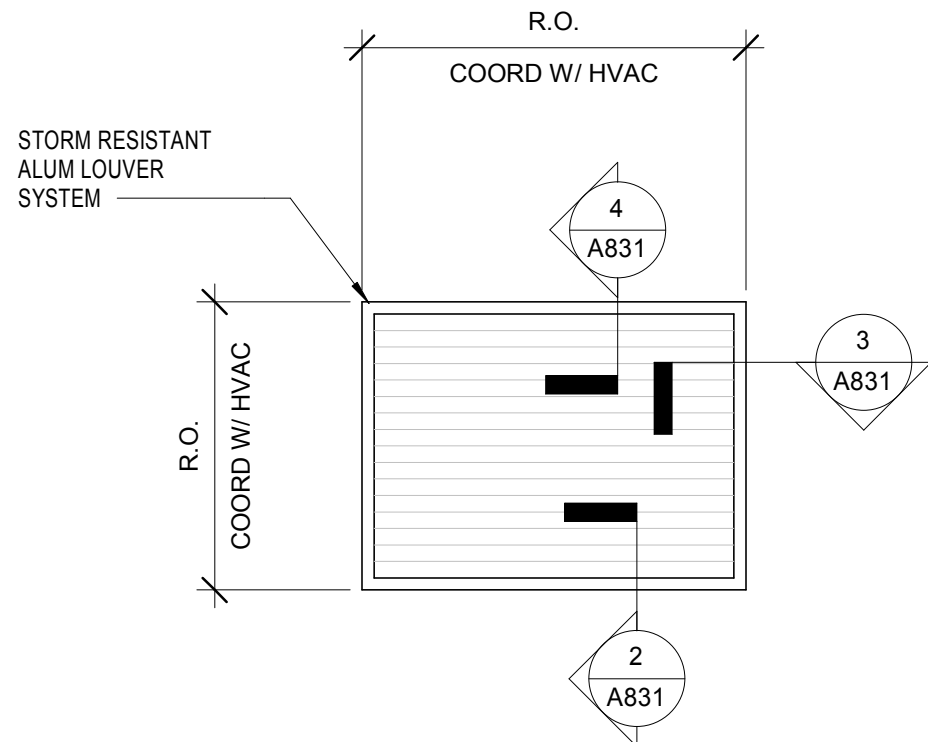
1. ALL OVERALL DIMENSIONS ARE SHOWN TO ROUGH-OPENING / MASONRY OPENING UNLESS NOTED OTHERWISE. TYP.
2. JOINT SEALANTS REQUIRED PER SPECIFICATION SECTION (07 92 00); PROVIDE BACK ROD AND SEALANT AT PERIMETER OF ALL WALL OPENINGS INCLUDING, BUT NOT LIMITED TO, WINDOWS, DOORS, LOUVERS AND TRANSLUCENT PANELS, AT ALL INTERIOR AND EXTERIOR JOINTS.
3. TYPICAL JOINT WIDTH: 3/8", MAXIMUM JOINT WIDTH: 1/2"
4. ALL AIR VAPOR BARRIERS (AVB) AT OPENINGS SHALL RETURN TO THE INSIDE FACE OF THE ROUGH OPENING (TYP) ON SILL, HEAD, AND JAMB CONDITIONS.

GLAZING SCHEDULE

#	TYPE	DESCRIPTION	USE IN THESE LOCATIONS
1	1	1/4" CLEAR TEMPERED	ALL INTERIOR NON-FIRE RATED DOORS AND INTERIOR WINDOWS
2	2	1/4" CLEAR LAMINATED GLASS	AS INDICATED
3	3	5/16" - 3/8" CERAMIC FIRE RATED GLASS	ALL INTERIOR FIRE RATED DOORS & WINDOWS
4	4	1" CLEAR INSULATING TEMPERED GLASS	ALL EXTERIOR DOORS, CURTAIN WALL, STOREFRONT, & WINDOWS
5	5	1/4" TRANSLUCENT LAMINATED GLASS	AS INDICATED



5 WINDOW ELEVATION
1/2" = 1'-0"



1 LOUVER ELEVATION
3/8" = 1'-0"

Project: ADVENTURE BOUND - COMFORT BUILDING TRURO, MA
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Revisions:

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Seal:

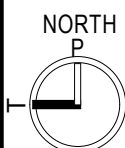


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Scale: As indicated

Key Plan:



Date: 11/14/2023
Drawn By: MMF
Reviewed By: BPM
Approved By: JB
W&S Project No.: ENG21-1089
W&S File No.: TBD

Drawing Title:

WINDOW TYPES

Sheet Number:

A831

SITE PLAN REVIEW

HORTONS CAMPGROUND

67 SOUTH HIGHLAND AVE, TRURO, MA - MAP 37 / LOT 15
10 OLD DEWLINE ROAD, TRURO MA - 37 / LOT 19



APPLICANT:

A/C MOBILE HOME PARK INC
905 16TH PLACE
VERO BEACH, FL 32960

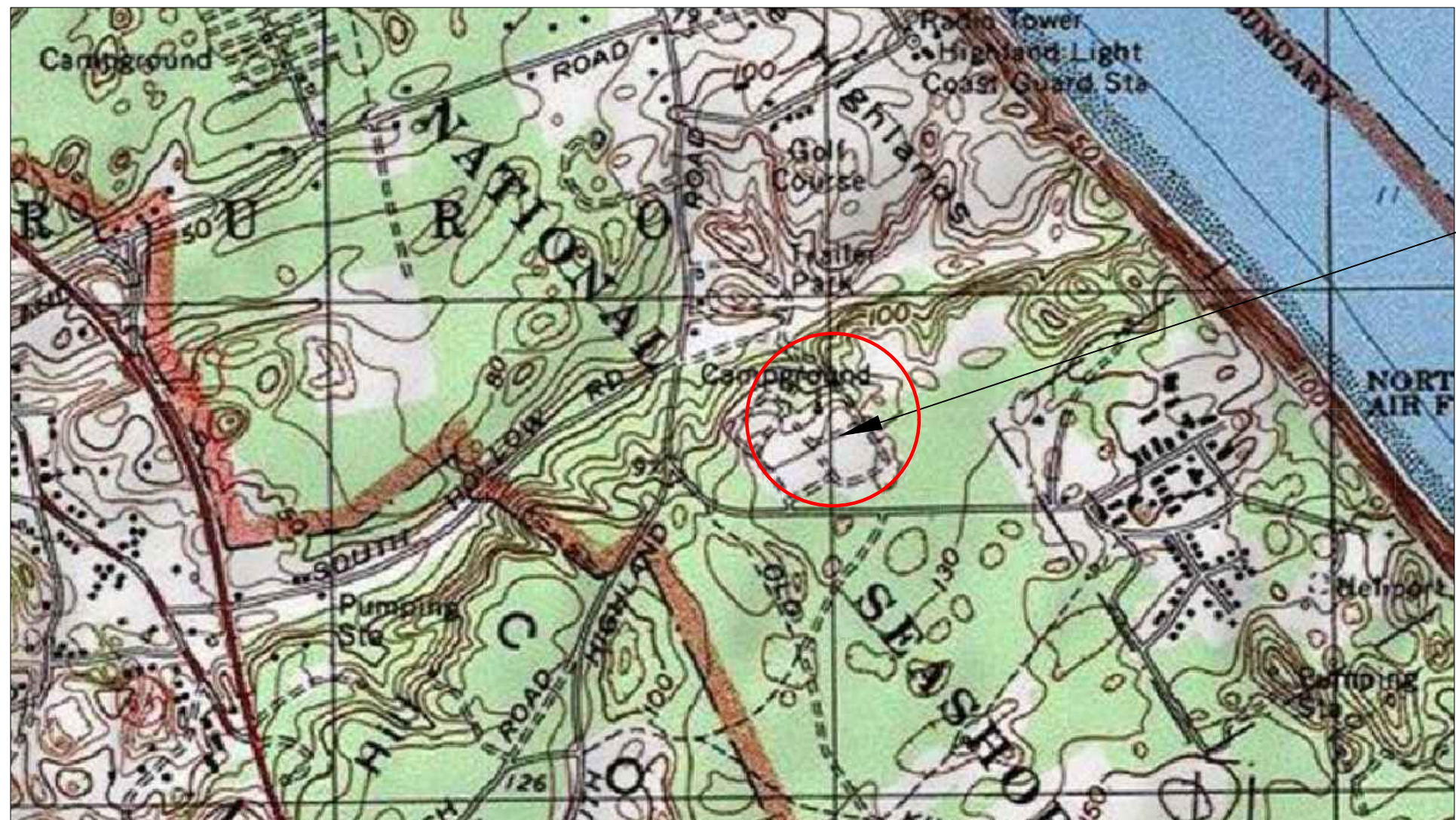
OWNER:

A/C MOBILE HOME PARK INC
905 16TH PLACE
VERO BEACH, FL 32960

ENGINEER:

OAKHILL ENGINEERING LLC
75 OAKHILL AVE, 2ND FLOOR
SEEKONK, MA 02771
368 FAIRVIEW AVE
REHOBOTH, MA 02769
508-252-4363
401-574-0871

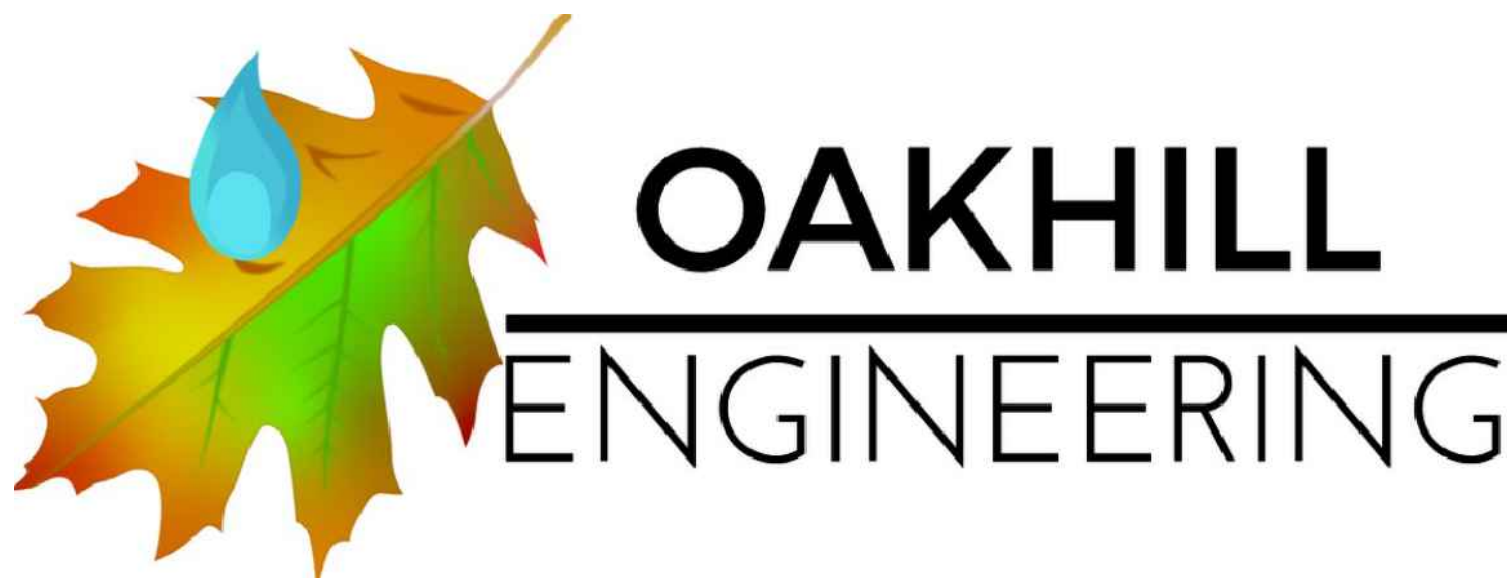
DATE: 09/17/2024 - CONSTRUCTION DOCUMENTS



PROJECT LOCUS

PROJECT LOCATION

SHEET INDEX	
C1	EXISTING CONDITIONS
C2	EXISTING CONDITIONS
C3	PROPOSED SITE PLAN
C4	DETAILS



ENGINEER STAMP:



09/17/2024



SITE PARAMETERS:

ZONING:
67 SO HIGHLAND ROAD
MAP: 37 LOT: 15
AREA: 23.27 ACRES
ZONING: "S" SEA SHORE
10 OLD DEWLINE ROAD
MAP: 37 LOT: 19
AREA: 6.45 ACRES
ZONING: "S" SEA SHORE

DEED REFERENCE:
BOOK: 26095 PAGE: 003

FLOOD ZONE LOCATION:
THIS SITE DOES NOT LIE WITHIN A FLOOD ZONE AS INDICATED ON THE FLOOD INSURANCE RATE MAP PUBLISHED BY H.U.D. LOCATED ON PANEL #137J, AND 141J, MAP # 25001C0137J, AND 25001C0141J, HAVING AN EFFECTIVE DATE OF 07/16/2014.

SITE COVERAGE:
TOTAL SITE ACREAGE: 29.72 ACRES = 1,294,603 SF
IMPERVIOUS COVERAGE: 24,500 SF
BUILDING COVERAGE: 11,700 SF
PROPOSED BUILDING COVERAGE (STRUCTURE AND SIDEWALKS): 1,928 SF
TOTAL COVERAGE: 38,128 SF
PERCENTAGE OF SITE WITH IMPERVIOUS COVER: 2.95%

PARKING:
NOT APPLICABLE. BUILDING IS ONLY SERVICING PATRONS CAMPING AT THE CAMP GROUND THE CAMP SITE WILL HOLD THEIR VEHICLES

BUILDING SETBACKS:
FRONT SET BACK: 25 FT PROVIDED: 367' +/-
SIDE SET BACK: 25 FT PROVIDE: 256' +/-
REAR SET BACK: 30 FT PROVIDED: 402' +/-

PROPOSED
WORK AREA

0' 100' 200' 300'
SCALE: 1" = 100'



75 OAK HILL AVE, 2ND FLOOR
SEEKONK, MA 02771
368 FAIRVIEW AVE
REHOBOTH
TEL: 508-252-4363

SITE PLAN REVIEW

LOCATION OF PROJECT:
67 SOUTH HIGHLAND RD
10 OLD DEWLINE ROAD
TRURO, MA 02666

APPLICANT
A/C MOBILE HOME PARK INC
905 16TH PLACE
VERO BEACH, FL 32960

OWNER
A/C MOBILE HOME PARK INC
905 16TH PLACE
VERO BEACH, FL 32960

LEGEND

- ADJUSTED WATER TABLE
- OBSERVED WATER TABLE
- TEST PIT
- EXISTING GRADE
- PROPOSED GRADE
- GAS LINE
- WATER LINE
- FENCE LINE
- UNDERGROUND ELECTRIC
- UNDERGROUND TELECOM
- OVERHEAD ELECTRICAL
- UTILITY POLE
- HYDRANT
- BURIED VALVE
- EROSION CONTROLS
- DRAINAGE LINES
- WETLANDS BUFFER ZONES
- WETLANDS FLAGS



09/17/2024

DATE: 09/17/24



MARK	DATE	DESCRIPTION
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PROJECT NO:	2024-106
CAD DWG FILE:	2024.09.16 - SITE PLAN REVIEW - AB TRURO - USE
DRAWN BY:	MPM
CHK'D BY:	MPM
COPYRIGHT:	

SHEET TITLE

EXISTING CONDITIONS
C1

SHEET 1 OF 4



75 OAK HILL AVE, 2ND FLOOR
SEEKONK, MA 02771

368 FAIRVIEW AVE
REHOBOTH

TEL: 508-252-4363

SITE PLAN REVIEW

LOCATION OF PROJECT:
67 SOUTH HIGHLAND RD
10 OLD DEWLINE ROAD
TRURO, MA 02666

APPLICANT
A/C MOBILE HOME PARK INC
905 16TH PLACE
VERO BEACH, FL 32960

OWNER
A/C MOBILE HOME PARK INC
905 16TH PLACE
VERO BEACH, FL 32960

LEGEND

- ADJUSTED WATER TABLE
- OBSERVED WATER TABLE
- TEST PIT
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- DRAINAGE LINES
- WETLANDS BUFFER ZONES
- WETLANDS FLAGS



09/17/2024

DATE: 09/17/24



MARK	DATE	DESCRIPTION

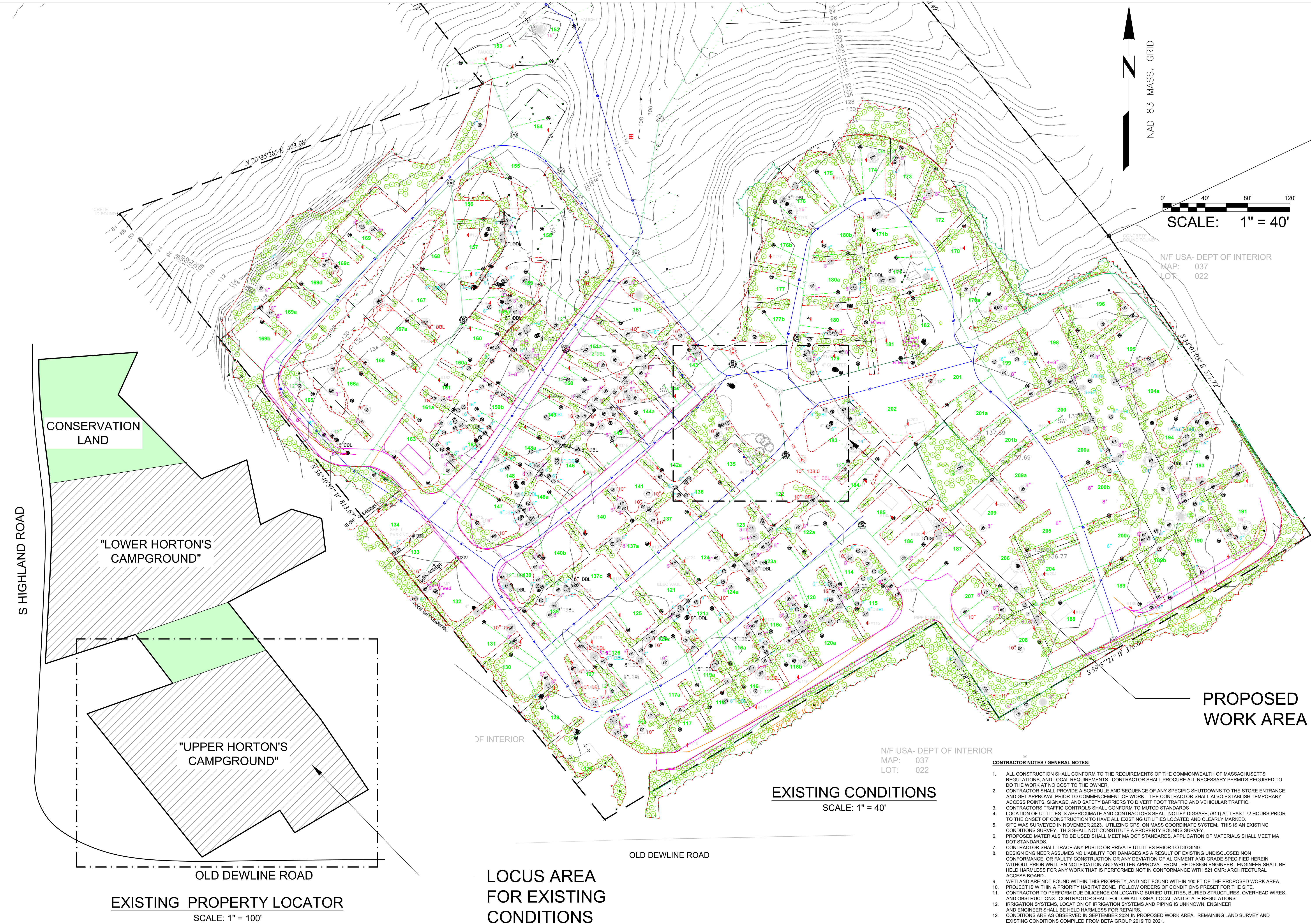
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CAD DWG FILE: 2024.09.16 - SITE PLAN REVIEW - AB TRURO - USE
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SHEET TITLE

EXISTING CONDITIONS

C2

SHEET 2 OF 4

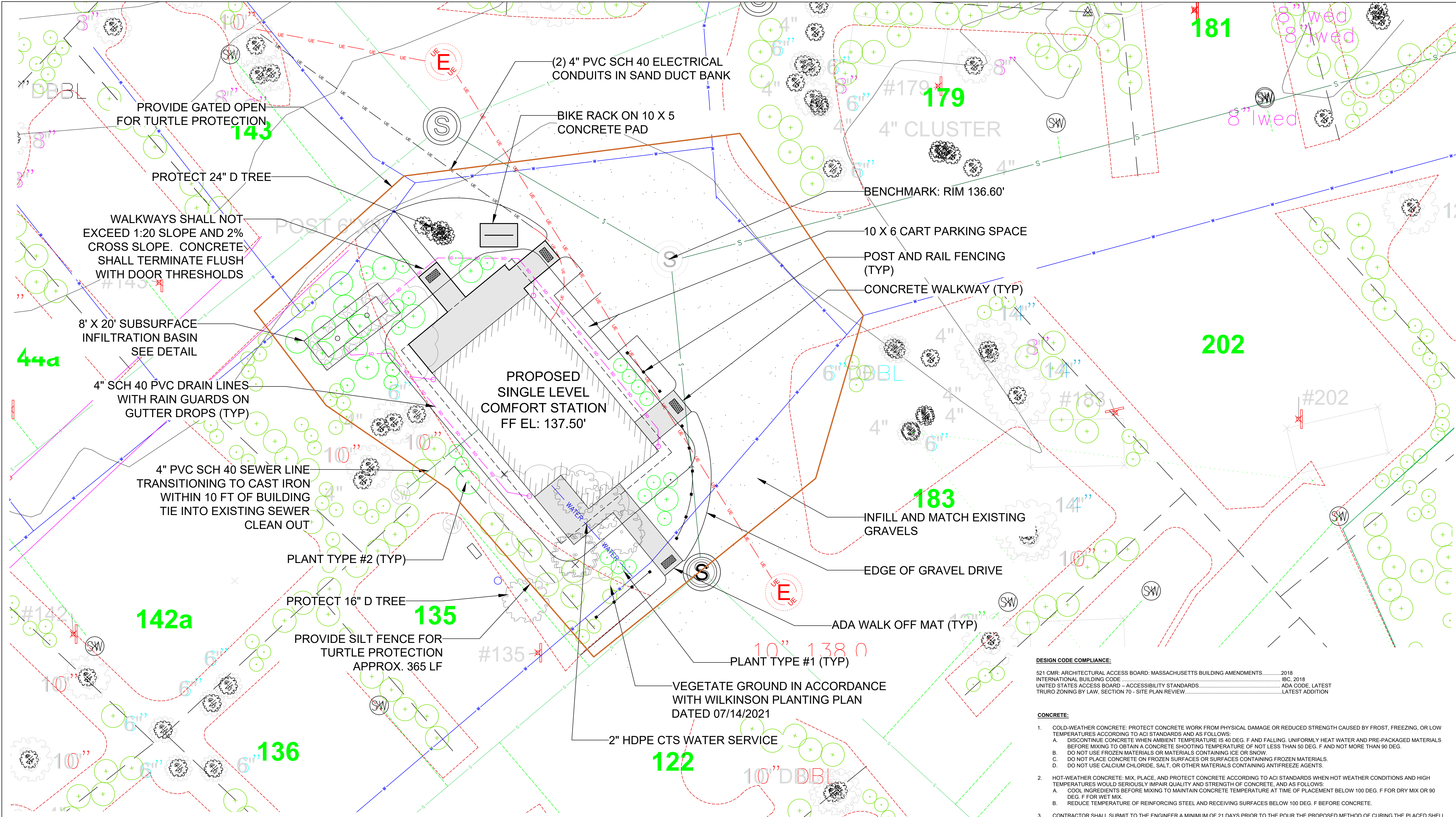


EXISTING CONDITIONS

SCALE: 1" = 40'

CONTRACTOR NOTES / GENERAL NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE COMMONWEALTH OF MASSACHUSETTS REGULATIONS, AND LOCAL REQUIREMENTS. CONTRACTOR SHALL PROCURE ALL NECESSARY PERMITS REQUIRED TO DO THE WORK AT NO COST TO THE OWNER.
- CONTRACTOR SHALL PROVIDE A SCHEDULE AND SEQUENCE OF ANY SPECIFIC SHUTDOWNS TO THE STORE ENTRANCE AND GET APPROVAL PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL ALSO ESTABLISH TEMPORARY ACCESS POINTS, SIGNAGE, AND SAFETY BARRIERS TO DIVERT FOOT TRAFFIC AND VEHICULAR TRAFFIC.
- CONTRACTORS TRAFFIC CONTROLS SHALL CONFORM TO MUTCD STANDARDS.
- LOCATION OF UTILITIES IS APPROXIMATE AND CONTRACTORS SHALL NOTIFY DIGSAFE, (811) AT LEAST 72 HOURS PRIOR TO THE ONSET OF CONSTRUCTION TO HAVE ALL EXISTING UTILITIES LOCATED AND CLEARLY MARKED.
- SITE WAS SURVEYED IN NOVEMBER 2023, UTILIZING GPS, ON MASS COORDINATE SYSTEM. THIS IS AN EXISTING CONDITIONS SURVEY. THIS SHALL NOT CONSTITUTE A PROPERTY BOUNDS SURVEY.
- PROPOSED MATERIALS TO BE USED SHALL MEET MA DOT STANDARDS. APPLICATION OF MATERIALS SHALL MEET MA DOT STANDARDS.
- CONTRACTOR SHALL TRACE ANY PUBLIC OR PRIVATE UTILITIES PRIOR TO DIGGING.
- DESIGN ENGINEER ASSUMES NO LIABILITY FOR DAMAGES AS A RESULT OF EXISTING UNDISCLOSED NON CONFORMANCE, OR FAULTY CONSTRUCTION OR ANY DEVIATION OF ALIGNMENT AND GRADE SPECIFIED HEREIN WITHOUT PRIOR WRITTEN NOTIFICATION AND WRITTEN APPROVAL FROM THE DESIGN ENGINEER. ENGINEER SHALL BE HELD HARMLESS FOR ANY WORK THAT IS PERFORMED NOT IN CONFORMANCE WITH 521 CMR, ARCHITECTURAL ACCESS BOARD.
- WETLAND ARE NOT FOUND WITHIN THIS PROPERTY, AND NOT FOUND WITHIN 100 FT OF THE PROPOSED WORK AREA. PROJECT IS WITHIN A PRIORITY HABITAT ZONE. FOLLOW ORDERS OF CONDITIONS PRESET FOR THE SITE.
- CONTRACTOR TO PERFORM DUE DILIGENCE ON LOCATING BURIED UTILITIES, BURIED STRUCTURES, OVERHEAD WIRES, AND OBSTRUCTIONS. CONTRACTOR SHALL FOLLOW ALL OSHA, LOCAL, AND STATE REGULATIONS.
- IRRIGATION SYSTEMS, LOCATION OF IRRIGATION SYSTEMS AND PIPING IS UNKNOWN. ENGINEER
- AND ENGINEER SHALL BE HELD HARMLESS FOR REPAIRS
- CONDITIONS ARE AS OBSERVED IN SEPTEMBER 2024 IN PROPOSED WORK AREA. REMAINING LAND SURVEY AND EXISTING CONDITIONS COMPILED FROM BETA GROUP 2019 TO 2021.



PLANT SPECIFICATIONS

TYPE #1 PLANTS:

Black Huckleberry Gaylussacia baccata #1
Lowbush Blueberry Vaccinium angustifolia #1

TYPE #2 PLANTS:

Pitch Pine Pinus rigida #1 - #3

NATIVE SEED MIX FOR ALL RESTORATION ZONES:

common name	scientific name
Broom Sedge	Andropogon virginicus
Creeping Red Fescue	Festuca rubra
Fox Sedge	Carex vulpinoidea
Little Bluestem	Schizachyrium scoparium
Poverty Grass	Danthonia spicata
Purple Lovegrass	Eragrostis spectabilis
Upland Bentgrass	Agrostis perennans

PROPOSED SITE PLAN

SCALE: 1" = 10'



SCALE: 1" = 10'

NAD 83 MASS. GRID



75 OAK HILL AVE, 2ND FLOOR
SEEKONK, MA 02771

368 FAIRVIEW AVE
REHOBOTH

TEL: 508-252-4363

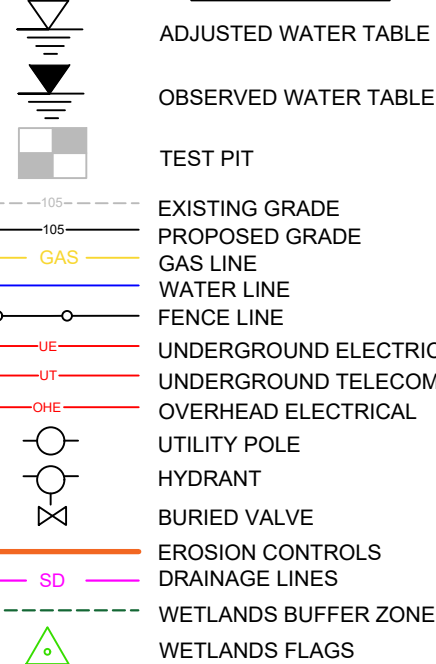
SITE PLAN REVIEW

LOCATION OF PROJECT:
67 SOUTH HIGHLAND RD
10 OLD DEWLINE ROAD
TRURO, MA 02666

APPLICANT
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905 16TH PLACE
VERO BEACH, FL 32960

OWNER
A/C MOBILE HOME PARK INC
905 16TH PLACE
VERO BEACH, FL 32960

LEGEND



DATE: 09/17/24



MARK DATE DESCRIPTION

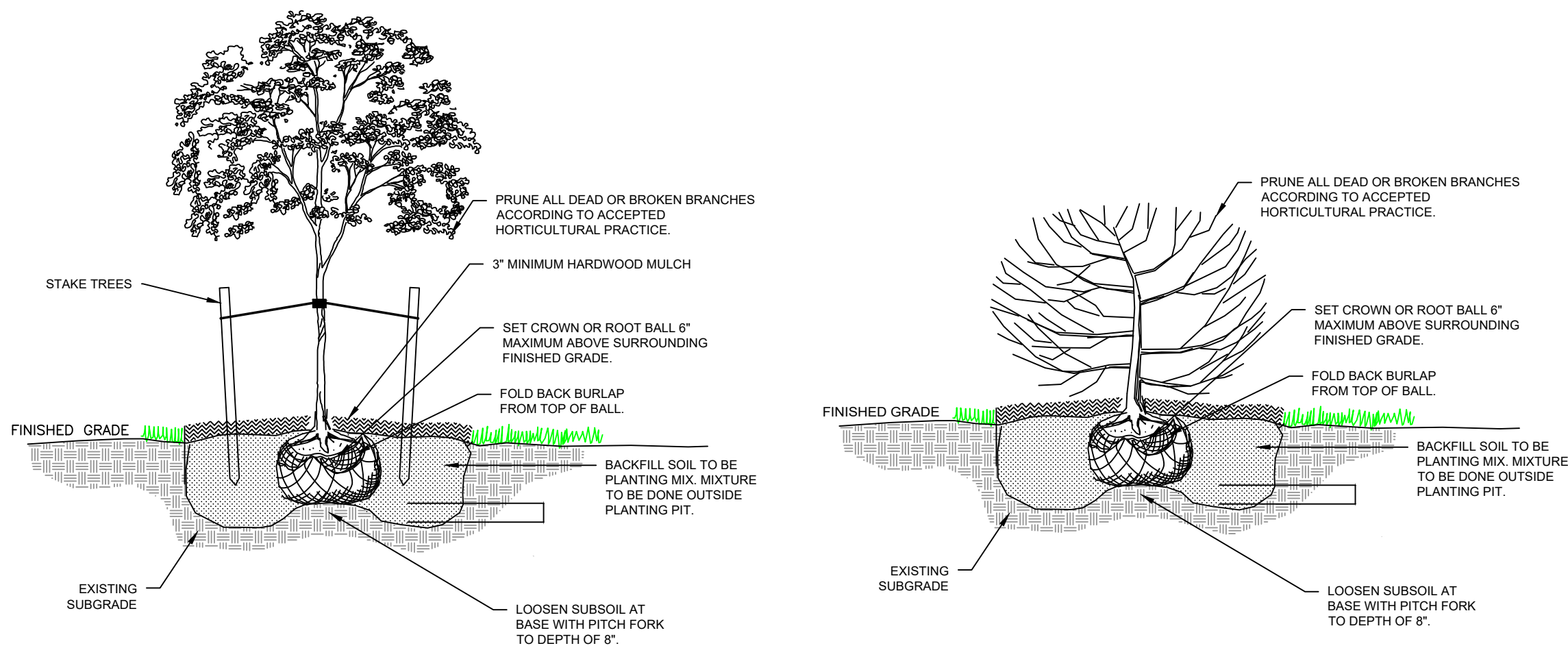
PROJECT NO: 2024-105
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PROPOSED SITE PLAN

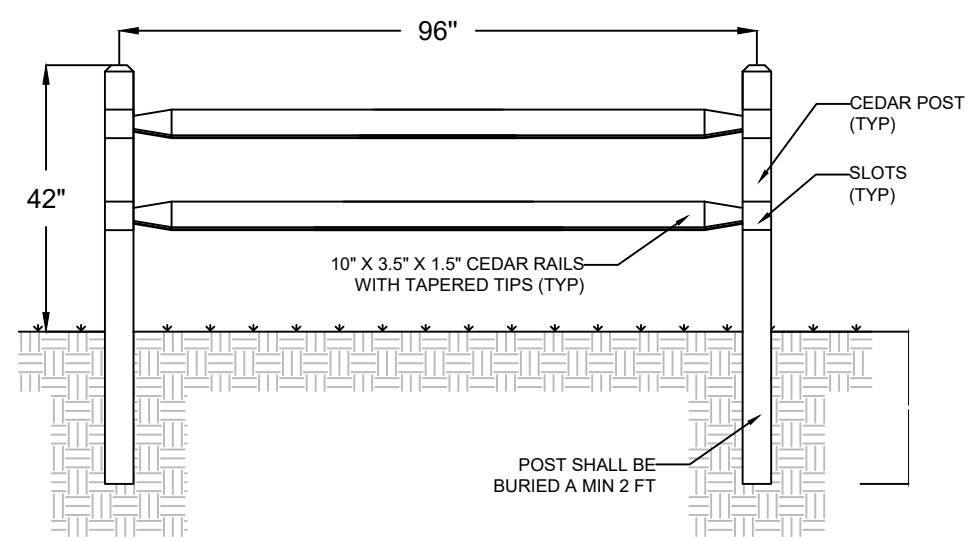
C3

SHEET 3 OF 4



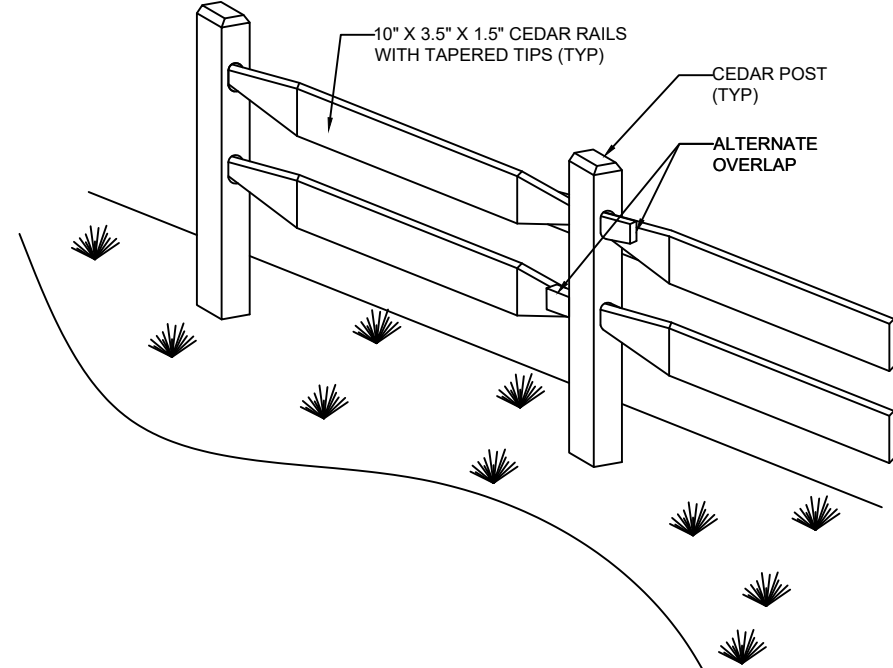
NEW PLANTINGS INSTALLATION

SCALE: NTS



SPLIT RAIL FENCE

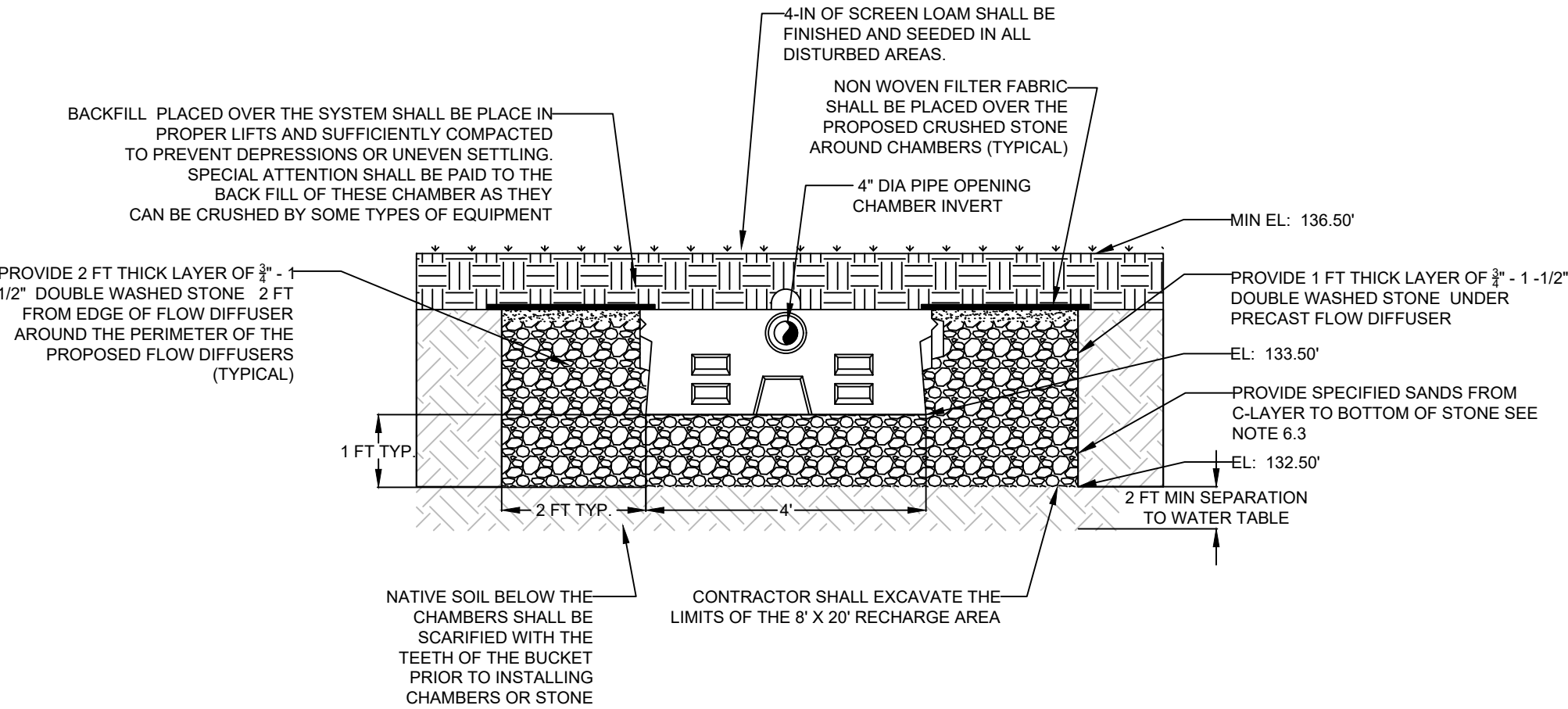
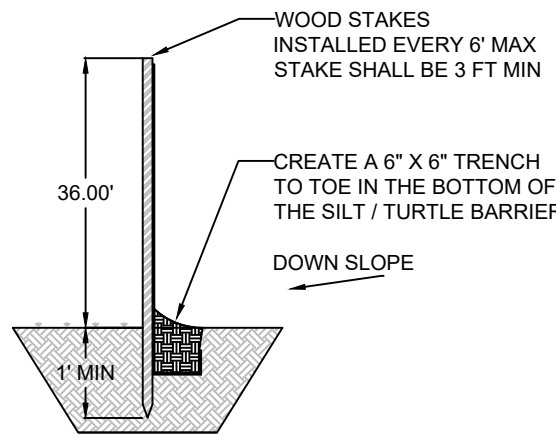
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TURTLE PROTECTION FENCE

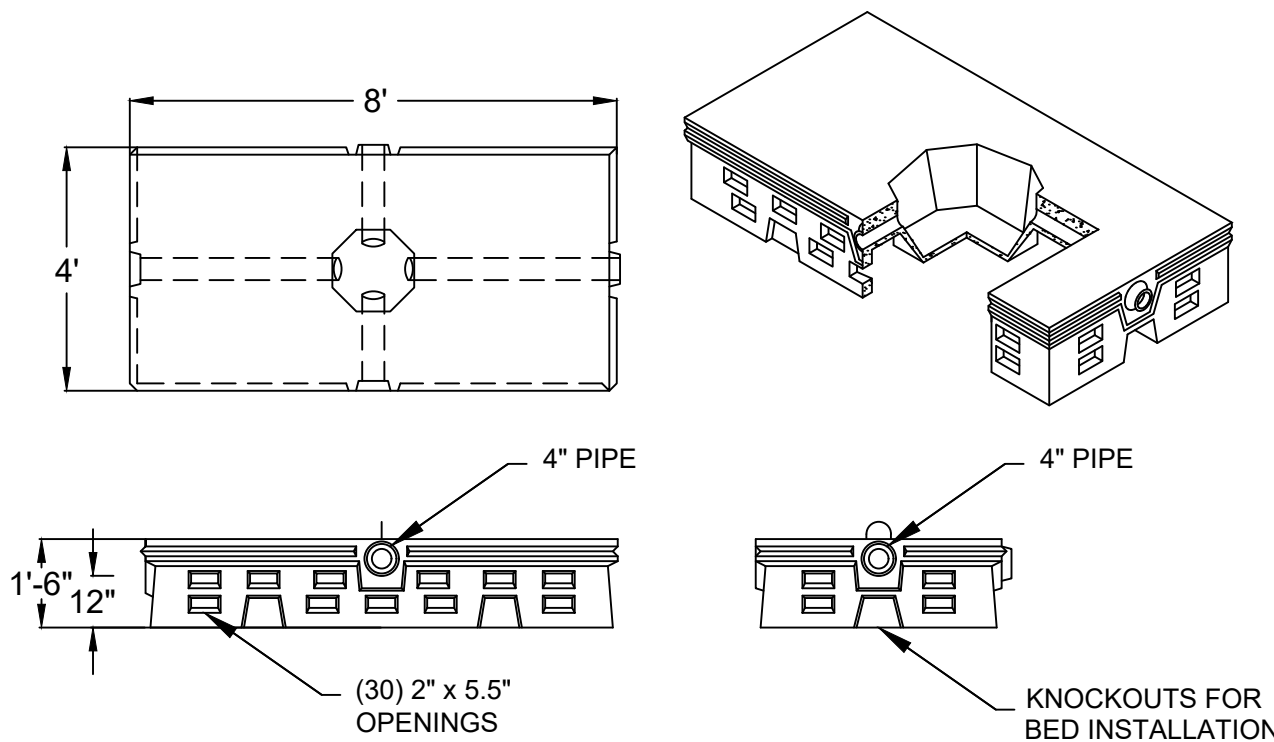
SCALE: NTS

- NOTES:
- EXCAVATE A 6" DEEP BY 6" WIDE TRENCH ALONG THE CONTOUR OF WHERE THE SILT FENCE SHALL BE INSTALLED.
 - SILT FENCE AND BARRIER SHALL BE INSPECTED BY REHOBOTH CONSERVATION AND SELECTED TURTLE CONSULTANT.
 - FENCE SHALL PROVIDE ONLY (1) OPENING AT THE MAIN DRIVE TO ALLOW ACCESS. THE GATE SHALL BE CLOSED WHILE CONSTRUCTION OPERATION IS OCCURRING ON SITE AND WHEN THE SITE IS DORMANT.
 - CONTRACTOR SHALL INSTALL AND MAINTAIN IN ACCORDANCE TO ORDER OF CONDITIONS AND MASSACHUSETTS GUIDE FOR EROSION CONTROL.
 - FENCE SHALL BE INSPECTED DAILY AND AFTER EACH RAIN EVENT. REPAIR IF FENCING BECOMES COMPROMISED.
 - BACKFILL THE DOWN SLOPE SIDE OF THE WATTLE TRENCH.



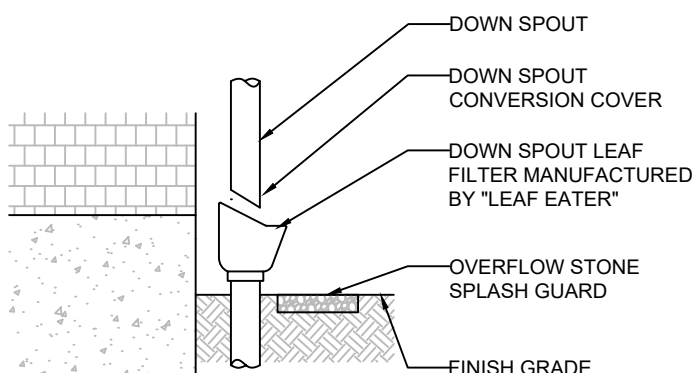
STORM INFILTRATORS CROSS SECTION

SCALE: NTS



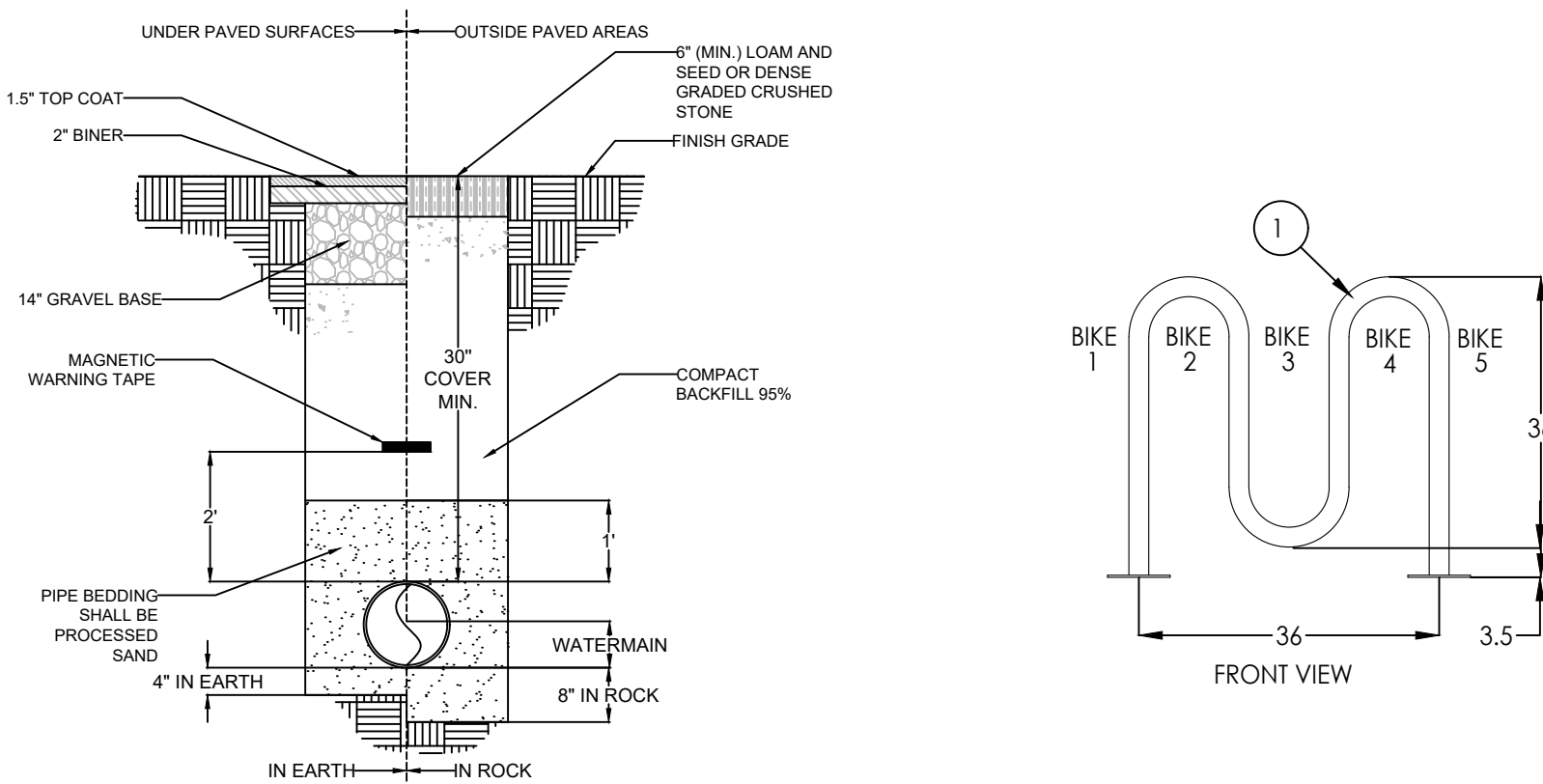
PRECAST INFILTRATOR CHAMBERS

SCALE: NTS



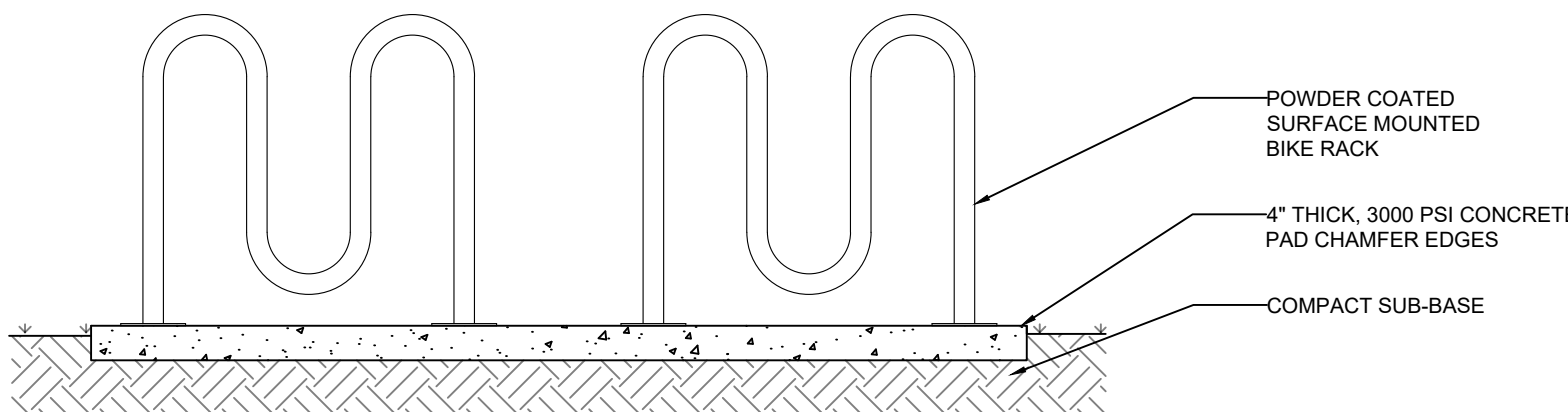
DOWN SPOUT LEAF FILTER

SCALE: NTS



WATER SERVICE

SCALE: NTS



BIKE RACK

SCALE: NTS



75 OAK HILL AVE, 2ND FLOOR
SEEKONK, MA 02771

368 FAIRVIEW AVE
REHOBOTH

TEL: 508-252-4363

SITE PLAN REVIEW

LOCATION OF PROJECT:
67 SOUTH HIGHLAND RD
10 OLD DEWLINE ROAD
TRURO, MA 02666

APPLICANT
A/C MOBILE HOME PARK INC
905 16TH PLACE
VERO BEACH, FL 32960

OWNER
A/C MOBILE HOME PARK INC
905 16TH PLACE
VERO BEACH, FL 32960

LEGEND

- ADJUSTED WATER TABLE
- OBSERVED WATER TABLE
- TEST PIT
- EXISTING GRADE
- PROPOSED GRADE
- GAS LINE
- WATER LINE
- FENCE LINE
- UNDERGROUND ELECTRIC
- UNDERGROUND TELECOM
- OVERHEAD ELECTRICAL
- UTILITY POLE
- HYDRANT
- BURIED VALVE
- EROSION CONTROLS
- DRAINAGE LINES
- WETLANDS BUFFER ZONES
- WETLANDS FLAGS



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DETAILS

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