



Town of Truro Zoning Board of Appeals

P.O. Box 2030, Truro, MA 02666

APPLICATION FOR HEARING

To the Town Clerk of the Town of Truro, MA

Date 5/24/24

The undersigned hereby files with specific grounds for this application: (check all that apply)

GENERAL INFORMATION

☐ NOTICE OF APPEAL

☐ Applicant is aggrieved by his/her inability to obtain a permit or enforcement action from the Building Commissioner on (date) _____.

☐ Applicant is aggrieved by order or decision of the Building Commissioner on (date) _____ which he/she believes to be a violation of the Truro Zoning Bylaw or the *Massachusetts Zoning Act*.

☐ PETITION FOR VARIANCE – Applicant requests a variance from the terms § _____ of the Truro Zoning Bylaw concerning (describe) _____.

☒ APPLICATION FOR SPECIAL PERMIT

☒ Applicant seeks approval and authorization of uses under § SO.1-B of the Truro Zoning Bylaw concerning (describe) height limitations.

☐ Applicant seeks approval for a continuation, change, or extension of a nonconforming structure or use under § _____ of the Truro Zoning Bylaw and M.G.L. Ch. 40A, §6 concerning (describe) _____.

Property Address 113 Castle Road Map(s) and Parcel(s) 46-398

Registry of Deeds title reference: Book _____, Page _____, or Certificate of Title Number _____ and Land Ct. Lot # _____ and Plan # _____

Applicant's Name Amy Holt

Applicant's Legal Mailing Address 75 Andrew St. Newton, MA 02461

Applicant's Phone(s), Fax and Email 617-719-5500 amyholt4842@gmail.com

Applicant is one of the following: (please check appropriate box)

*Written Permission of the owner is required for submittal of this application.

☒ Owner ☐ Prospective Buyer* ☐ Other*

Owner's Name and Address Amy Holt 113 Castle Rd Truro MA 02666

Representative's Name and Address John Ferro 60 Whidah Way Wellfleet MA 02667

Representative's Phone(s), Fax and Email 508-255-8292 pineknoll123@gmail.com

- The applicant is *advised* to consult with the Building Commissioner, Planning Department, Conservation Department, Health Department, and/or Historic Commission, as applicable, prior to submitting this application.

Signature(s)

John Ferro

Applicant(s)/Representative Printed Name(s)

[Signature]

Applicant(s)/Representative Signature

Amy Holt

Owner(s) Printed Name(s) or written permission

[Signature]

Owner(s) Signature or written permission

Your signature on this application authorizes the Members of the Zoning Board of Appeals and town staff to visit and enter upon the subject property

To the members of the Zoning Board of Appeals,

My name is John Ferro and I work at Pine Knoll. I am the general contractor for the residential project at 113 Castle Road. The reason I'm coming to this board is due to a height restriction conflict. You'll find all the required information in your packets and a summary of the details below.

The asbuilt data showed top of ridge height of the new construction is 1'-6" over Truro's maximum height tolerance. The first two things that happened next were; 1) Find the cause of the problem and
2) Find a solution.

I reviewed the paperwork and emails and found that I had identified this issue late in the design phase and lowered the pitch of the roof in the drawings, but the truss designer never received the update. So the taller trusses got installed and caused the house to be built 1'-6" over maximum height.

I contacted the truss designer to work out a solution. I had them design an engineered truss adjustment that can be applied to the existing structure to lower the ridge height by 1'-9". This put's the new ridge height 3" below tolerance. The adjustment requires working in the attic and on the roof. Once I had the solution, I went to schedule the labor. The framers were unavailable, so I got on their waiting list.

Since I knew I would not be able to make the correction before the summer, I went back to the building department to see if there was a safe way to get the homeowners in the house temporarily for the summer. We came to a conclusion that included a temporary CO and a notarized letter of intent.

The letter of intent includes;

- A. Complete final inspections for electrical, plumbing, gas, and smoke/fire before homeowners move in for the summer.
- B. Allow homeowners to live in the house for the summer (July, August, and September).
- C. Final energy inspection will be delayed until the ridge is lowered.
- D. Final CO will be delayed until the ridge is lowered and the insulation/energy is completed.
- E. Pine Knoll will make the truss adjustment at no extra cost to the homeowner, between end of summer and end of year.
- F. The homeowners and the general contractor signed and notarized a document laying out these guidelines.

Once I had the letter of intent, the building commissioner said that this should be brought in front of the Zoning Board of Appeals before moving forward.

So I'm not asking the board for a height variance. I am asking for the board's approval to proceed within the guidelines of the notarized letter of intent that I created with the building commissioner. If the only way to do that is to be granted a variance, then I am asking you to grant the variance and I will still abide by the notarized letter of intent.

Thank you for your consideration,
John Ferro
Pine Knoll



TOWN OF TRURO

Assessors Office

Certified Abutters List

Request Form



DATE: 5/22/24

NAME OF APPLICANT: Amy Holt

NAME OF AGENT (if any): John Ferro (Pine Knoll)

MAILING ADDRESS: PO Box 1347 N. Eastham MA 02651

CONTACT: HOME/CELL 508-255-8292 EMAIL procknoll123@gmail.com

PROPERTY LOCATION: 113 Castle Rd
(street address)

PROPERTY IDENTIFICATION NUMBER: MAP 46 PARCEL 398 EXT. _____
(if condominium)

ABUTTERS LIST NEEDED FOR:

FEE: \$15.00 per checked item

(please check all applicable)

(Fee must accompany the application unless other arrangements are made)

☐ Board of Health⁵

☐ Planning Board (PB)

☐ Zoning Board of Appeals (ZBA)

☐ Cape Cod Commission

☐ Special Permit¹

☐ Special Permit¹

☐ Conservation Commission⁴

☐ Site Plan²

☒ Variance¹

☐ Licensing

☐ Preliminary Subdivision³

Type: _____

☐ Definitive Subdivision³

☐ Other _____

(Fee: Inquire with Assessors)

(Please Specify)

Note: Per M.G.L., processing may take up to 10 calendar days. Please plan accordingly.

THIS SECTION FOR ASSESSORS OFFICE USE ONLY

Date request received by Assessors: 5/22/24

Date completed: _____

List completed by: Laura Geiges

Date paid: 5/22/2024 Cash/Check 15.00

¹Abutters, owners of land directly opposite on any public or private street or way, and abutters to the abutters within 300 feet of the property line.

²Abutters to the subject property, abutters to the abutters, and owners of properties across the street from the subject property.

³Landowners immediately bordering the proposed subdivision, landowners immediately bordering the immediate abutters, and landowners located across the streets and ways bordering the proposed subdivision. **Note:** For Definitive Subdivision only, responsibility of applicant to notify abutters and produce evidence as required.

⁴All abutters within 300 feet of parcel, except Beach Point between Knowles Heights Road and Provincetown border, in which case it is all abutters within 100 feet. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.

⁵Abutters sharing any boundary or corner in any direction – including land across a street, river or stream. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.



TRURO ASSESSORS OFFICE

PO Box 2012 Truro, MA 02666

Telephone: (508) 214-0921

Fax: (508) 349-5506

Date: May 22, 2024

To: John Ferro, Pine Knoll

From: Assessors Department

Certified Abutters List: 113 Castle Road (Map 46 Parcel 398)

Variance

Attached is a combined list of abutters for 113 Castle Road (Map 46 Parcel 398)

The current owners are Paul and Amy Holt.

The names and addresses of the abutters are as of May 17, 2024 according to the most recent documents received from the Barnstable County Registry of Deeds.

Certified by: 

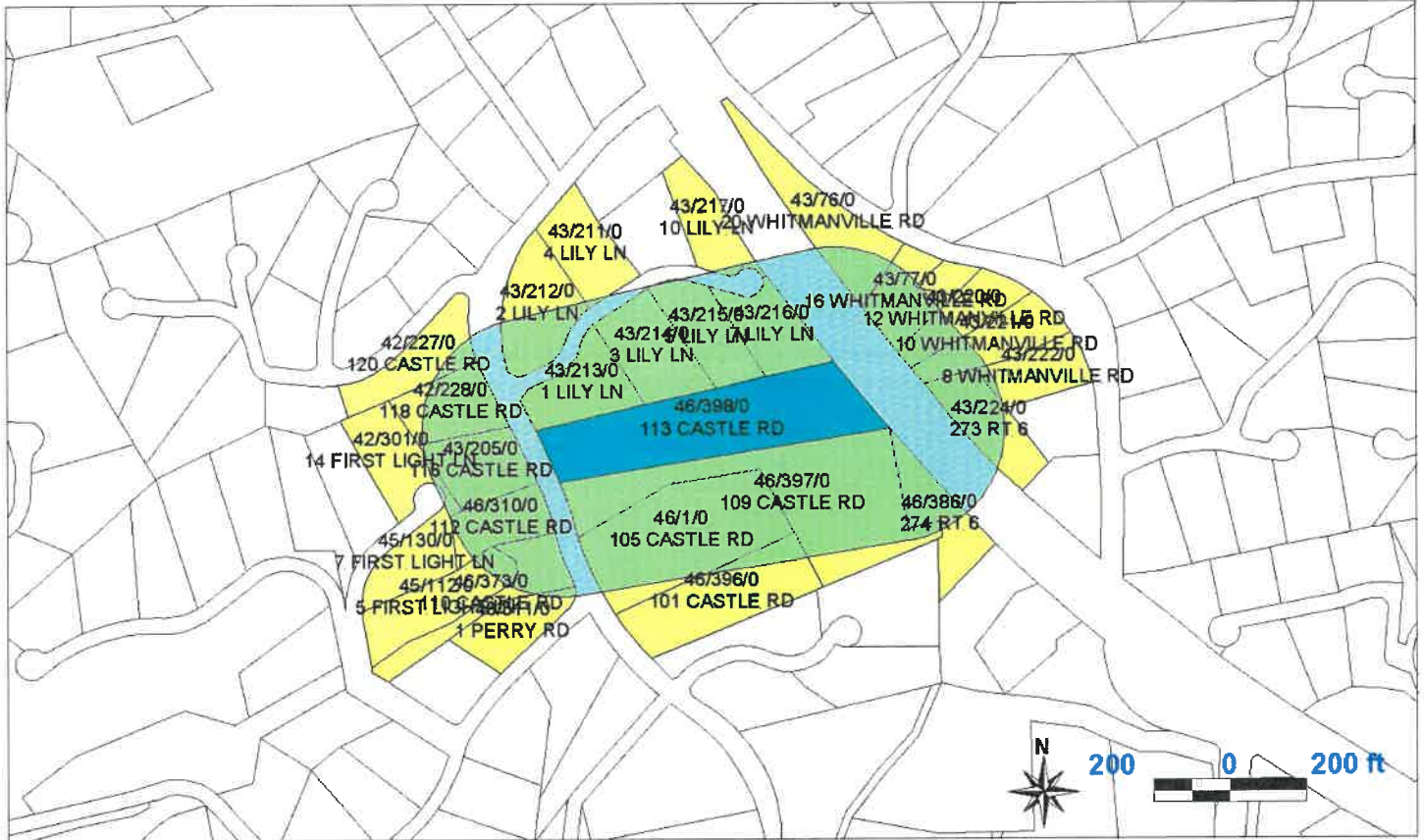
Laura Geiges

Assistant Assessor / Data Collector

113 Castle Rd map 46 Parcel 398 Variance

TOWN OF TRURO, MA
BOARD OF ASSESSORS
P.O. BOX 2012, TRURO MA 02666

Abutters List Within 300 feet of Parcel 46/398/0



Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	ZipCd/Country
1809	42-227-0-R	WALTER & PAMELA THIEVON REV TR TRS: WALTER & PAMELA THIEVON	120 CASTLE RD	367 HIGH ST	STIRLING	NJ	07980
1810	42-228-0-R	POULIN ETHAN & RODERICK ANDREA	118 CASTLE RD	PO BOX 263	NO TRURO	MA	02652-0263
5684	42-301-0-R	ROBERTS FAMILY REV TRUST TRS: ROBERTS RICHARD E & ANNE B	14 FIRST LIGHT LN	PO BOX 1280	TRURO	MA	02666
1951	43-76-0-R	DEERING LEE SCOTT	20 WHITMANVILLE RD	PO BOX 299	NO TRURO	MA	02652
1952	43-77-0-R	PRESENT SARAH & GASPIE RITA & DENNIS & PAUL	16 WHITMANVILLE RD	c/o DENNIS GASPIE 19 ENSIGN AVE	MECHANICVILLE	NY	12118
1953	43-78-0-R	CORREA CHRISTOPHER M & KATIE A	14 WHITMANVILLE RD	PO BOX 880	NO TRURO	MA	02652
5682	43-205-0-R	GUBAR MARTIN D & RHODES REBECCA E	116 CASTLE RD	54 JORDAN ROAD	BROOKLINE	MA	02446
5898	43-211-0-R	WOODBURY SCOTT C & JEANNE A	4 LILY LN	3 CENTER WOODS NORTH	SAGINAW	MI	48638
5899	43-212-0-R	WOODBURY SCOTT C & JEANNE A	2 LILY LN	3 CENTER WOODS NORTH	SAGINAW	MI	48638
6018	43-213-0-R	NADEAU THOMAS J C/O CARPENTER CLYDE TIMOTHY &	1 LILY LN	1803 WHITE OAK HOLLOW NE	ATLANTA	GA	30324
6019	43-214-0-R	BRATSKER STANLEY & BRATSKER ANNE REZNIKOFF	3 LILY LN	PO BOX 1276	TRURO	MA	02666
6020	43-215-0-R	COSTA PETER M & MELISSA A	5 LILY LN	75 WASHINGTON ST, SUITE 100	PEMBROKE	MA	02359
6021	43-216-0-R	JCM REAL ESTATE LLC RES AGT: SHARON S MANDLI	7 LILY LN	12770 TOUCHSTONE PLACE	WEST PALM BEACH	FL	33418
6022	43-217-0-R	DUARTE COLLEEN S & PILLOW MICHAEL J	10 LILY LN	PO BOX 682	NO TRURO	MA	02652
6665	43-220-0-R	MOTTA BRANDON F & MAKER SARAH A	12 WHITMANVILLE RD	PO BOX 930	NO TRURO	MA	02652-0930

LG 5/22/24

Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	ZipCd/Country
6666	43-221-0-R	SOUZA JEFFREY J & SOUZA RACHEL C	10 WHITMANVILLE RD	PO BOX 690	NO TRURO	MA	02652
6667	43-222-0-R	A F HULTIN & CO INC	8 WHITMANVILLE RD	PO BOX 504	NO TRURO	MA	02652-0504
6669	43-224-0-R	KANE CARTER T & AN R	273 RT 6	PO BOX 456	TRURO	MA	02666-0456
2215	45-112-0-R	BIKOFKY LYNN ANNE	5 FIRST LIGHT LN	PO BOX 364	TRURO	MA	02666
5687	45-130-0-R	BRAUER SHELLEY B & HEY JEAN LD	7 FIRST LIGHT LN	4 CALVIN RD	JAMAICA PLAIN	MA	02130-3415
2229	46-1-0-R	MADSEN PETER E	105 CASTLE RD	PO BOX 1309	TRURO	MA	02666
2519	46-310-0-R	TATERKA JAMES ANDREW & TONI M	112 CASTLE RD	827 HAIN DR	LAFAYETTE HILL	PA	19444
2520	46-311-0-R	LEFORT PAUL F & EILEEN M TRS TRS: LEFORT PAUL F & EILEEN M	1 PERRY RD	860 SADDLEWOOD DR	GLEN ELYN	IL	60137
5681	46-373-0-R	WOLFSON JANE	110 CASTLE RD	10 BATES ST	CAMBRIDGE	MA	02140
6664	46-386-0-R	GARVAN STEVEN J & CAREN L	274 RT 6	PO BOX 398	N.TRURO	MA	02652
7414	46-396-0-R	D MAYERS & L BOWMAN REV TRUST TRS:DAMON MAYERS & LYNN BOWMAN	101 CASTLE RD	PO BOX 322	TRURO	MA	02666
7416	46-397-0-R	HAGHIGHI MOHAMAD T	109 CASTLE RD	19 STONEY BROOK RD	HOPKINTON	MA	01748
7417	46-398-0-R	HOLT PAUL & AMY	113 CASTLE RD	75 ANDREW ST	NEWTON HIGHLANDS	MA	02461

LG 5/22/24

42-227-0-R	42-228-0-R	42-301-0-R
WALTER & PAMELA THIEVON REV TR TRS: WALTER & PAMELA THIEVON 367 HIGH ST STIRLING, NJ 07980	POULIN ETHAN & RODERICK ANDREA PO BOX 263 NO TRURO, MA 02652-0263	ROBERTS FAMILY REV TRUST TRS:ROBERTS RICHARD E & ANNE B PO BOX 1280 TRURO, MA 02666
43-76-0-R	43-77-0-R	43-78-0-R
DEERING LEE SCOTT PO BOX 299 NO TRURO, MA 02652	PREGENT SARAH & GASPIE RITA & DENNIS & PAUL c/o DENNIS GASPIE 19 ENSIGN AVE MECHANICVILLE, NY 12118	CORREA CHRISTOPHER M & KATIE A PO BOX 880 NO TRURO, MA 02652
43-205-0-R	43-211-0-R	43-212-0-R
GUBAR MARTIN D & RHODES REBECCA E 54 JORDAN ROAD BROOKLINE, MA 02446	WOODBURY SCOTT C & JEANNE A 3 CENTER WOODS NORTH SAGINAW, MI 48638	WOODBURY SCOTT C & JEANNE A 3 CENTER WOODS NORTH SAGINAW, MI 48638
43-213-0-R	43-214-0-R	43-215-0-R
NADEAU THOMAS J C/O CARPENTER CLYDE TIMOTHY & 1803 WHITE OAK HOLLOW NE ATLANTA, GA 30324	BRATSKEIR STANLEY & BRATSKEIR ANNE REZNIKOFF PO BOX 1276 TRURO, MA 02666	COSTA PETER M & MELISSA A 75 WASHINGTON ST, SUITE 100 PEMBROKE, MA 02359
43-216-0-R	43-217-0-R	43-220-0-R
JCM REAL ESTATE LLC RES AGT: SHARON S MANDLI 12770 TOUCHSTONE PLACE WEST PALM BEACH, FL 33418	DUARTE COLLEEN S & PILLOW MICHAEL J PO BOX 682 NO TRURO, MA 02652	MOTTA BRANDON F & MAKER SARAH A PO BOX 930 NO TRURO, MA 02652-0930
43-221-0-R	43-222-0-R	43-224-0-R
SOUZA JEFFREY J & SOUZA RACHEL C PO BOX 690 NO TRURO, MA 02652	A F HULTIN & CO INC PO BOX 504 NO TRURO, MA 02652-0504	KANE CARTER T & AN R PO BOX 456 TRURO, MA 02666-0456
45-112-0-R	45-130-0-R	46-1-0-R
BIKOFISKY LYNN ANNE PO BOX 364 TRURO, MA 02666	BRAUER SHELLEY B & HEY JEAN LD 4 CALVIN RD JAMAICA PLAIN, MA 02130-3415	MADSEN PETER E PO BOX 1309 TRURO, MA 02666
46-310-0-R	46-311-0-R	46-373-0-R
TATERKA JAMES ANDREW & TONI M 827 HAIN DR LAFAYETTE HILL, PA 19444	LEFORT PAUL F & EILEEN M TRS TRS: LEFORT PAUL F & EILEEN M 860 SADDLEWOOD DR GLEN ELYN, IL 60137	WOLFSON JANE 10 BATES ST CAMBRIDGE, MA 02140
46-386-0-R	46-396-0-R	46-397-0-R
GARVAN STEVEN J & CAREN L PO BOX 398 N.TRURO, MA 02652	D MAYERS & L BOWMAN REV TRUST TRS:DAMON MAYERS & LYNN BOWMAN PO BOX 322 TRURO, MA 02666	HAGHIGHI MOHAMAD T 19 STONEY BROOK RD HOPKINTON, MA 01748
46-398-0-R		
HOLT PAUL & AMY 75 ANDREW ST NEWTON HIGHLANDS, MA 02461		

LG 5/22/24

HOLT PROJECT

105 CASTLE RD.

TRURO, MA

SUMMARY OF CONSTRUCTION REQUIREMENTS

STANDARD FRAMING CONNECTION REQUIREMENTS :

FOLLOW REQUIREMENTS OF TABLE 2 FROM WFCM MANUAL.

FLOOR CONSTRUCTION REQUIREMENTS :

FIRST TWO JOIST BAYS OF THE FLOOR FRAMING FROM EACH GABLE END TO BE BLOCKED WITH TJI BLOCKING OR 2x LUMBER 4-ft ON CENTER FOR THE LENGTH OF THE JOIST. SHEATHING TO BE NAILED IN ACCORDANCE WITH TABLE 2 (8d NAILS, 6" SPACING AT THE EDGES AND 12" SPACING IN THE FIELD).

EXTERIOR WALL REQUIREMENTS :

ALL EXTERIOR WALL STUDS TO BE 2x6 AT 16" ON CENTER. THE DOUBLE TOP PLATES ON THE EXTERIOR WALLS TO HAVE A MAXIMUM SPLICE LENGTH OF 6 FEET AND SPLICES TO BE NAILED WITH 20-16d NAILS IN ACCORDANCE WITH TABLE 6 IN THE WFCM 110/ B BOOKLET.

ROOF FRAMING REQUIREMENTS :

RAFTER CONNECTION TO THE TOP PLATE REQUIRES SIMPSON H2.5A HURRICANE CLIPS WITH 2X BLOCKING BETWEEN JOIST BAYS TOE NAILED TO THE RAFTER AND TOP PLATE WITH 7-10d NAILS PER BAY. IF BLOCKING IS NOT DESIRED, SIMPSON H-10A OR H-14A HURRICANE CLIPS CAN BE SUBSTITUTED AND INSTALLED ON EVERY RAFTER WITHOUT BLOCKING. ALL CLIPS TO BE INSTALL IN ACCORDANCE WITH SIMPSON REQUIREMENTS.

COLLAR TIES ARE REQUIRED IN THE UPPER THIRD OF THE ROOF RAFTERS AND ARE TO BE NAILED WITH (5) 10d NAILS PER SIDE OR USE SIMPSON LSTA 1B STRAPS FROM RAFTER TO RAFTER OVER THE RIDGE BOARD.

ROOF SHEATHING TO BE NAILED USING 8d OR EQUIVALENT NAILS 6" ON CENTER AT THE EDGES, 6" ON CENTER IN THE FIELD. THE FIRST TWO BAYS BETWEEN RAFTERS ARE REQUIRED TO BE BLOCKED 4 FEET ON CENTER AT ALL GABLE ENDS PER THE WFCM.

LIMITATIONS AND CONTRACTOR RESPONSIBILITIES :

THE CONTRACTOR MUST REFER TO THE TABLES AND FIGURES WITHIN THE WFCM 110 MPH EXPOSURE B BOOKLET FOR ILLUSTRATIONS AND REQUIREMENTS DISCUSSED WITHIN THIS SUMMARY. ALL CONNECTIONS AND NAILING MUST MEET THE REQUIREMENTS HEREIN AND AS ILLUSTRATED IN THE BOOKLET IN ORDER TO BE IN COMPLIANCE WITH THE BUILDING CODE. THE CONTRACTOR IS RESPONSIBLE TO ENSURE ALL CONNECTIONS, NAILING, AND ANCHOR BOLTS ARE VISIBLE TO THE INSPECTOR AT THE TIME OF THE FRAMING INSPECTION/ FOUNDATION INSPECTION. THE CONTRACTOR MUST REFERENCE THE SIMPSON STRONG TIE C-2014 CATALOG FOR ALL STRAP, HANGAR, AND TIE INSTALLATION REQUIREMENTS AND LIMITATIONS. THIS DOCUMENT AND THE ATTACHMENTS AS WELL AS A COPY OF THE WFCM BOOKLET MUST ACCOMPANY ALL SETS OF PLANS SUBMITTED TO THE BUILDING DEPARTMENT AND ISSUED TO THE CONTRACTOR/ SUBCONTRACTORS UNLESS THE PLANS ARE UPDATED WITH NOTES AND DETAILS THAT REFLECT THE REQUIREMENTS STATED IN THIS DOCUMENT AND ATTACHMENTS.

AWC Guide to Wood Construction in High Wind Areas: 110 mph Wind Zone Massachusetts Checklist for Compliance (780 CMR 5301.2.1.1)

1.1 SCOPE		
WIND SPEED (3-SEC. GUST)	110 MPH	X
WIND EXPOSURE CATEGORY	B	X

1.2 APPLICABILITY		
NUMBER OF STORIES	2 STORIES ≤ 2 STORIES	X
ROOF PITCH	4:12 ≤ 12:12	X
MEAN ROOF HEIGHT	22 ft ≤ 33'	X
BUILDING WIDTH, W	48 ft ≤ 80'	X
BUILDING LENGTH, L	50 ft ≤ 80'	X
BUILDING ASPECT RATIO (L/W)	1.05:1 ≤ 3:1	X
NOMINAL HEIGHT OF TALLEST OPENING	6'8" ≤ 6'8"	X

1.3 FRAMING CONNECTIONS		
GENERAL COMPLIANCE WITH FRAMING CONNECTIONS		X

2.1 FOUNDATION		
FOUNDATION WALLS MEET REQ. OF 780 CMR 5404.1 - CONCRETE		X

2.2 ANCHORAGE TO FOUNDATION		
5/ 8" ANCHOR BOLTS IMBEDDED OR 5/ 8" PROPRIETARY MECHANICAL ANCHORS AS AN ALTERNATIVE IN CONCRETE ONLY		X

BOLT SPACING – GENERAL	54 in. o.c.	X
BOLT SPACING FROM END/ JOINT OF PLATE	9 in. ≤ 6" - 12"	X
BOLT EMBEDMENT – CONCRETE	7 in. ≥ 7"	X
PLATE WASHER (FIG 5)	≥ 3" X 3" X ¼"	X

3.1 FLOORS		
FLOOR FRAMING MEMBER SPANS CHECKED		X
MAXIMUM FLOOR OPENING DIMENSION	10 ft ≤ 12-ft	X
FULL HEIGHT WALL STUDS AT FLOOR OPENINGS		X
LESS THAN 2" FROM EXTERIOR WALL		X
MAX. FLOOR JOIST SETBACKS SUPPORTING		N/A
LOAD BEARING OR SHEAR WALLS	N/A ft ≤ d	N/A
MAX. CANTILEVERED JOISTS SUPPORTING		N/A
LOAD BEARING OR SHEAR WALLS	N/A ft ≤ d	N/A
FLOOR BRACING AT END WALLS		X
FLOOR SHEATHING TYPE		X
FLOOR SHEATHING THICKNESS	3/4 in.	X
FLOOR SHEATHING FASTENING		X
8 d NAILS AT 6 in. EDGE / 12 in. FIELD		X

4.1 WALLS		
WALL HEIGHT		
LOADBEARING WALLS	9 ft ≤ 10'	X
NON-LOADBEARING WALLS	9 ft ≤ 20"	X
WALL STUD SPACING	16 in. ≤ 24" o.c	X
WALL STORY OFFSETS	N/A ft ≤ d	N/A

4.2 EXTERIOR WALLS		
WOOD STUDS		
LOADBEARING WALLS	2 x 6 - 8 ft 9 in.	X
NON-BEARING WALLS	2 x 6 - 8 ft 9 in.	X
GABLE END WALL BRACING		
FULL HEIGHT ENDWALL STUDS		X
GYP SUM CEILING LENGTH	100 % ≥ 0.9W	X
1 X 3 CEILING FURRING STRIPS @ 16" SPACING WITH 2 X 4 BLOCKING @ 4 ft. SPACING IN END JOIST/ TRUSS BAYS		X
DOUBLE TOP PLATE		
SPLICE LENGTH	6 ft	X
SPLICE CONNECTION (# 16d COMMON NAILS)	20	X

LOADBEARING WALL CONNECTIONS		
LATERAL (# 16d COMMON NAILS)	2	X
NON-LOADBEARING WALL CONNECTIONS		
LATERAL (# 16d COMMON NAILS)	2	X
LOAD BEARING WALL OPENINGS		
HEADER SPANS	10 ft 0 in. ≤ 11-ft	X
SILL PLATE SPANS	10 ft 0 in. ≤ 11-ft	X
FULL HEIGHT STUDS	4	X
NON-LOAD BEARING WALL OPENINGS		
HEADER SPANS	11 ft 0 in. ≤ 12-ft	X
SILL PLATE SPANS	11 ft 0 in. ≤ 12-ft	X
FULL HEIGHT STUDS (NO. OF STUDS)	4	X

EXTERIOR WALL SHEATHING TO RESIST UPLIFT AND SHEAR SIMULTANEOUSLY		
MINIMUM BUILDING DIMENSION (W)		
HEIGHT OF TALLEST OPENING	6'8" ≤ 6'8"	X
SHEATHING TYPE	WSP	X
EDGE NAIL SPACING	3 in.	X
FIELD NAIL SPACING	12 in.	X
SHEAR CONNECTION (# 16d / ft)	4	X
PERCENT FULL-HEIGHT SHEATHING	22 %	X
-5% FOR OPENINGS > 6'8"		X

MAXIMUM BUILDING DIMENSION (L)		
HEIGHT OF TALLEST OPENING	6'8" ≤ 6'8"	X
SHEATHING TYPE	WSP	X
EDGE NAIL SPACING	4 in.	X
FIELD NAIL SPACING	12 in.	X
SHEAR CONNECTION (# 16d / ft)	5	X
PERCENT FULL-HEIGHT SHEATHING	30	X
-5% FOR OPENINGS > 6'8"		X

WALL CLADDING		
RATED FOR WIND SPEED?		X
APA PORTAL WALLS AND/ OR WIND DESIGN SHEARWALLS USED		YES

5.1 ROOFS		
ROOF FRAMING MEMBER SPANS CHECKED?		X
ROOF OVERHANG	1 ft ≤ SMALLER OF 2-ft OR L/ 3	X
TRUSS OR RAFTER CONNECTIONS AT LOAD BEARING WALLS		

PROPRIETARY CONNECTORS		
UPLIFT	U= 370 plf	X
LATERAL	L= 176 plf	X
SHEAR	S= 77 plf	X
RIDGE STRAPS (IF COLLAR TIES NOT USED)	T= 529 plf	X

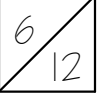
GABLE RAKE OUTLOOKER	1 ft ≤ SMALLER OF 2-ft OR L/ 2	X
TRUSS OR RAFTER CONNECTIONS AT NON-LOADBEARING WALLS		

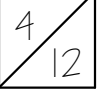
PROPRIETARY CONNECTORS		
UPLIFT		N/A
LATERAL (#16d COMMON NAILS)		N/A
ROOF SHEATHING TYPE	WSP	X
ROOF SHEATHING THICKNESS	7/16 in. ≥ 7/ 16" WSP	X
ROOF SHEATHING FASTENING	8d 6/ 6	X

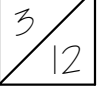
NOTES:
1. THIS CHECKLIST SHALL BE MET IN ITS ENTIRETY TO COMPLY WITH THE REQUIREMENTS OF 780 CMR 5301.2.1.1 ITEM 1. IF THE CHECKLIST IS MET IN ITS ENTIRETY THEN THE FOLLOWING METAL STRAPS AND HOLD DOWNS ARE NOT REQUIRED PER THE WFCM 110 MPH GUIDE:
a. STEEL STRAPS PER FIGURE 5
b. 20 GAGE STRAPS PER FIGURE 11
c. UPLIFT STRAPS PER FIGURE 14
d. ALL STRAPS PER FIGURE 17
e. CORNER STUD HOLD DOWNS PER FIGURE 18A AND FIGURE 18B
2. THE BOTTOM SILL PLATE IN EXTERIOR WALLS SHALL BE A MINIMUM 2 IN. NOMINAL THICKNESS PRESSURE TREATED #2-GRADE.
3. SEE CHECKLIST SHEARWALL CONSTRUCTION DETAIL FOR SHEARWALL CONSTRUCTION

THIS REVIEW WAS COMPLETED ON PLANS SUBMITTED BY PINE KNOLL BUILDERS AND WAS BASED ON THE FLOOR PLANS AND ELEVATIONS PROVIDED. ANY CHANGES TO THESE PLANS OR FIELD CHANGES MADE MAY RENDER THE REQUIREMENTS OUTLINED IN THIS DOCUMENT NULL AND VOID AND COULD RESULT IN NON-COMPLIANCE WITH THE REQUIREMENTS OF THE WIND DESIGN.

SHEARWALL PANEL NAILING SCHEDULE

	1½" PLYWOOD NAILED WITH 8d COMMON OR GALVANIZED BOX NAILS AT 6" O.C. AT THE EDGES AND 12" O.C. IN THE FIELD.
---	--

	1½" PLYWOOD NAILED WITH 8d COMMON OR GALVANIZED BOX NAILS AT 4" O.C. AT THE EDGES AND 12" O.C. IN THE FIELD.
---	--

	1½" PLYWOOD NAILED WITH 8d COMMON OR GALVANIZED BOX NAILS AT 3" O.C. AT THE EDGES AND 12" O.C. IN THE FIELD.
---	--

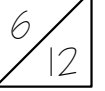
NOTE : FOR PLYWOOD SHEAR WALLS LISTED ABOVE, 8d COMMON OR GALVANIZED BOX NAILS = (0.131 x 2½"). GUN NAILS MATCHING THE NAIL DIAMETER AND LENGTH MAY BE USED AS A SUBSTITUTE.

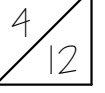
NOTE : ALL PLYWOOD TO BE RUN VERTICAL FROM SILL PLATE TO AT LEAST 2" INTO THE SECOND FLOOR BOX ON TWO STORY BUILDINGS OR TO THE DOUBLE TOP PLATE IN SINGLE STORY BUILDINGS. USE 2 ROWS OF NAILS SPACED 3" ON CENTER STAGGERED AT THE TOP AND BOTTOM OF EACH PLYWOOD SHEET PER FIGURE 4 IN THE CHECKLIST.

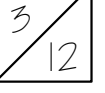
SOLE PLATE CONNECTION SCHEDULE

CONNECTION TO FLOOR RIM BOARD

WALL TYPE SOLE PLATE CONNECTION TO RIM BOARD

	(3) - 16d COMMON NAILS PER 16"
---	--------------------------------

	(3) - 16d COMMON NAILS PER 16"
---	--------------------------------

	(4) - 16d COMMON NAILS PER 16"
---	--------------------------------

CONNECTION TO CONCRETE FOUNDATION

FOUNDATION SILL PLATE CONNECTION TO CONCRETE

¾" DIA ANCHOR BOLTS AT 34" O.C..

NOTE : ANCHOR BOLTS REFERENCED ABOVE TO BE ¾" DIAMETER A307 STEEL ANCHOR BOLTS WITH 3" x 3", ¼" PLATE WASHERS WITH 7" MINIMUM EMBEDMENT INTO CONCRETE.

SHEARWALL CONSTRUCTION

1 - ALL SHEARWALLS TO HAVE DOUBLE TOP PLATES AND DOUBLE 2X STUDS AT EACH END OF THE WALL.

2 - FACE NAIL DOUBLE TOP PLATES W/ 16d NAILS AT 16" O.C.

3 - NAILING OF SHEATHING TO BE CONTINUED ABOVE AND BELOW ALL OPENINGS IN SHEARWALL.

4 - ATTACH DOUBLE 2X STUDS AND BUILT-UP CORNER STUDS AT SHEARWALL ENDS WITH (2) 16d NAILS AT 6" O.C. FOR ATTIC/ SECOND FLOOR SHEARWALLS AND (2) 16d NAILS AT 4" O.C. STAGGERED FOR FIRST FLOOR SHEARWALLS.

KING AND JACK STUD REQUIREMENTS

X K , X J # OF KING AND JACK STUDS AT OPENINGS. USE 2K, 1J IF NOT NOTED OTHERWISE

CHECKLIST COVER SHEET

PROJECT:

HOLT PROJECT

NO.	REVISION/ISSUE	DATE

PROJECT ADDRESS:

105 CASTLE RD.
TRURO, MA



P.O. BOX 1879
44 UNDERPASS RD UNIT 2
BREWSTER, MA 02631
(774) 353-2144



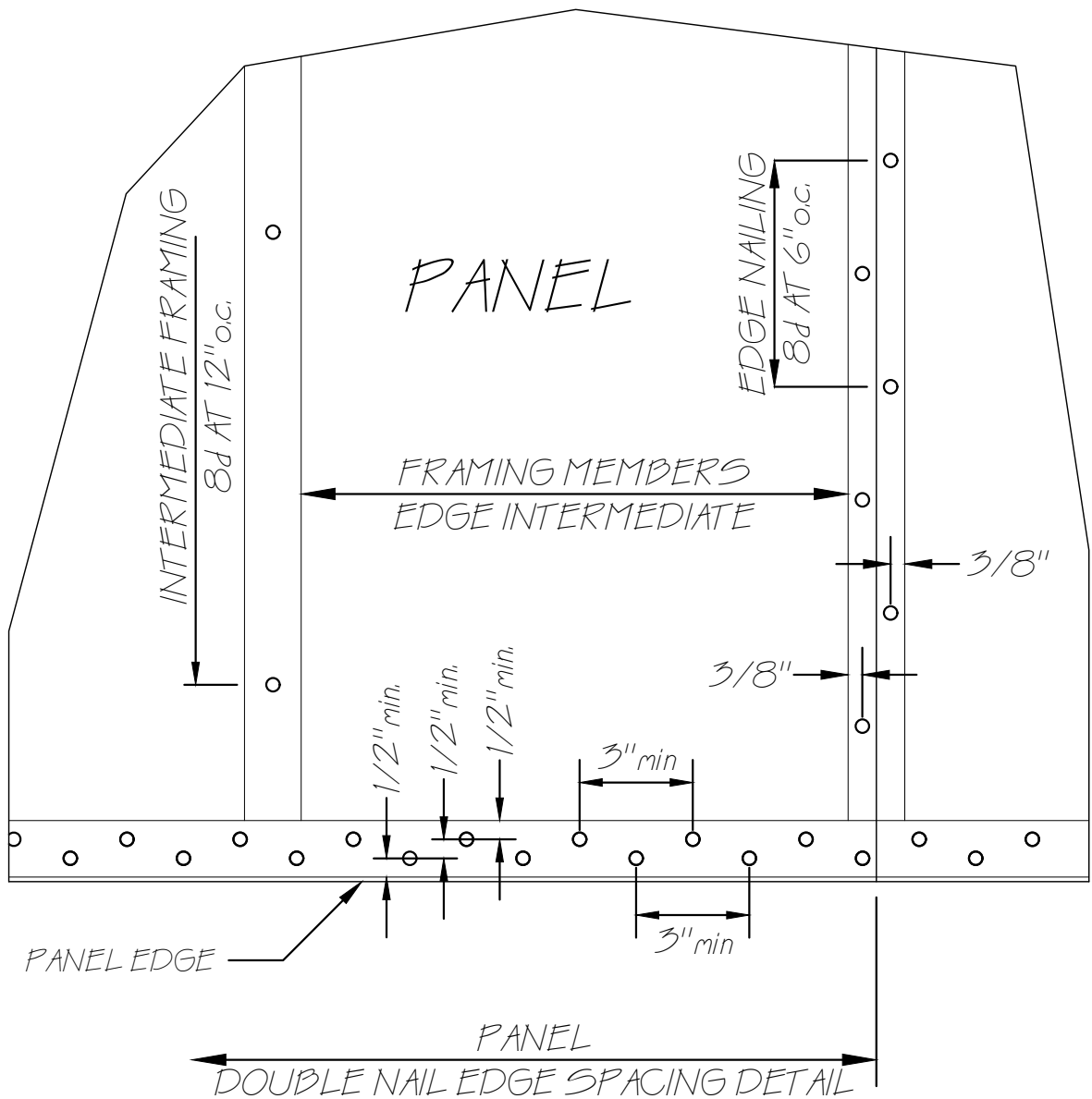
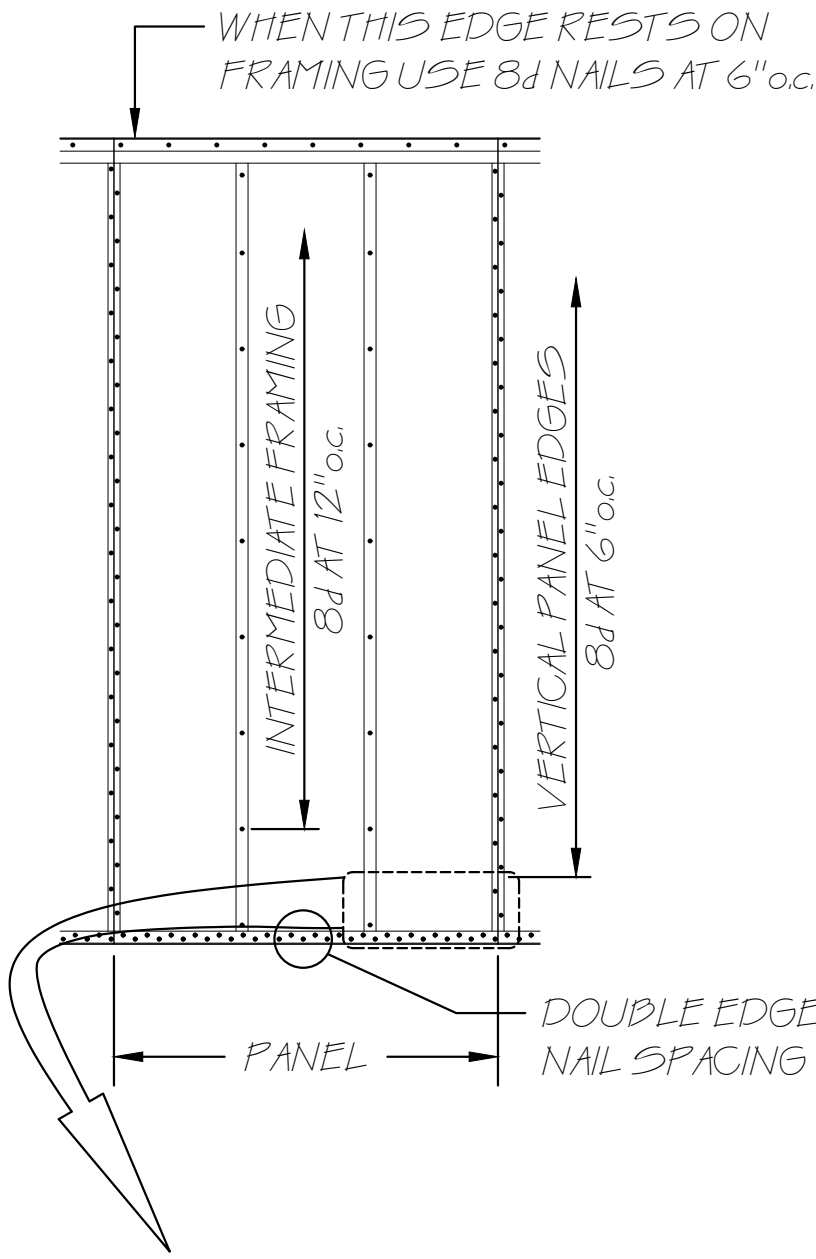
3-15-22

JOB#: 22-051	SHEET
DATE: 03-11-2022	CS1.0
SCALE: NONE	

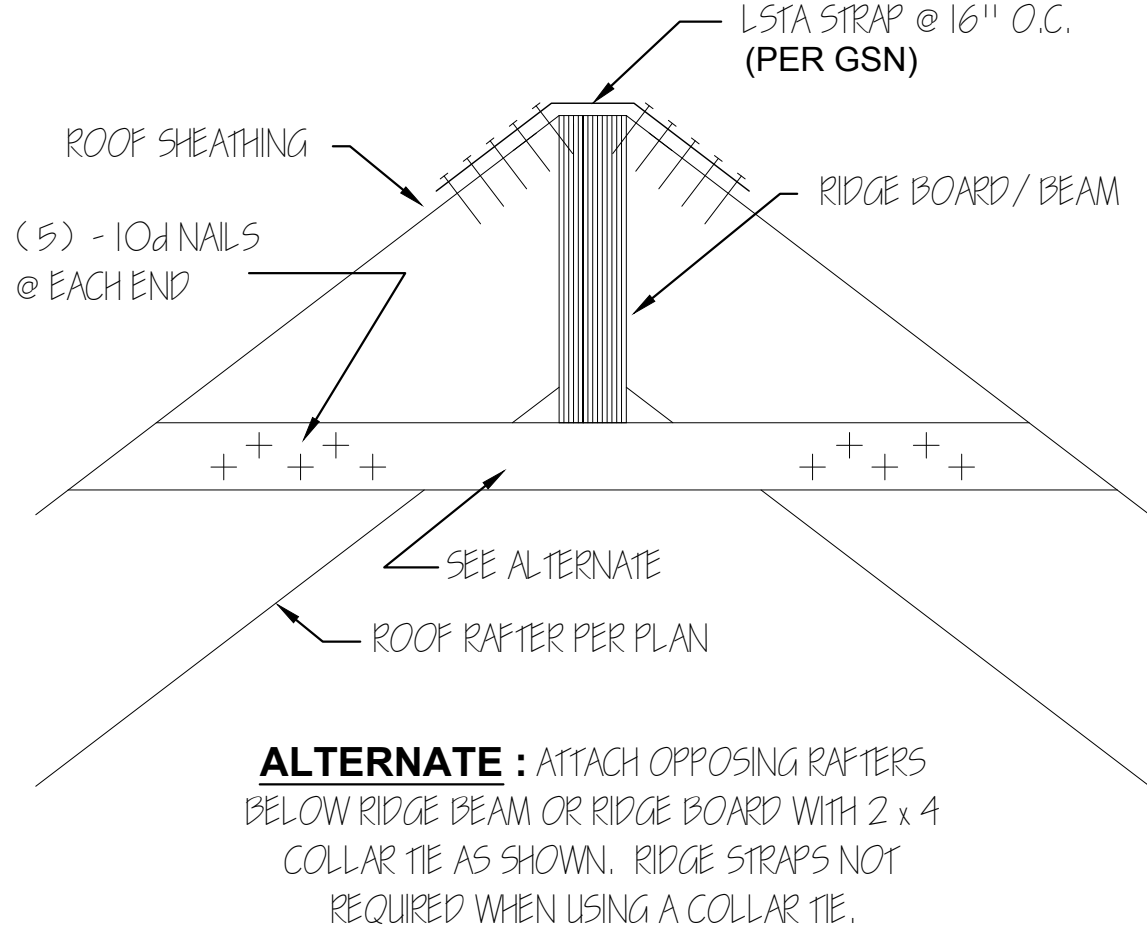
CHECKLIST SHEARWALL CONSTRUCTION

1. FROM TABLES 10 AND 11 WFCM MANUAL 110 MPH EXP. B AND LOCATION OF WALL SHEATHING AND BUILDING ASPECT RATIO, DETERMINE PERCENT FULL-HEIGHT SHEATHING AND NAIL SPACING REQUIREMENTS
2. WOOD STRUCTURAL PANELS SHALL BE MINIMUM THICKNESS OF 7/16" AND BE INSTALLED AS FOLLOWS:
- a. PANELS SHALL BE INSTALLED WITH STRENGTH AXIS PARALLEL TO STUDS.
- b. ALL HORIZONTAL JOINTS SHALL OCCUR OVER AND BE NAILED TO FRAMING.
- c. ON SINGLE STORY CONSTRUCTION, PANELS SHALL BE ATTACHED TO BOTTOM PLATES AND TOP MEMBER OF THE DOUBLE TOP PLATE.
- d. ON TWO STORY CONSTRUCTION, UPPER PANELS SHALL BE ATTACHED TO THE TOP MEMBER OF THE UPPER DOUBLE TOP PLATE AND TO BAND JOIST AT BOTTOM OF PANEL. UPPER ATTACHMENT OF LOWER PANEL SHALL BE MADE TO BAND JOIST AND LOWER ATTACHMENT MADE TO LOWEST PLATE AT FIRST FLOOR FRAMING.
- e. HORIZONTAL NAIL SPACING AT DOUBLE TOP PLATES, BAND JOISTS, AND GIRDERS SHALL BE A DOUBLE ROW OF 8d STAGGERED AT 3 INCHES ON CENTER PER FIGURES BELOW : VERTICAL AND HORIZONTAL NAILING FOR PANEL ATTACHMENT

VERTICAL AND HORIZONTAL NAILING FOR PANEL ATTACHMENT

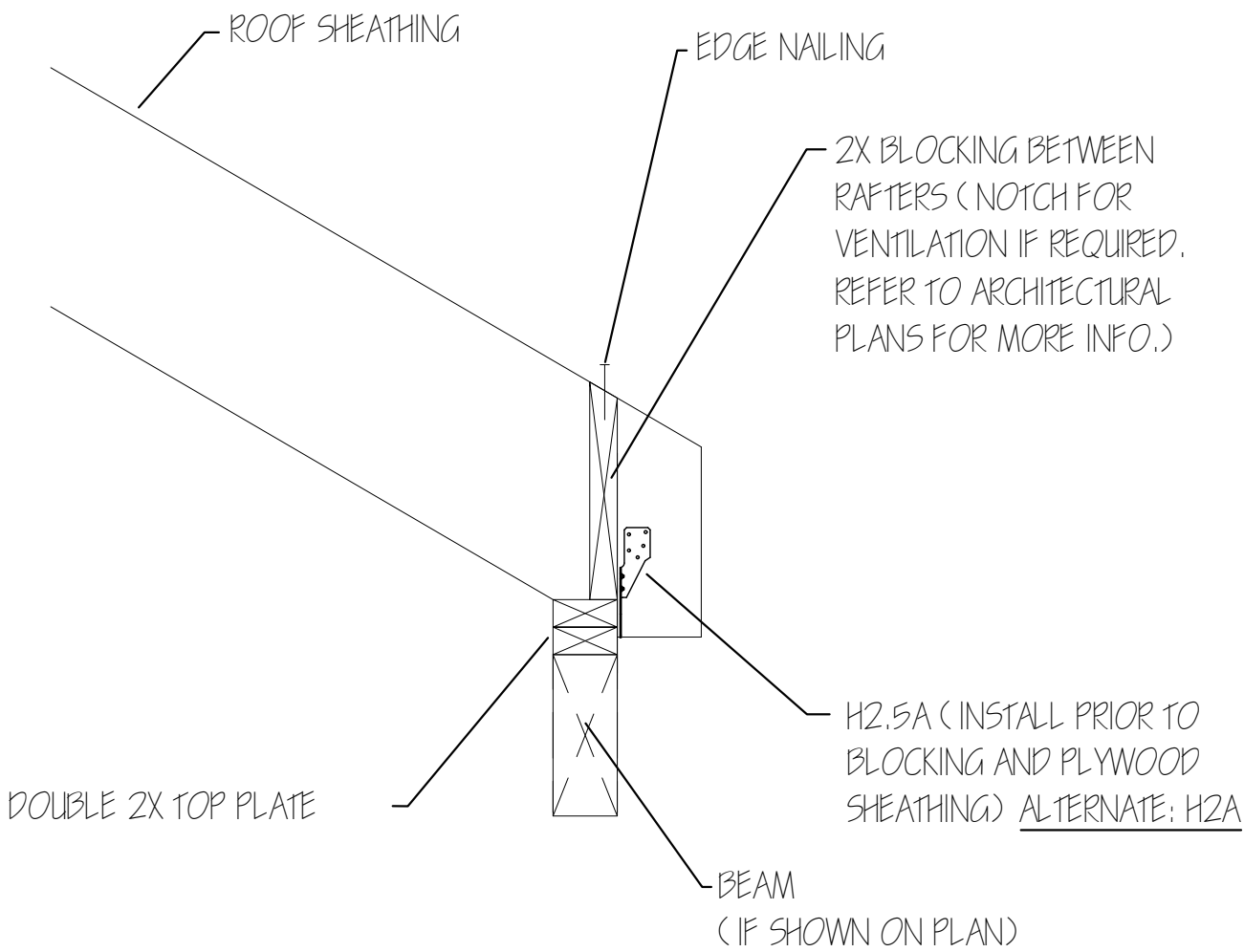


STRUCTURAL RIDGE BEAM

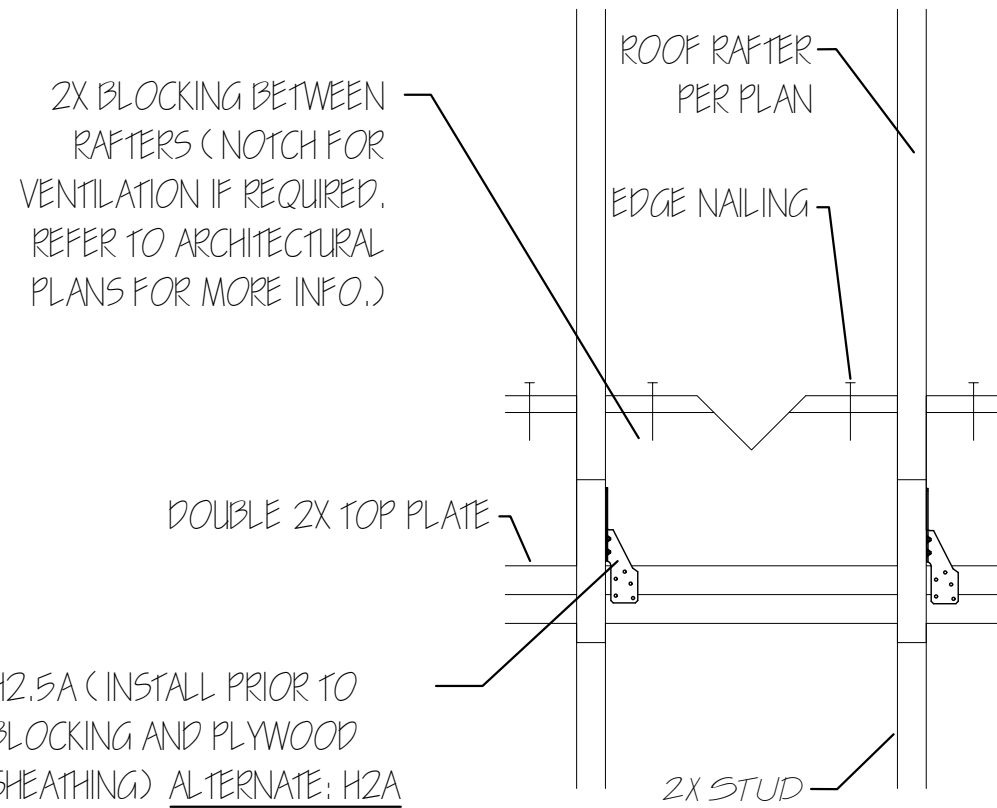


RAFTER TO TOP PLATE

PROFILE VIEW



ELEVATION VIEW



SHEARWALL HOLDDOWN SCHEDULE

SECOND FLOOR AND INTERIOR HOLDDOWNS

- ① (1) - C516 COIL STRAP W/ (26) 8d (0.131 x 2 1/2" LONG) NAILS WITH STRAP APPLIED DIRECTLY TO 2X FRAMING MEMBERS. PROVIDE HALF OF THE NUMBER OF NAILS SPECIFIED AT EACH END OF STRAP. CUT SMALL SLOT IN FLOOR SHEATHING AND ATTACH STRAP TO LVL BEAM OR LVL BLOCKING IN BETWEEN TJI FLOOR JOISTS IN FLOOR FRAMING BELOW. CONNECT BLOCKING TO TJI JOIST WEBS WITH HUS 412 FACE MOUNT HANGER. PROVIDE BACKER BLOCKING IN TJI JOIST WEB PER MANUFACTURER'S SPECIFICATIONS.
- ② (2) - C516 COIL STRAP W/ (26) 8d (0.131 x 2 1/2" LONG) NAILS WITH STRAP APPLIED DIRECTLY TO 2X FRAMING MEMBERS. PROVIDE HALF OF THE NUMBER OF NAILS SPECIFIED AT EACH END OF STRAP. CUT SMALL SLOT IN FLOOR SHEATHING AND ATTACH STRAP TO LVL BEAM OR LVL BLOCKING IN BETWEEN TJI FLOOR JOISTS IN FLOOR FRAMING BELOW. CONNECT BLOCKING TO TJI JOIST WEBS WITH HUS 412 FACE MOUNT HANGER. PROVIDE BACKER BLOCKING IN TJI JOIST WEB PER MANUFACTURER'S SPECIFICATIONS.

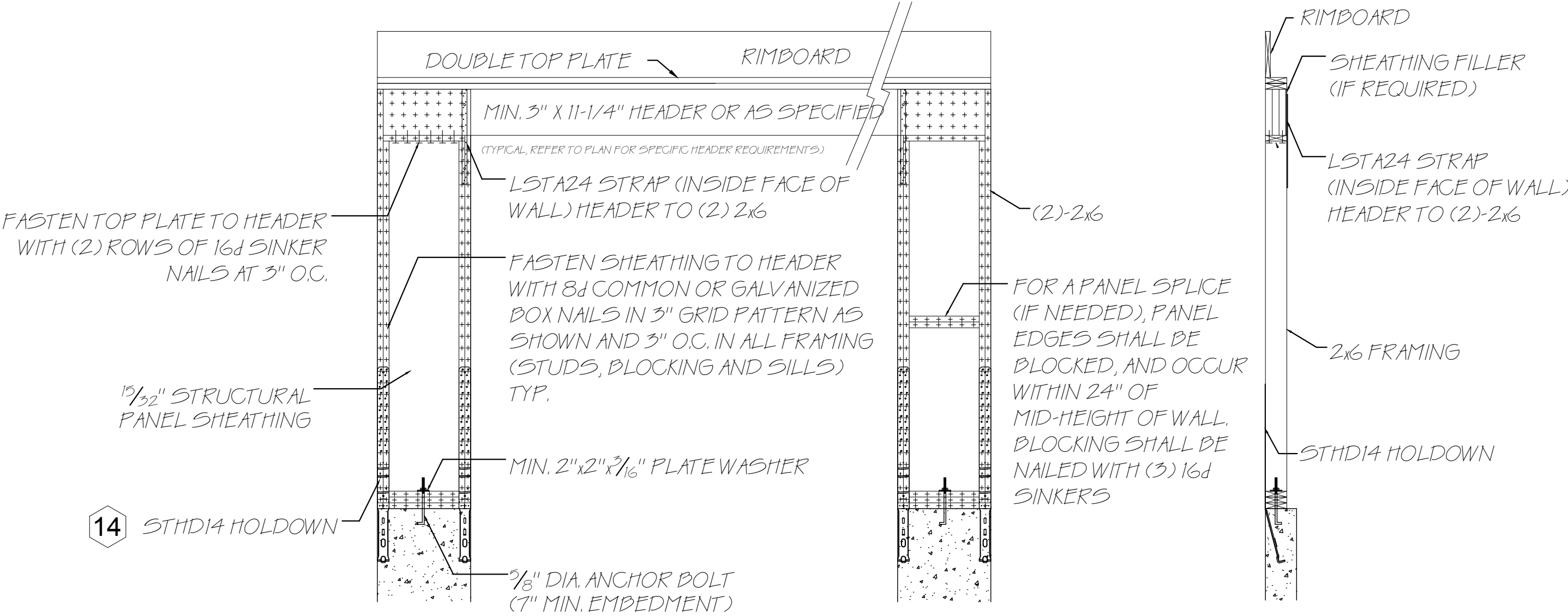
FOUNDATION HOLDDOWNS

- ④ HDU4-SP52.5 W/ SSTB20 ANCHOR BOLT PLACED BEFORE POUR. ATTACH TO FOUNDATION W/ APPLICABLE ANCHORMATE. USE CNW5 COUPLER NUT BETWEEN ANCHOR BOLT AND 5/8" THREADED ROD INTO HOLDDOWN.
- ④ STHD14 FOUNDATION HOLDDOWN STRAPS FOR APA PORTAL WALLS. SEE TT-100F FOR ADDITIONAL CONSTRUCTION DETAILS. ATTACH HOLDDOWNS TO FOUNDATION FORMWORK WITH APPROPRIATE ANCHORMATES PRIOR TO POUR.
- ⑤ HDU4-SP52.5 ATTACHED TO 6x6 DOUGLAS-FIR POST W/ SBL30 ANCHOR BOLT PLACED BEFORE POUR. ATTACH TO FORM WORK WITH APPLICABLE ANCHORMATE. USE CNW 1" COUPLER NUT BETWEEN ANCHOR BOLT AND 1" THREADED ROD INTO HOLDDOWN.

LEGEND

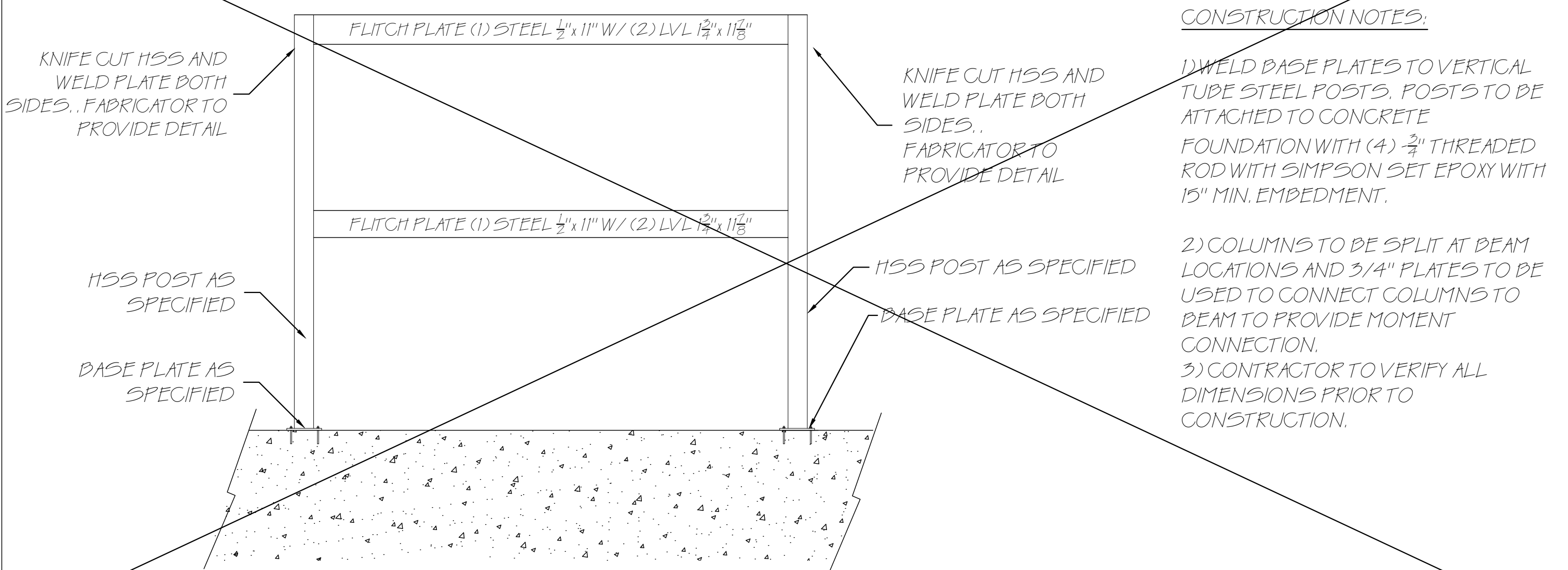
- △ SHEARWALL TYPE ● ① SHEARWALL HOLDDOWN TYPE △^P PERFORATE SHEARWALL. CONTINUE PLYWOOD ABOVE AND BELOW OPENING WITH NAILING ACCORDING TO SPECIFIED SHEARWALL TYPE.
- ① SHEARWALL GRIDLINE - - - SHEARWALL X K , X J # OF KING AND JACK STUDS AT OPENINGS

APA PORTAL WALL DETAIL (NOT TO SCALE)
(SUBSERVIENT TO APA TT-100F BY THE ENGINEERED WOOD ASSOCIATION)



SIDE ELEVATION

MOMENT FRAME CONSTRUCTION DETAIL (EXAMPLE ONLY, NOT TO SCALE)



ADDITIONAL STRUCTURAL NOTES

PROJECT:

HOLT PROJECT

NO.	REVISION/ISSUE	DATE

PROJECT ADDRESS:

105 CASTLE RD,
TRURO, MA



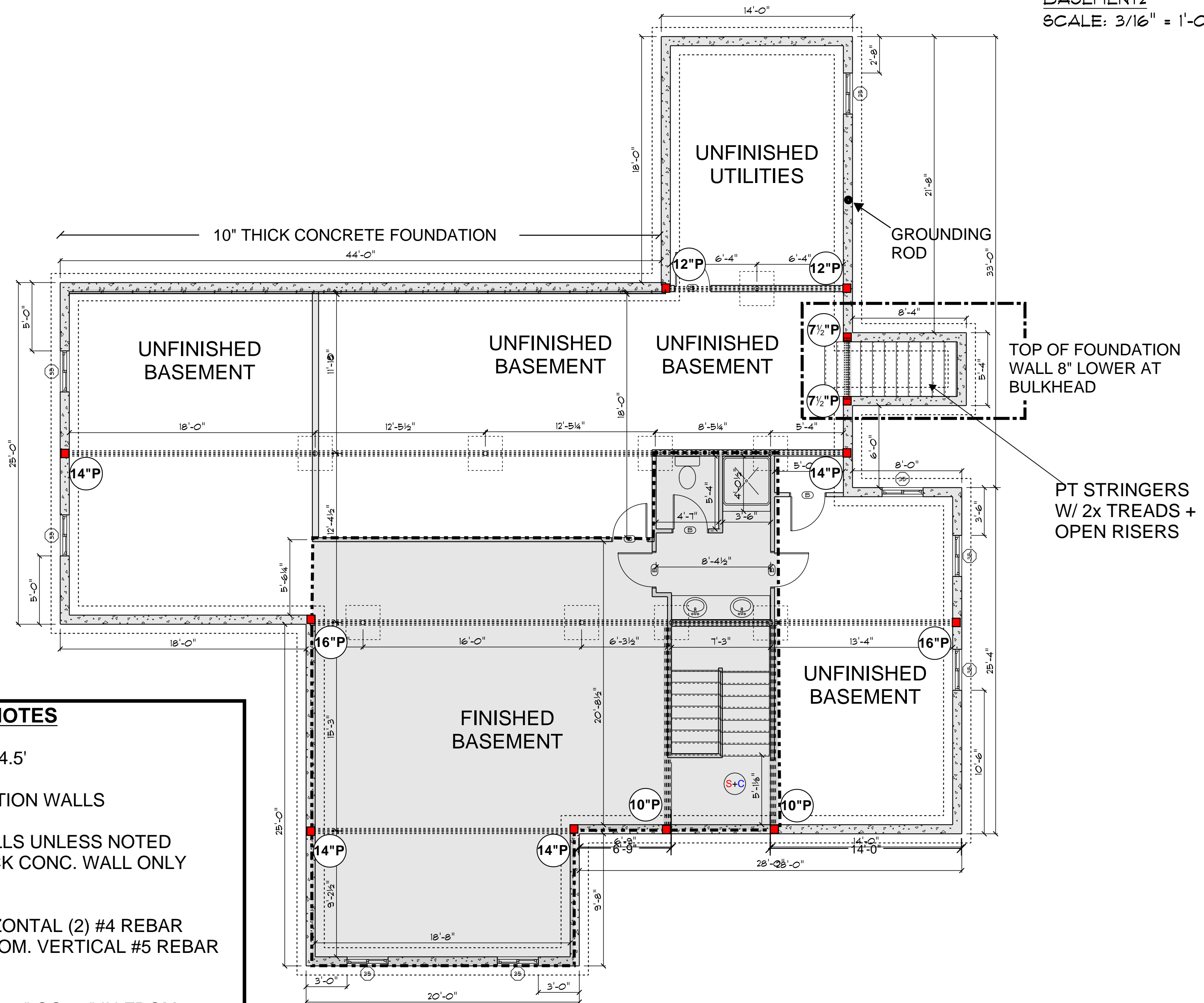
P.O. BOX 1879
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3-15-22

JOB#: 22-051	SHEET
DATE: 03-11-2022	CS1.1
SCALE: NONE	

BASEMENT2
SCALE: 3/16" = 1'-0"



NOTES

- TOP OF WALL EL: 114.5'
- 10'-0" TALL FOUNDATION WALLS
- 8" THICK CONC. WALLS UNLESS NOTED OTHERWISE. 10" THICK CONC. WALL ONLY WHERE NOTED
- WALL REBAR: HORIZONTAL (2) #4 REBAR TOP, MIDDLE, + BOTTOM. VERTICAL #5 REBAR EVERY 2'-0"
- 5/8" ANCHOR BOLTS 32" OC - 6" IN FROM CORNERS
- 8"x16" FTG (TYP) WITH (3) #4 REBAR, 2 LAYERS
- 4" CONC. SLAB

■ (P) - GIRT POCKET DEPTH VARIES

○ - 2'-6" x 2'-6" x 1'-0" (TYP)
- LALLY COLUMN FOOTINGS
WITH (3) #4 REBAR, 2 LAYERS

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MAIN FLOOR
SCALE: 3/16" = 1'-0"

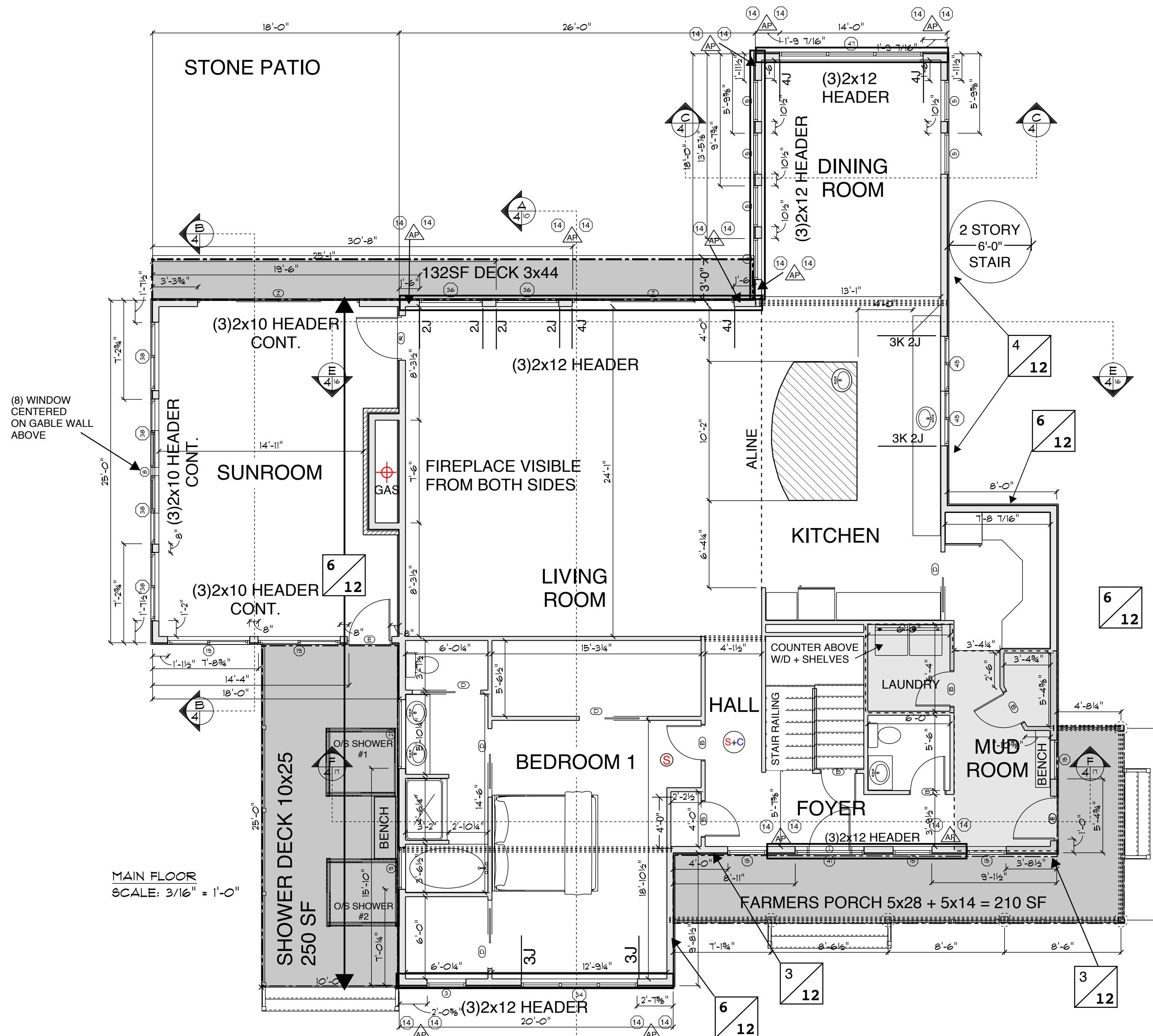


CHECKLIST REVIEW 3-15-22

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ALL EXTERIOR STRUCTURAL
HEADERS TO BE (3) 2x12
UNLESS NOTED

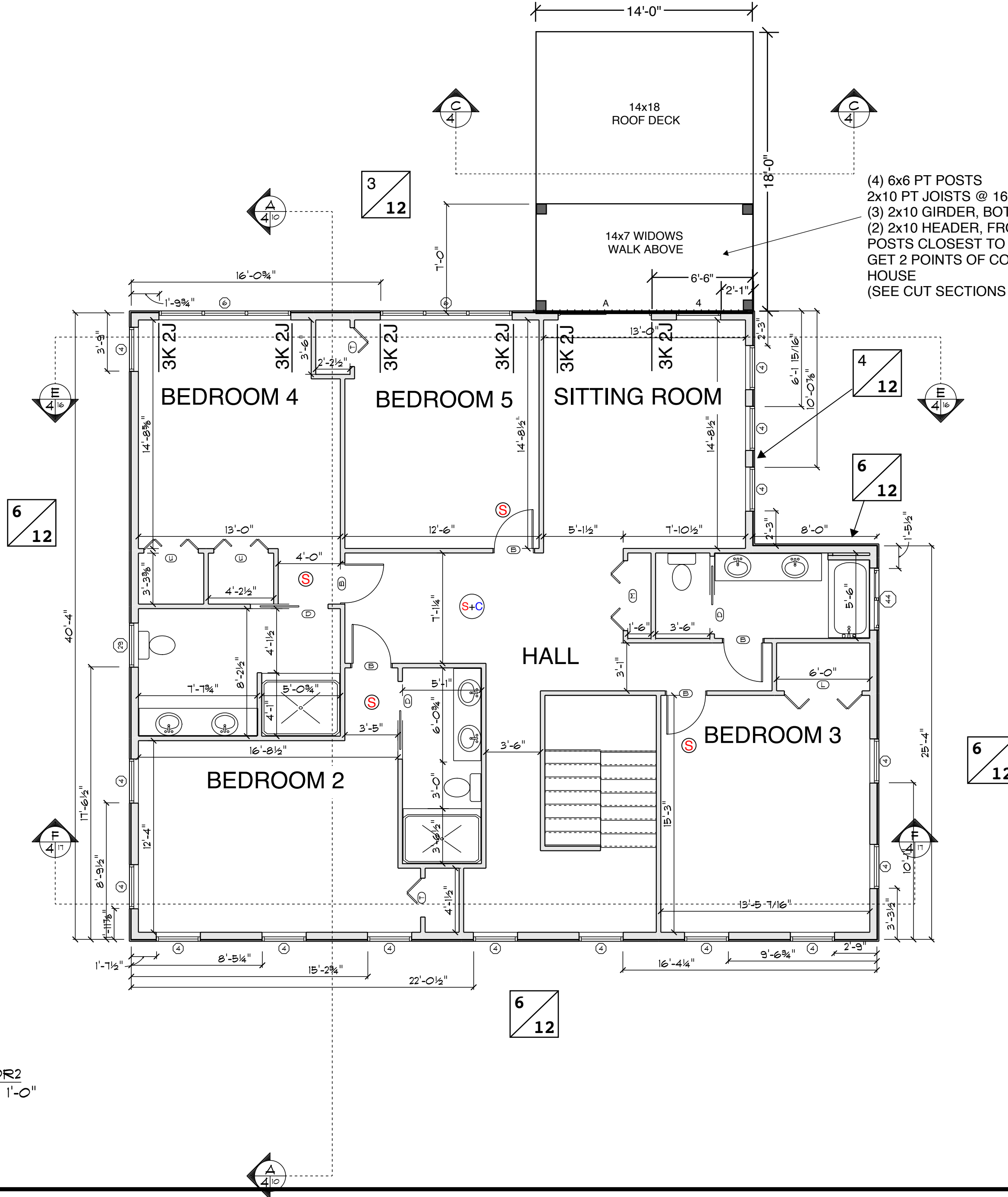
X/12 - SHEATHING EDGE NAILING
12 - SHEATHING FIELD NAILING

XK XJ - # OF KING AND JACK STUDS
AT WALL OPENINGS. USE 2K 1J
IF NOT NOTED OTHERWISE

LIVABLE SPACE SF:
1st FLOOR SF = 2702 SF
2nd FLOOR SF = 1800 SF
TOTAL = 4502 SF

DECKS:
1st FLOOR SF = 592 SF
2nd FLOOR SF = 350 SF
TOTAL = 942 SF

SECOND FLOOR2
SCALE: 3/16" = 1'-0"



CHECKLIST REVIEW 3-15-22

- (4) 6x6 PT POSTS
- 2x10 PT JOISTS @ 16"OC
- (3) 2x10 GIRDER, BOTH SIDES
- (2) 2x10 HEADER, FRONT & BACK
- POSTS CLOSEST TO HOUSE
- GET 2 POINTS OF CONTACT TO HOUSE
- (SEE CUT SECTIONS C AND G FOR DETAILS)

1/2" THREADED ROD
3x3x1/4" PLATE WASHER & NUT
(2)2x10 DECK JOISTS
DTT2Z W/ 1/2" ROD&NUT
PAD OUT TJ1 W/ PLYWOOD ON
BOTH SIDES FOR NAILING.
USE (2)DTT2Z DECK TENSION TIES
TO CONNECT DECK TO HOUSE.

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SCALE: 3/16" = 1'-0"
DRAWN BY: John Ferro
DATE: 2/15/2022

PAGE: 3/14
SECTION LETTER: A
PAGE NUMBERS: 11

<div> <div>BASEMENT</div> <div>FINISH SCHEDULE</div> </div>	<div> <div>FIRST FLOOR</div> <div>FINISH SCHEDULE</div> </div>	<div> <div>SECOND FLOOR</div> <div>FINISH SCHEDULE</div> </div>	<div> <div>PAGE: 4/14</div> <div> <div>SECTION LETTER</div> <div> <div>A</div> <div>1</div> </div> <div>PAGE NUMBERS</div> </div> </div>
<div> <div>PLAYROOM + WORKOUT AREA</div> <div>FLOORS - CARPET + RUBBER</div> <div>FLOOR IN WORKOUT AREA</div> <div>WALLS - SHEETROCK</div> <div>CEILING - SHEETROCK</div> <div>LIGHTS - RECESSED</div> </div> <div> <div>BATH 1</div> <div>FLOORS - TILE</div> <div>WALLS - SHEETROCK</div> <div>CEILING - SHEETROCK</div> <div>LIGHTS - RECESSED + VANITY LIGHTS</div> </div> <div> <div>UNFINISHED BASEMENT</div> <div>FLOORS - CONCRETE SLAB</div> <div>WALLS - CONCRETE</div> <div>CEILING - UNFINISHED</div> <div>LIGHTS - 4' LONG TUBE LIGHTS</div> </div>	<div> <div>SUNROOM:</div> <div>FLOORS - HARD WOOD</div> <div>WALLS - SHEETROCK</div> <div>FIRE PLACE FINISH - STONE</div> <div>CEILING - CATHEDRAL</div> <div>CEILING FINISH - NATURAL WOOD</div> <div>CEILING FAN - YES</div> <div>LIGHTS - RECESSED</div> </div> <div> <div>LIVING ROOM:</div> <div>FLOORS - HARD WOOD</div> <div>WALLS - SHEETROCK</div> <div>FIRE PLACE FINISH - STONE</div> <div>CEILING - SHEETROCK</div> <div>LIGHTS - RECESSED</div> </div> <div> <div>KITCHEN:</div> <div>FLOORS - HARD WOOD</div> <div>WALLS - SHEETROCK, BACKSPLASH TILE + SOFFIT ABOVE WALL CABS (SIZE: TBD)</div> <div>CEILING - SHEETROCK</div> <div>LIGHTS - RECESSED + (2) PENDANT LIGHTS</div> </div> <div> <div>DINING ROOM:</div> <div>FLOORS - HARD WOOD</div> <div>WALLS - SHEETROCK</div> <div>CEILING - SHEETROCK</div> <div>LIGHTS - HANGING FIXTURE</div> </div> <div> <div>BATH 2:</div> <div>FLOORS - TILE</div> <div>WALLS - SHEETROCK + BACKSPLASH TILE</div> <div>CEILING - SHEETROCK</div> <div>LIGHTS - RECESSED + VANITY LIGHTS</div> </div> <div> <div>FOYER:</div> <div>FLOORS - OAK</div> <div>WALLS - SHEETROCK</div> <div>CEILING - SHEETROCK</div> <div>LIGHTS - RECESSED</div> </div> <div> <div>GARAGE:</div> <div>FLOORS - CONCRETE</div> <div>WALLS - SHEETROCK</div> <div>CEILING - SHEETROCK</div> <div>LIGHTS - TBD</div> </div> <div> <div>BEDROOM 1:</div> <div>FLOORS - CARPET</div> <div>WALLS - SHEETROCK</div> <div>CEILING - SHEETROCK</div> <div>CEILING FAN - YES</div> <div>LIGHTS - RECESSED</div> </div> <div> <div>1/2 BATH 1 + W/D ROOM:</div> <div>FLOORS - TILE</div> <div>WALLS - SHEETROCK</div> <div>CEILING - SHEETROCK</div> <div>LIGHTS - RECESSED</div> </div> <div> <div>MUDROOM:</div> <div>FLOORS - TILE</div> <div>WALLS - SHEETROCK</div> <div>CEILING - SHEETROCK</div> <div>LIGHTS - RECESSED</div> </div>	<div> <div>BEDROOMS 2, 3, 4, & 5</div> <div>FLOORS - HARD WOOD</div> <div>WALLS - SHEETROCK</div> <div>CEILING - CATHEDRAL, WOOD BEAMS, SHEETROCK</div> <div>CEILING FAN: YES (1/ea)</div> <div>LIGHTS - RECESSED</div> </div> <div> <div>BATHS 3, 4, & 5</div> <div>FLOORS - TILE</div> <div>WALLS - SHEETROCK</div> <div>CEILING - SHEETROCK</div> <div>LIGHTS - RECESSED + VANITY LIGHTS</div> </div> <div> <div>DECKS + WIDOWS WALK:</div> <div>DECK - HEAT RESISTANT (GREY) COMPOSITE DECKING</div> <div>POSTS - PRESSURE TREATED</div> <div>RAILING - WOOD POST W/ CABLE RAILING</div> </div> <div> <div>SITTING ROOM + HALLWAYS:</div> <div>FLOORS - HARD WOOD</div> <div>WALLS - SHEETROCK</div> <div>CEILING - CATHEDRAL + NATURAL WOOD</div> <div>CEILING FAN: YES</div> <div>LIGHTS - RECESSED</div> </div>	<div> <div>SCALE: 3/16" = 1'-0"</div> <div>DRAWN BY: John Ferro</div> <div>DATE: 2/15/2022</div> </div> <div> <div>PINE KNOLL DEVELOPERS</div> <div> <div>P.O. BOX 1347</div> <div>N. EASTHAM</div> <div>MA 02651</div> </div> <div> <div>Phone: 508-255-8292</div> <div>Fax: 508-255-8292</div> <div>Email: pineknoll123@gmail.com</div> </div> </div> <div> <div>SOFTPLAN</div> <div>ARCHITECTURAL DESIGN SOFTWARE</div> </div> <div> <div>Paul & Amy Holt</div> <div>113 Castle Rd,</div> <div>Truro MA</div> <div>02666</div> </div>

count as 15

WINDOW SCHEDULE						
OPENING ID	PRODUCT CODE	COUNT	LIBRARY NAME	TYPE	R.O. SIZE	
3	TW2852	1	Manufacturer\Andersen\400-Tilt-Wash Double Hung	WINDOW	R.O. 2'-10 1/8" x 3'-4 7/8"	
4	TW2842	16	Manufacturer\Andersen\400-Tilt-Wash Double Hung	WINDOW	R.O. 2'-10 1/8" x 4'-6 7/8"	
5	TW210510	6	Manufacturer\Andersen\400-Tilt-Wash Double Hung	WINDOW	R.O. 3'-0 1/8" x 6'-0 7/8"	
6	TW2842-3	2	Manufacturer\Andersen\400-Tilt-Wash Double Hung	WINDOW	R.O. 8'-6 7/8" x 4'-6 7/8"	
8	CTC3 (Half Round)	1	Manufacturer\Andersen\400-Casement_Awning Picture_Transom Windows	WINDOW	R.O. 6'-0 3/8" x 3'-2 3/4"	
9	PTR3010	1	Manufacturer\Andersen\400-Casement_Awning Picture_Transom Windows	WINDOW	R.O. 3'-0 1/2" x 1'-0 1/2"	
15	TW2852	5	Manufacturer\Andersen\400-Tilt-Wash Double Hung	WINDOW	R.O. 2'-10 1/8" x 5'-4 7/8"	
19	G65 + 1'-6" Transom	2	Manufacturer\Andersen\400-Gliding Windows + 1'-6" Transom	COMBINED UNIT	R.O. 6'-0" x 6'-6 1/8"	
21	PTR5010	1	Manufacturer\Andersen\400-Casement_Awning Picture_Transom Windows	WINDOW	R.O. 5'-0 3/8" x 1'-0 1/2"	
22	FLX 10'x4'	1	Manufacturer\Andersen\400-Flexiframe 10'x4'	WINDOW	R.O. 10'-0 1/2" x 4'-0 5/8"	
29	TW2832	1	Manufacturer\Andersen\400-Tilt-Wash Double Hung	WINDOW	R.O. 2'-10 1/8" x 4'-6 7/8"	
34	TW2852-3	1	Manufacturer\Andersen\400-Tilt-Wash Double Hung	WINDOW	R.O. 8'-6 7/8" x 5'-4 7/8"	
35	36X24 SLIDER	8	Window\Slider	SLIDING WINDOW	R.O. 3'-0" x 2'-0"	
36	DHP56410 + 1'-6" Transom	2	Manufacturer\Andersen\400-Tilt-Wash DH Picture_Transom Windows	COMBINED UNIT	R.O. 5'-7 7/8" x 6'-7"	
38	G55 + 1'-6" Transom	4	Manufacturer\Andersen\400-Gliding Windows + 1'-6" Transom	COMBINED UNIT	R.O. 5'-0" x 6'-6 1/8"	
41	DHT41010 MODIFIED	1	Manufacturer\Andersen\400-Tilt-Wash DH Picture_Transom Windows	WINDOW	R.O. 5'-0" x 2'-0"	
44	G42	1	Manufacturer\Andersen\400-Gliding Windows	SLIDING WINDOW	R.O. 4'-0" x 1'-11"	
45	G43	2	Manufacturer\Andersen\400-Gliding Windows	SLIDING WINDOW	R.O. 4'-0" x 3'-0"	
50	VS606	1	Velux Skylight S606	Skylight	R.O. 44 1/4" x 45 3/4"	

foundation windows

front door transom

DOORS SCHEDULE					
OPENING ID	PRODUCT CODE	COUNT	LIBRARY NAME	TYPE	R.O. SIZE
A	72X80 SLIDING GLASS 2	1	Exterior Door\Patio	SLIDING DOOR	R.O. 6'-0" x 6'-8"
B	30X80 COLONIAL A 1	17	Interior Door\Colonial	DOOR	R.O. 2'-8" x 6'-9"
D	30X80 COLONIAL POCKET 1	8	Interior Door\Pocket	POCKET	R.O. 5'-0" x 6'-8"
E	36X80 COUNTRY A 1 + 1'-6" Transom	2	Exterior Door\Country	COMBINED UNIT	R.O. 3'-3" x 8'-8"
F	36X80 COUNTRY A 1 No Grilles Transom MODIFIED	1	Exterior Door\Country	COMBINED UNIT	R.O. 3'-3" x 8'-8"
I	60X80 LH ENTRY - 2 SL-MODIFIED + 1'-6" Transom	1	Exterior Door\Entry	COMBINED UNIT	R.O. 5'-0" x 6'-9"
L	60X80 BIFOLD COLONIAL 2	1	Interior Door\Bifold	BIFOLD	R.O. 5'-0" x 6'-8"
M	54X80 BIFOLD COLONIAL 2	1	Interior Door\Bifold	BIFOLD	R.O. 4'-6" x 6'-8"
?? R ??	36X80 COUNTRY A 1-No Grilles (2x6 Wall)	1	Exterior Door\Country	DOOR	R.O. 3'-3" x 6'-9"
T	30X80 BIFOLD COLONIAL 1	2	Interior Door\Bifold	BIFOLD	R.O. 2'-6" x 6'-8"
U	42X80 BIFOLD COLONIAL 2	2	Interior Door\Bifold	BIFOLD	R.O. 3'-6" x 6'-8"
Z	FWG120611-4 SAAS + 1'-6" Transom	2	Manufacturer\Andersen\400-Frenchwood Gliding Patio Doors	COMBINED UNIT	R.O. 11'-9" x 8'-8"

PAGE: 5/14

SECTION LETTER

A

11

PAGE NUMBERS

SCALE: As Noted 0"

DRAWN BY: John Ferro

DATE: 2/15/2022

PINE KNOLL DEVELOPERS

P.O.BOX 1347
N. EASTHAM
MA 02651

Phone: 508-255-8292
Fax: 508-255-8292
Email: pineknoll123@gmail.com

SOFTPLAN

ARCHITECTURAL DESIGN SOFTWARE

Paul & Amy Holt

113 Castle Rd,
Truro MA
02666



FRONT ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"



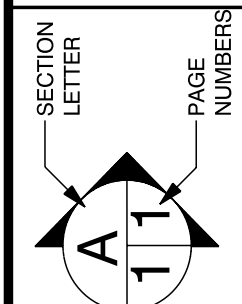
LEFT ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

HOUSE

PAGE: 7/14

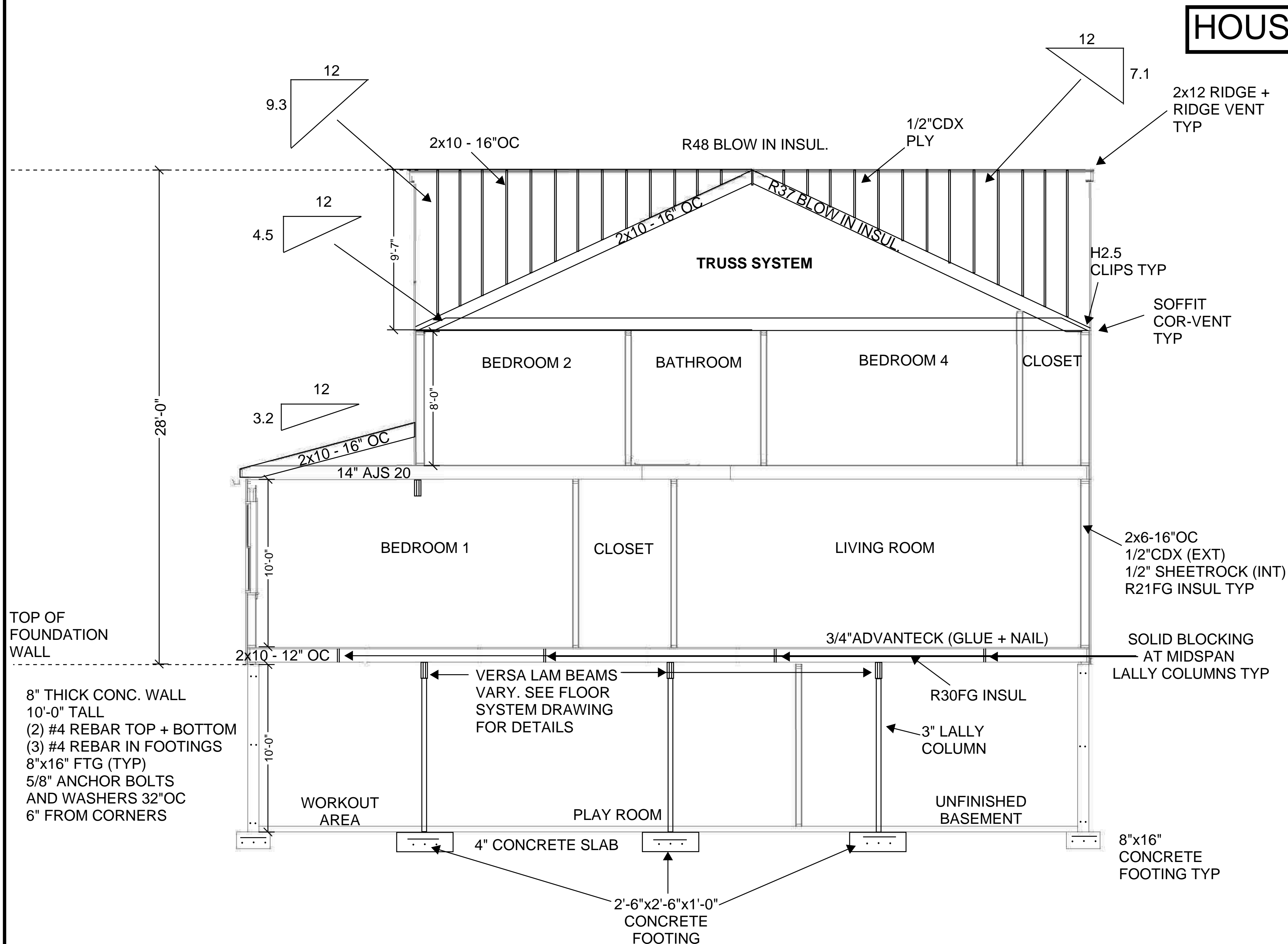


SCALE: 1/4" = 1'-0"
DRAWN BY: John Ferro
DATE: 2/15/2022

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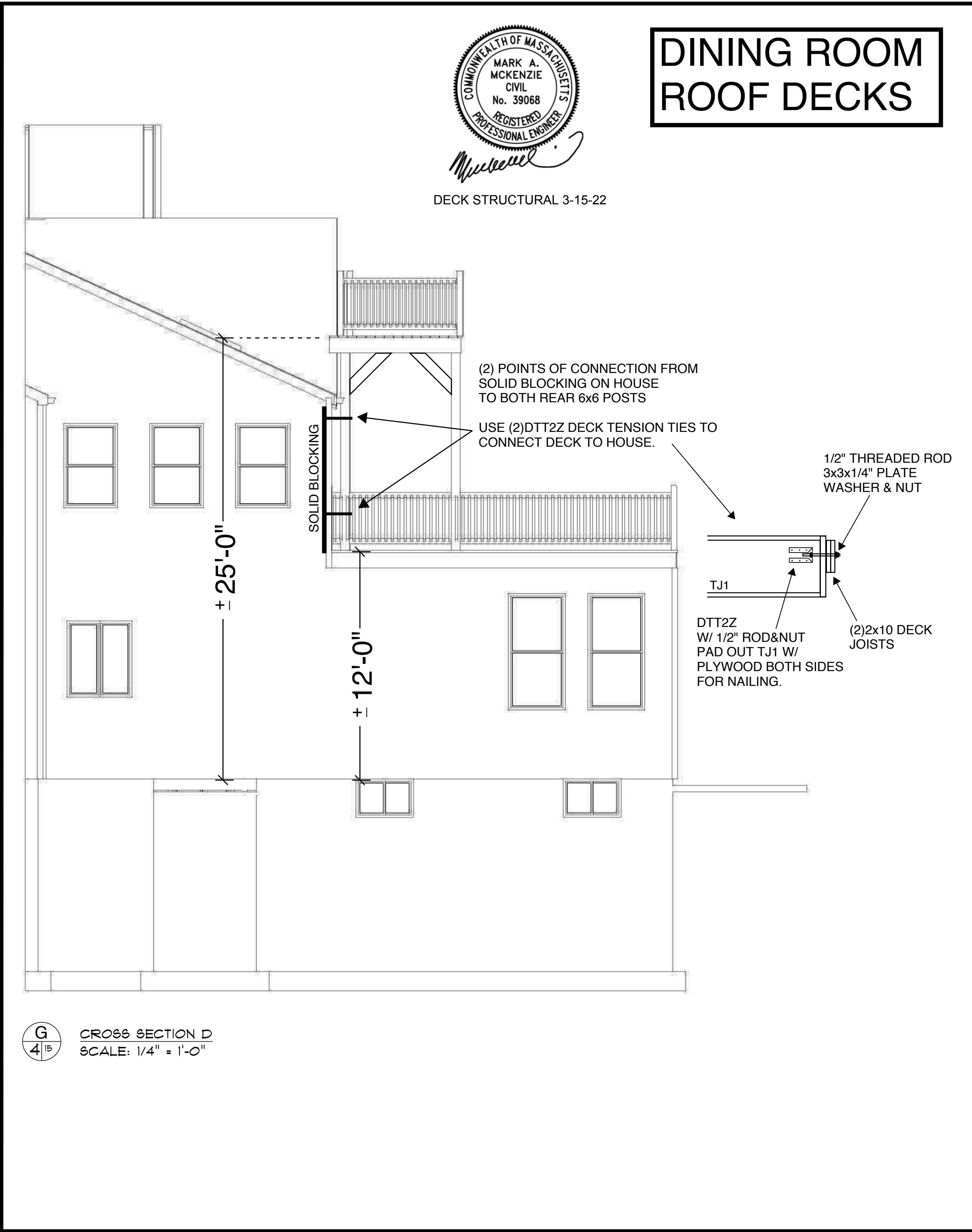
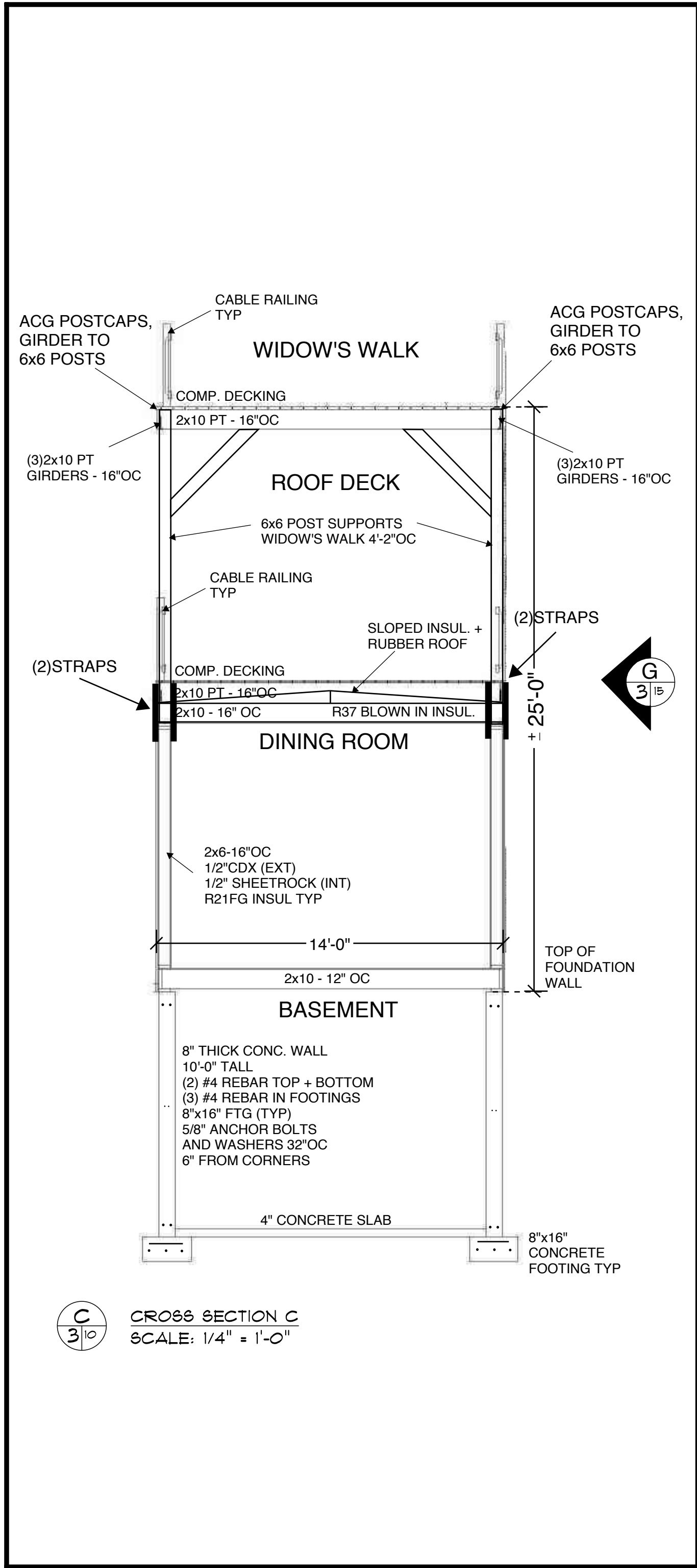
SOFTPLAN
ARCHITECTURAL DESIGN SOFTWARE

Paul & Amy Holt
113 Castle Rd,
Truro MA
02666



CROSS SECTION A

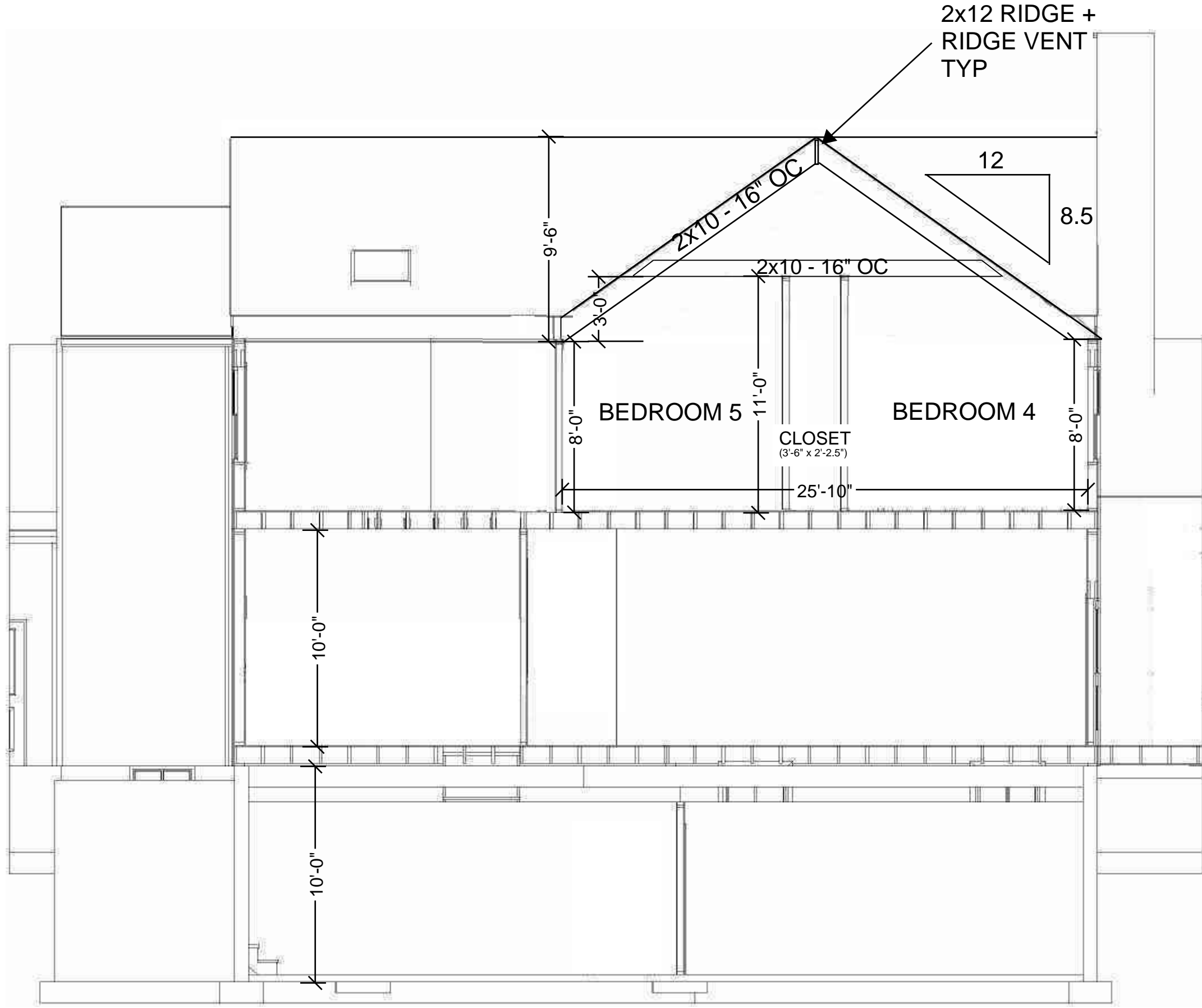
SCALE: 3/8" = 1'-0"



DECK STRUCTURAL 3-15-22

DINING ROOM ROOF DECKS

HOUSE



E
3/16 CROSS SECTION E
SCALE: 1" = 5'-0"

Paul & Amy Holt
113 Castle Rd,
Truro MA
02666

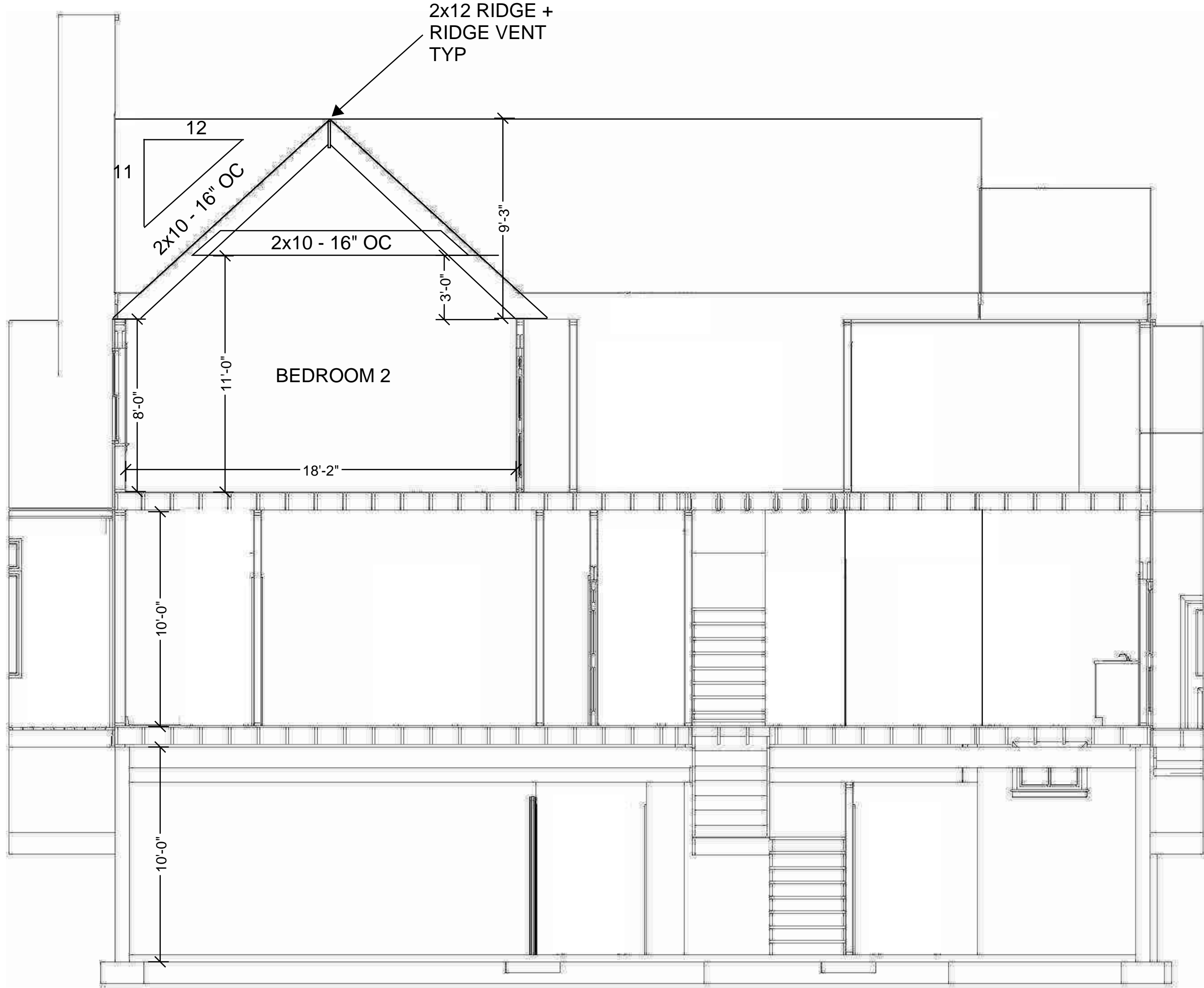
SOFTPLAN
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SCALE: 1" = 5'-0"
DRAWN BY: John Ferro
DATE: 2/15/2022

SECTION
LETTER
A
PAGE
NUMBERS
11

PAGE:
9/14



F
3/17
CROSS SECTION F
SCALE: 1/4" = 1'-0"

SCALE: 1/8" = 1'-0"

SEE ADDITIONAL PAGES
FOR DETAILS

DECK FRAMING 2x8 - 16"OC

DECK FRAMING 2x8 - 16"OC

2x10 - 16"OC

2x10 - 16"OC

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

SEE ADDITIONAL PAGES
FOR DETAILS

PT 2x10 - 16" OC
14x18 ROOF DECK

2x10 - 16"OC

2x10 - 16"OC

2x10 - 16"OC

2x10 - 16"OC

2x10 - 16"OC

2x10 - 16"OC

2x10 - 16"OC

(2) 2x10 ROOF BEAM

(2) 2x10 ROOF BEAM

Paul & Amy Holt
113 Castle Rd,
Truro MA
02666

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SCALE: 1/8" = 1'-0"

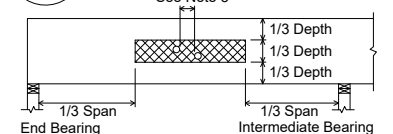
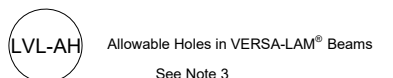
DRAWN BY: John Ferro

DATE: 2/15/2022

A circular logo with a triangle pointing upwards. Inside the circle, the letter 'A' is on the left and '11' is on the right. Two arrows point from the text 'SECTION LETTER' and 'PAGE NUMBERS' to the 'A' and '11' respectively.



SOFTPLAN
ARCHITECTURAL DESIGN SOFTWARE



- NOTES:
1. Square and rectangular holes are NOT permitted.
 2. Round holes may be drilled or cut with a hole saw anywhere within the hatched area of the beam.
 3. The horizontal distance between adjacent holes must be at least two times the diameter of the larger hole.
 4. Do not drill more than three access holes in any four foot long section of beam.
 5. The maximum round hole diameter permitted is:
- | Beam Depth | 5 1/2" | 7 1/4" | 9 1/4" + |
|-----------------------|--------|--------|----------|
| Maximum Hole Diameter | 3/4" | 1" | 2" |
6. These limitations apply to holes drilled for plumbing or wiring access only. The size and location of holes drilled for fasteners are governed by the provisions of the National Design Specification® for Wood Construction.
 7. Beams drilled under load. See notes to provide clearance where required.
 8. This hole chart is valid for beams supporting uniform load only. For beams supporting concentrated loads or for beams with larger holes, contact Boise Cascade EWP Engineering.
- LVL Allowable Holes Diagram



Products				
PlotID	Net Qty	Product	Length	Plies
J16	29	2x10 SPF No.2	16' 0"	1
J14	99	2x10 SPF No.2	14' 0"	1
J12	14	2x10 SPF No.2	12' 0"	1
J10	6	2x10 SPF No.2	10' 0"	1
J5	5	2x10 SPF No.2	5' 0"	1
J1	5	2x10 SPF No.2	1' 0"	1
DB1-2	2	1-3/4" x 7-1/4" VERSA-LAM® 2.0 3100 SP	6' 0"	2
FB1-2	2	1-3/4" x 9-1/2" VERSA-LAM® 2.0 3100 SP	16' 0"	2
FB2-3	3	1-3/4" x 9-1/2" VERSA-LAM® 2.0 3100 SP	16' 0"	3
FB3-2	2	1-3/4" x 9-1/2" VERSA-LAM® 2.0 3100 SP	8' 0"	2
DB2-3	3	1-3/4" x 11-7/8" VERSA-LAM® 2.0 3100 SP	14' 0"	3
DB3-3	3	1-3/4" x 14" VERSA-LAM® 2.0 3100 SP	40' 0"	3
DB4-3	6	1-3/4" x 14" VERSA-LAM® 2.0 3100 SP	20' 0"	3
DB5-3	3	1-3/4" x 16" VERSA-LAM® 2.0 3100 SP	28' 0"	3
DB6-3	3	1-3/4" x 16" VERSA-LAM® 2.0 3100 SP	22' 0"	3
Rim1	13	2x10 SP No.2	12' 0"	1
Rim2	10	2x10 SPF No.2	12' 0"	1
Bk1	1	2x10 SPF No.2	111' 6"	1

Connector Summary			
PlotID	Qty	Manuf	Product
H1	2	Simpson	HHUS410



FIRST FLOOR FRAMING PLAN



Revisions:	By:
1/19/22	KLL



PLANS BASED
ON ARCHITECTURAL
SET DATED Plans Date

NOTE:
ALL MEASUREMENTS
TO BE VERIFIED
IN THE FIELD.

SALES PRESENTATION DRAWING

This placing plan is provided as a courtesy to the Builder. It is intended to indicate product selection and placement. No structural or dimensional check has been made with the design drawings. The user is responsible for verifying the accuracy of spans, loading, product usages, and quantities. This drawing has not been checked by Boise Cascade Engineering

Holt
113 Castle Road
Truro, MA

BC FRAMER
Scale: 1/4" = 1'-0"
Date: 1/14/22
By: KLL
Sheet: 1/2

Paul & Amy Holt
113 Castle Rd,
Truro MA
02666

SOFTPLAN
ARCHITECTURAL DESIGN SOFTWARE

PINE KNOLL DEVELOPERS

P.O.BOX 1347 Phone: 508-255-8292
N. EASTHAM Fax: 508-255-8292
MA 02651 Email: pineknoll123@gmail.com

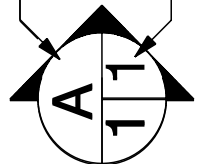
SCALE: 1/8" = 1'-0"

DRAWN BY: John Ferro

DATE: 2/15/2022

PAGE:

SECTION
LETTER



PAGE
NUMBERS

12/14

***** FOR REVIEW *****
VERIFY ALL CHECKED ITEMS PRIOR TO ORDERING

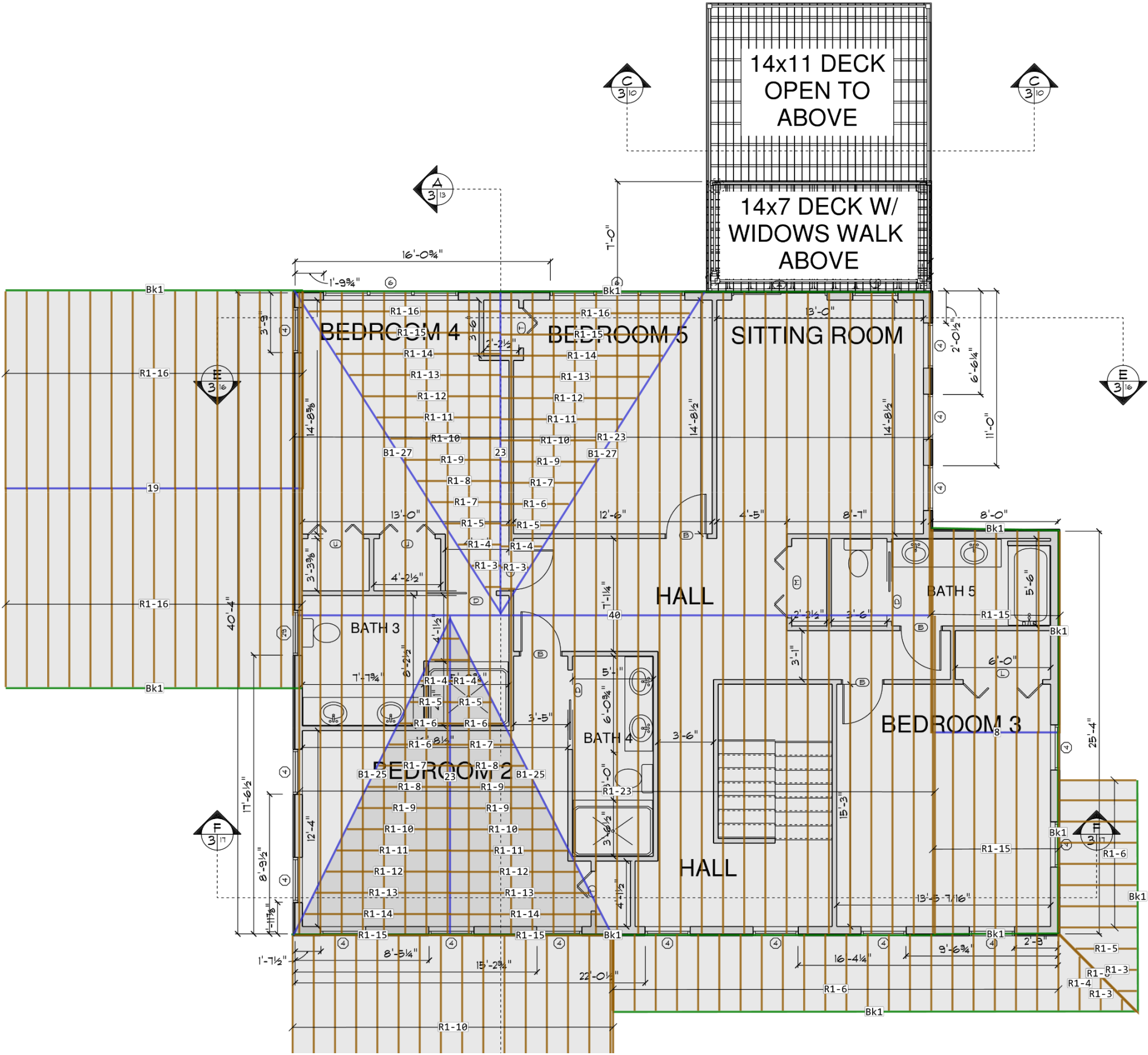
- ☐ Joist depth changed
- ☐ Joist direction changed
- ☐ Joist series changed
- ☐ Joist spacing changed
- ☐ Joist bridging recommended
- ☐ Verify design criteria
- ☐ Note high deflection
- ☐ Connection by others req'd

☐ Beam sizes changed from specification☐ Steel or flitch beams by others required☐ Flush beams deeper than floor joists☐ Verify Post and or column locations☐ Posts added (see notes on plan)☐ Verify joists and beam lengths☐ Critical dimensions have been scaled☐ Verify framing at fireplace☐ Verify framing at stairwell

- ☐ Additional information required to complete joist layout
- ☐ Shop drawing is an estimate only, not for construction
- ☐ Based on truss roof system

Signature: _____ Date: _____

Company: _____



Scale 1/4"=1'0"

Tag	Qty	Product	Len	Cut Logic
R1	63	2x10 SPF #2 & BTR Dry	24'63m(1/23)	
R1	12	2x10 SPF #2 & BTR Dry	20'1x(1/9 1/11)	
R1	2	2x10 SPF #2 & BTR Dry	18'2x(2/9)	
R1	52	2x10 SPF #2 & BTR Dry	16'53m(1/16) 19m(1/15)	
R1	10	2x10 SPF #2 & BTR Dry	14'1x(1/6 1/8) 1x(2/7)	
R1	21	2x10 SPF #2 & BTR Dry	12'14m(2/8) 4x(1/12) 3x(1/11)	
R1	23	2x10 SPF #2 & BTR Dry	10'1x(1/3 1/7) 1x(1/4 1/8) 21x(1/10)	
R1	17	2x10 SPF #2 & BTR Dry	8'4x(1/8) 1x(1/1 1/7) 5x(1/2 1/8) 5x(1/3 1/5) 2x(2/4)	
Ridge		8/2x12 SPF #2 & BTR Dry	16'6/16	
Roof Decking		14'5/8"x8" CDX		
Overframing Valley Pad				
B1	2	2x12 SPF #2 & BTR Dry	24'5x(1/24)	
B1	2	2x12 SPF #2 & BTR Dry	20'2x(1/20)	
Save Blocking		4/2x12 SPF #2 & BTR Dry	8'4x(1/8)	
Bk1		6/2x10 SPF #2 & BTR Dry	16'16/16	

14/14

Holt

113 Castle Road

Truro, Massachusetts 02666

Roof Framing

These placement plans for the products specified were based on the information provided to us. This service is solely for informational purposes and does not constitute a design or engineering assumption. It is not intended to circumvent the need for a design professional as determined by the building codes. The designer of record and/or building frames are responsible for ensuring that the products are compatible with the overall project.

Architectural Date: 1/7/2022

Estimator: KLL

Tracking:

Sheet 1 of 1

EXHIBIT 1

TOWN OF TRURO
APPLICATION FOR A CURB CUT PERMIT

Note: This permit application must be accompanied by a plan. If this permit is being applied for by someone other than the Owner of the property, the owner's signature must appear at the bottom of the application.

Date: 4/7/22

To the Board of Selectmen
24 Town Hall Road
P. O. Box 2030
Truro, MA 02666

Re: **APPLICATION FOR A CURB CUT**

Dear Board Members:

The applicant(s) hereby make application for a curb cut as follows:

Owners Name(s) (Please Print): Paul & Amy Holt

Address: 75 Andrew St. Newton, MA 02461

Phone Number: 617-719-5500

Email Address: amyholt4842@gmail.com

Curb Cut Street Location: 113 Castle Rd. Truro

Affected Town or State road: Castle Rd

Truro Assessor's Map Number: 46 Parcel Number: 398

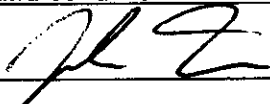
Name of contractor: Pine Knoll Dev.

Contractor Phone Number: 508-255-8292

Contractor Email: pineknoll123@gmail.com

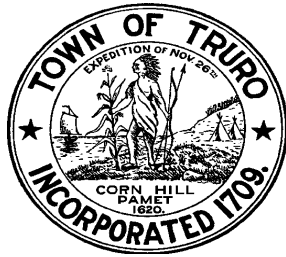
Reason/explanation: New Construction

I/we hereby agree to the terms and conditions as outlined in this policy and attached Exhibits:

Applicant's Signature:  4/7/22

Owner's Signature (if different): _____ Date: _____

Owner's Address (if different): _____



TOWN OF TRURO

P.O. Box 2030, Truro MA 02666
Tel: (508) 349-7004 Fax: (508) 349-5505

POLICY MEMORANDUM #28

Date: Adopted June 6, 2000, revised 9/22/04, 2/28/06, 6/13/06, 10/13/07

Subject: **CURB CUT POLICY**

1. Introduction

Due to the continuing growth in construction activity in Truro and the associated growth in curb cuts, the Board of Selectmen has established the following Curb Cut Policy in order to address inherent safety concerns.

This policy is intended to provide control over access to Town or State owned roads and uniformity of requirements and standards of construction for every curb cut request. Upon inspection by the Director of the Department of Public Works, there may be additional construction requirements imposed for a particular situation, but none that would be contradictory to the Subdivision Control Laws as outlined in MGL Chapter 41, Sections 81K through 81GG, or the Town of Truro Rules and Regulations governing the Subdivision of Land (Rules and Regulations), Sections 3.6.2, 3.6.6, 4, Table 1 and Section 1.5.

2. Policy

Alteration of existing curb cut(s) and/or requests for additional curb cuts off of a Town or State owned road(s) shall cause an applicant to file a Curb Cut Permit (CCP). Any application for a building permit that includes a proposed curb cut on property off a Town or State owned road will first require an approved CCP. The approved CCP must be provided to the Truro Building Commissioner prior to or at the time of requesting a building permit. No such building permit will be issued without an approved CCP. Additionally, a final certificate of occupancy for the construction will not be issued unless the conditions of the CCP have been met.

The Truro Board of Selectmen will refer any Town concerns regarding proposed curb cuts on State owned roads to the Massachusetts Highway Department for consideration.

The curb cut construction requirements of this Policy will be applicable to new construction, existing structures, and renovations thereto.

3. Action

Application for a CCP will be made on approved forms available at Town Hall or the Department of Public Works. A copy of the current (as of this date) CCP application form is attached as Exhibit 1. The applicant for

a CCP, or his/her agent, will be available to the Director of the Department of Public Works and the Chief of Police to enable a site inspection and to answer any questions regarding the CCP application.

The Planning Board approval/sign off is required for approved subdivision roads on Town or State roads and for endorsed Site Plan Review on Town or State roads.

All curb cuts shall be located and constructed in such a manner so as to **preclude**:

- a. Damage to the Town or State road either at the time of construction or in the future;
- b. Drainage from private property onto the Town or State road;
- c. Introduction of sand, soils, or other materials onto the Town or State road; and
- d. Any other potential hazard to public safety as may be identified by the Director of the Department of Public Works and/or the Chief of Police.

All curb cuts will comply with the Town of Truro construction requirements, as noted on the attached information sheet and shown as Exhibit 2; the design standards shown under the Rules and Regulations, Section 2.5.8; the Mass Highway permit requirements as applicable; and/or as required by the Director of the Department of Public Works.

All applications for a curb cut and approval of performance conditions on Town roads shall be subject to review, including a site visit by the Director of the Department of Public Works and the Chief of Police, prior to approval. The Director shall make recommendations on each application, based upon the Town's construction requirements as outlined above, such as location, materials to be used, catch basin(s) location(s), and so forth, if required. All such required construction will be at the applicant's expense. The Chief of Police will review the application site to ascertain that the curb cut will not be detrimental to traffic flow and the public's safety.

Final approval by the Director of the Department of Public Works shall be made only after approval by the Planning Board, if required, after completion of all construction, and after a final inspection by the Director of the Department of Public Works has been made. Final written approval shall become a part of the property records maintained by the Building Commissioner, and shall be completed prior to the issuance of a certificate of occupancy.

The Board of Selectmen may waive any requirements of this policy, at their sole discretion, when such waiver is deemed to be in the best interests of, and at no cost to, the Town of Truro.

4. Enforcement

Failure to comply with this policy shall result in one or more of the following actions:

- a. A refusal to issue a building permit (permit approval) and/or a certificate of occupancy (permit compliance);

- b. A request to Mass Highway for disapproval of the applicant's request for a permit to enter a State Highway; and/or
- c. A penalty of \$300.00 for each violation through the non-criminal disposition process as outlined in the Truro General Bylaws. Each day a violation exists shall be considered a new violation.

2. Process

Following is an outline of the chronological process to be used for conformance to this Policy:

- a. Applicant submits an approved application for a Curb Cut Permit.
- b. Director of the Department of Public Works performs a site visit, attaches his recommendations to the Board of Selectmen, and forwards the completed curb cut application to the Chief of Police.
- c. The Chief of Police performs a site visit; he notes his approval/disapproval of the application based on safety considerations and forwards the application to the Board of Selectmen.
- d. Board of Selectmen approves/disapproves the application w/wo conditions and forwards the results to the applicant. If the application is disapproved, the process starts over again with a revised application reflecting the reason(s) for disapproval.
- e. Upon the approval of the Board of Selectmen, applicants whose curb cut applications are tied to a building permit will proceed as below:
 - 1. Applicant includes the approved Curb Cut Permit to his/her application for a building permit.
 - 2. Construction occurs.
 - 3. Property owner or his/her agent applies for a certificate of occupancy.
 - 4. Director of the Department of Public Works performs a site visit to determine compliance with the conditions of the Curb Cut Permit and informs the Building Commissioner, in writing, that the conditions have or have not been met. If the latter, the applicant will be informed of what actions are required to meet the conditions of the Curb Cut Permit and that they must be completed prior to the issuance of a certificate of occupancy.

Alfred Gaechter, Chairman

Gary Palmer, Vice-Chairman

Christopher R. Lucy, Clerk

Curtis Hartman

Janet W. Worthington
Board of Selectmen
Town of Truro

EXHIBIT 2

TOWN OF TRURO CURB CUT DESIGN AND CONSTRUCTION REQUIREMENTS

General: Any owner of property abutting Town or State roads shall, before beginning any construction, make written application to the Board of Selectmen, in duplicate. The application will be accompanied by a plan showing the following:

1. Complete plans drawn to scale on the property in question, including the location of property lines and all existing driveways, using a scale of no less than 40' = 1".
2. Indication of any drive that is to be altered or closed.

The following additional requirements must be met and agreed upon by the applicant/owner:

1. The applicant must furnish a list of all materials, including any necessary signs, to be part of any construction within the Town or State layout.
2. All work and material shall meet the standards of the Town of Truro and/or the Mass Highway requirements, if applicable.
3. Any alterations to the original application shall require a new permit.
4. All curb cuts and street approaches will be inspected during and after construction, and the Town has the right to stop work until such time as any objectionable conditions are corrected at the applicant/owner's expense.
5. The cost of any/all construction and maintenance of any work to take place within the Town or State layout; all materials and labor; and any work specified and approved by the Board of Selectmen, shall be borne by the applicant/owner, their grantees, successors and assignees.

Design and Construction Requirements:

Driveways should be located to the best advantage with regard to the road alignment, profile, sight distance conditions, road safety, and so forth.

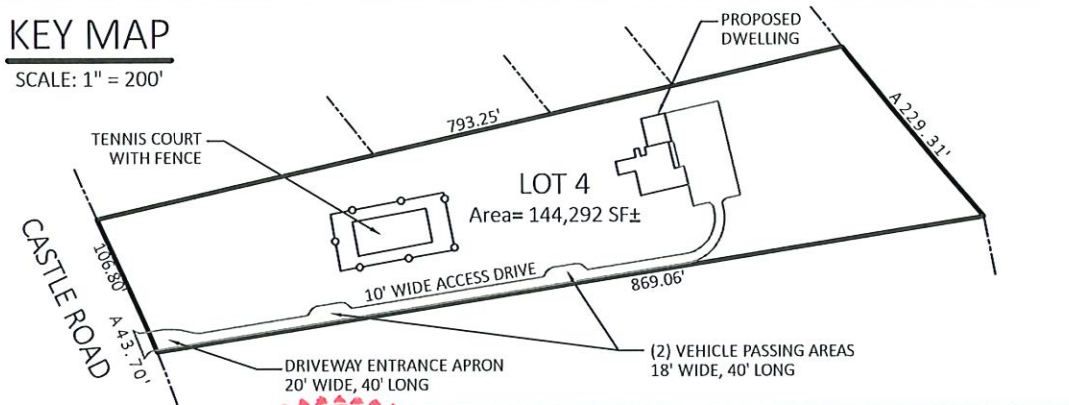
The standards call for not more than one (1) curb cut for any one property. A variance may be granted by the Board of Selectmen, subject to an individual need.

The radius of a private driveway may not extend beyond the private owner's property line without the abutting owner's written consent.

All driveways or private road entrances or exits shall be hot mixed and bermed, oiled, or hardened with such materials to the road/property sideline so as to prevent erosion of such driveway/private road entrance or exit which would cause sand or material to be washed onto Town or State roads. This should be completed as soon as possible, weather permitting.

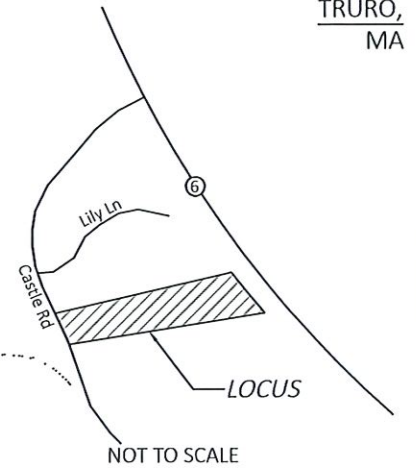
KEY MAP

SCALE: 1" = 200'



ZONING TABLE

RESIDENTIAL DISTRICT		PROPOSED BUILDING HEIGHT CALCULATIONS:
FRONT YARD (STREET) SETBACK	25 FEET	MEAN GROUND LEVEL = (114.0+113.8+112.0+113.8) / 4
SIDE AND REAR YARD SETBACKS	25 FEET	MEAN GROUND LEVEL = 113.4
BUILDING HEIGHT	30 FEET	MAXIMUM ALLOWABLE BUILDING ELEVATION: 113.4 + 30 = 143.4
		PROPOSED BUILDING ELEVATION:
		114.5 (TOF) + 28.0' (BUILDING HEIGHT) = 142.5 < 143.4, OK

TRURO,
MA

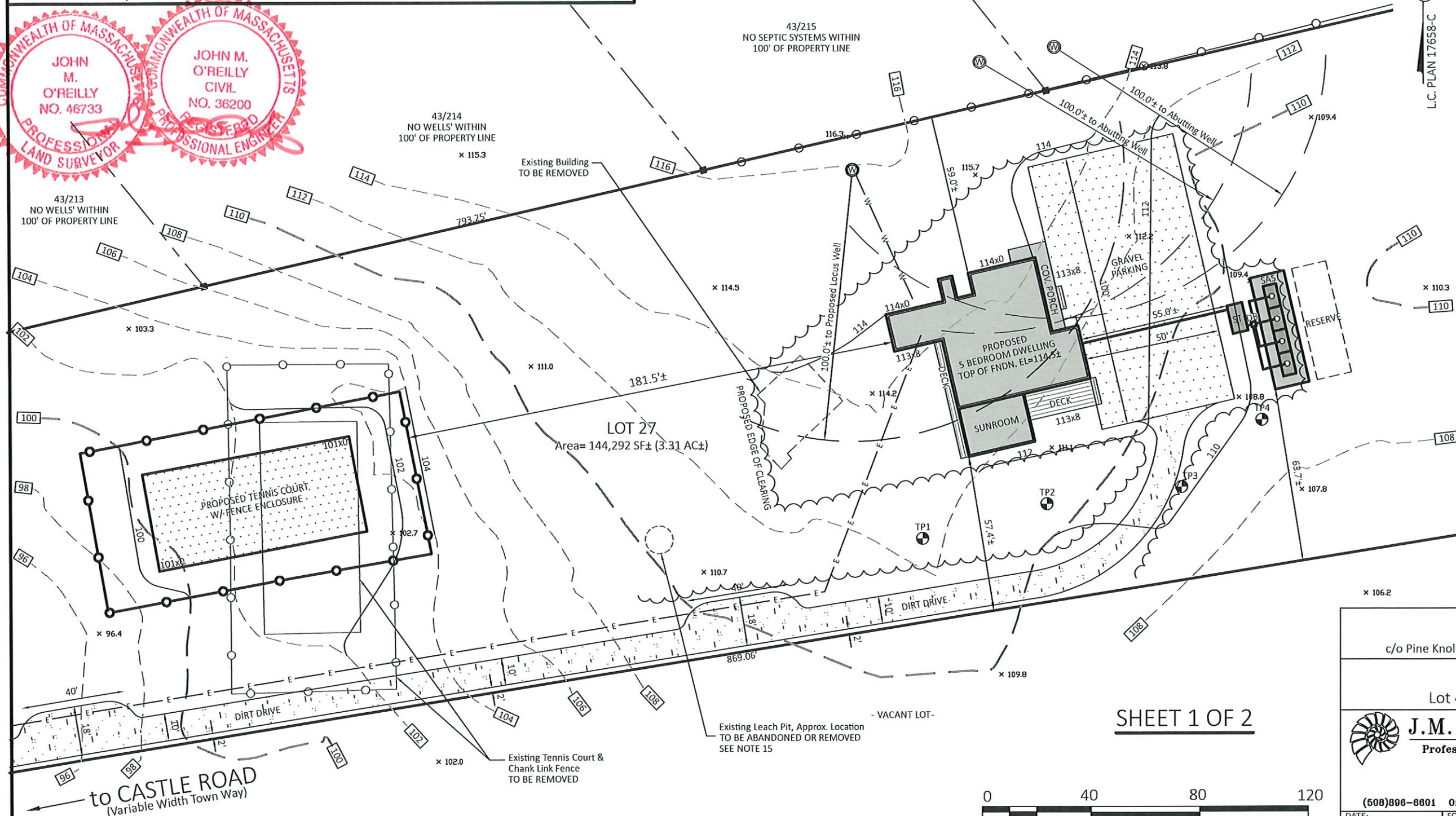
*LAND COURT PLAN PENDING
*CERTIFICATE PENDING
ASSESSORS' MAP 46

PARCEL 1

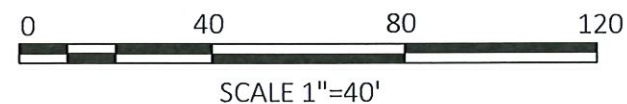
*NOTE: A PLAN TITLED 'PLAN OF LAND #105 CASTLE ROAD TRURO, MA' BY OUTERMOST LAND SURVEY, INC. WHICH SHOWED THE SUBDIVISION OF THIS LOT WAS SUBMITTED TO THE TRURO PLANNING BOARD AS AN APPROVAL NOT REQUIRED PLAN ON 11/09/2021, AND WAS SIGNED BY THE TRURO PLANNING BOARD ON 11/17/2021. THE LAND COURT PLAN AND CERTIFICATE HAVE NOT YET BEEN RECORDED AT THE BARNSTABLE COUNTY REGISTRY OF DEEDS.

LEGEND

---	32	EXISTING CONTOUR
---	32	PROPOSED CONTOUR
X12.34		EXISTING SPOT GRADE
24x5		PROPOSED SPOT GRADE
W		WATER SERVICE LINE
E		UNDERGROUND UTILITY SERVICE
TP		TEST HOLE / BORING LOCATION
ST		SEPTIC TANK
DB		DISTRIBUTION BOX
SAS		SOIL ABSORPTION SYSTEM
Reserve		RESERVED FOR FUTURE
UT		UTILITY POLE
BH		BULKHEAD
S		STEP
W		WELL
■		CONCRETE BOUND, FOUND
○		CHAIN LINK FENCE
---		EDGE OF CLEARING



SHEET 1 OF 2



Amy Holt

c/o Pine Knoll Builders, P.O. Box 1347, N. Eastham, MA 02651

SITE & SEPTIC PLAN
Lot 4, 105 Castle Road, Truro, MA



J.M. O'REILLY & ASSOCIATES, INC.

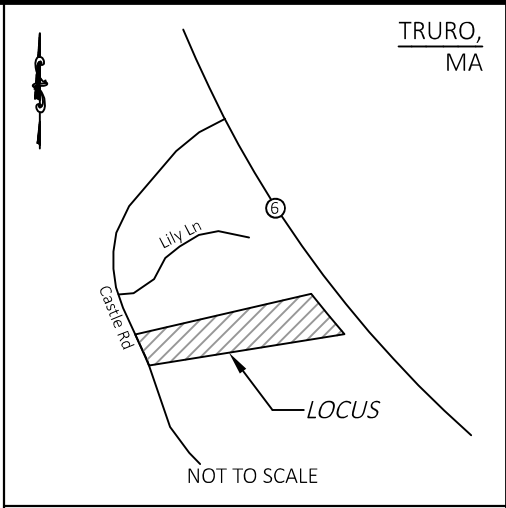
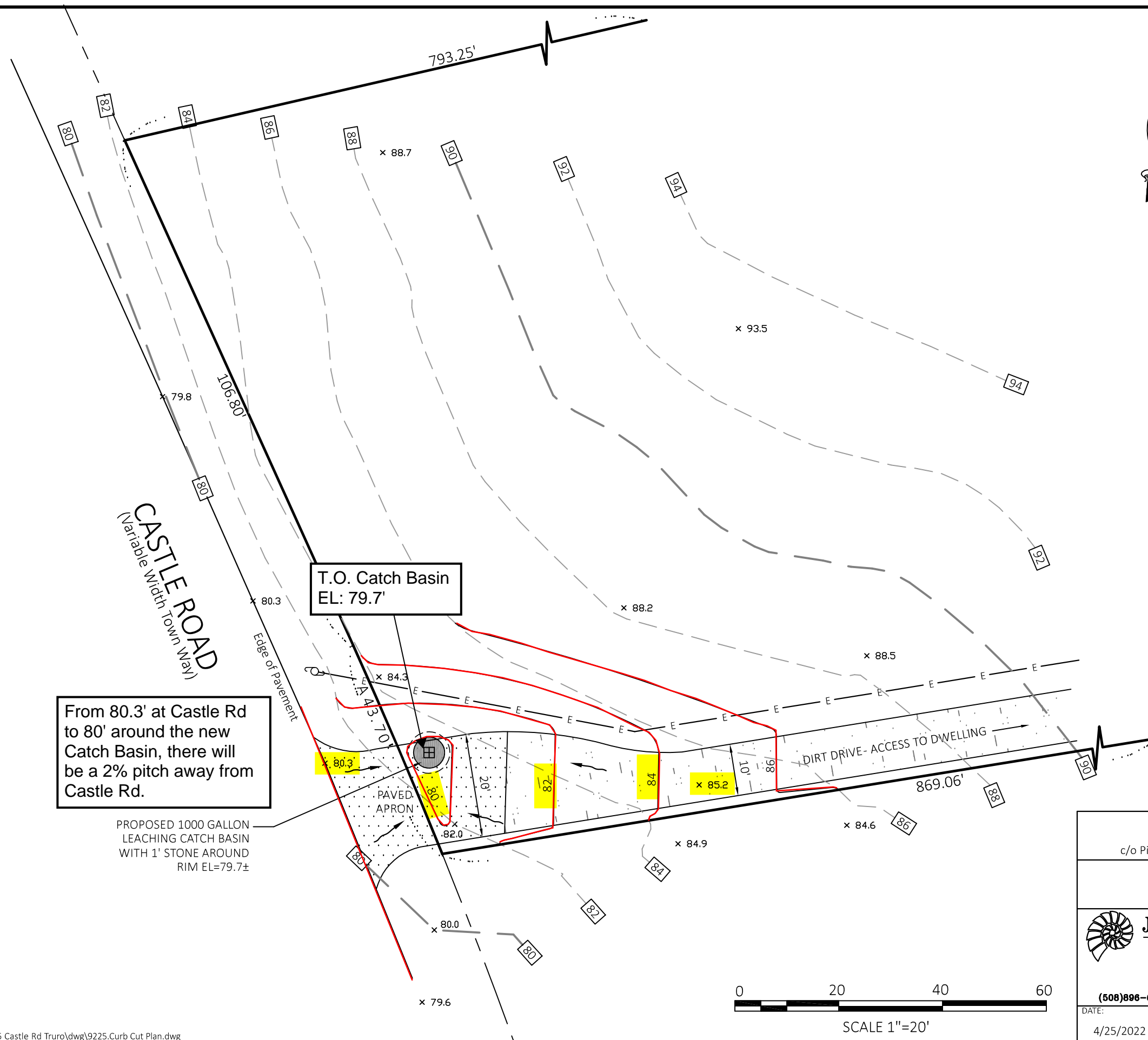
Professional Engineering & Land Surveying Services

1573 Main Street - Route 6A

P.O. Box 1773

(508)898-8801 Office Brewster, MA 02631 (508)898-8802 Fax









DATE:	SCALE:	BY:	CHECK:	JOB NUMBER:
01/25/2022	As Noted	RFR	JMO	JMO-9171



LAND COURT PLAN 17658-I
CERTIFICATE 229034
ASSESSORS' MAP 46

PARCEL 398

LEGEND

- | | |
|---|-----------------------------|
|  | EXISTING CONTOUR |
|  | PROPOSED CONTOUR |
|  | EXISTING SPOT GRADE |
|  | PROPOSED SPOT GRADE |
|  | UNDERGROUND UTILITY SERVICE |
|  | UTILITY POLE |
|  | PROPOSED CATCH BASIN |
|  | STORMWATER FLOW ARROW |

From 80.3' at Castle Rd to 80' around the new Catch Basin, there will be a 2% pitch away from Castle Rd.

T.O. Catch Basin
EL: 79.7'

PROPOSED 1000 GALLON
LEACHING CATCH BASIN
WITH 1' STONE AROUND
RIM EL=79.7±

0 20 40 60

SCALE 1"=20'

G:\AAJobs\Pine Knoll Builders\9225- Lot 4 105 Castle Rd Truro\dwg\9225.Curb Cut Plan.dwg

Planning Board endorsement of this plan indicates only that the plan is not a subdivision under MGL, Chapter 41, Section 81-L and does not indicate that a lot is buildable or that it meets Zoning, Health, or General Bylaw Requirements

Truro Planning Board
APPROVAL under the subdivision
control law NOT REQUIRED

Docket #2021-006/PB

Date of Submission 11/09/21

Date of Endorsement 11/17/21

John R. Brewer
Paul K. Kierian
R. Lawrence

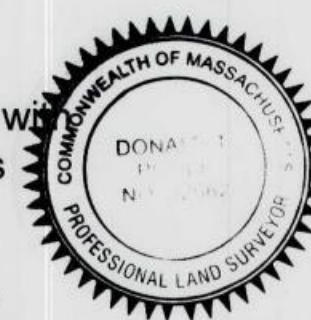


William R. & Patricia Berger
Ctf. # 194,271
Lot 20, LCP 17658-G
Assessor's Map 46, Parcel 389

I certify that this as of the date of this survey the monuments controlling prior plans are in the ground as shown and described hereon. I further certify that any additional monuments shown hereon have been set in accordance with the Land Court Instructions of 2006, as of the date of this survey.

Donald T. Poole PLS #32662

11/24/2021
Date



Total area of Parcel = 490,115± Sq.Ft. or 11.15 Acres
Zoning District = Residential
Minimum Lot Size = 33,750 Sq.Ft.
Minimum Lot Frontage = 150'
Minimum Frontyard Setback = 25'
Minimum Sideyard setback = 25'
Maximum building height = 2 stories; 30'

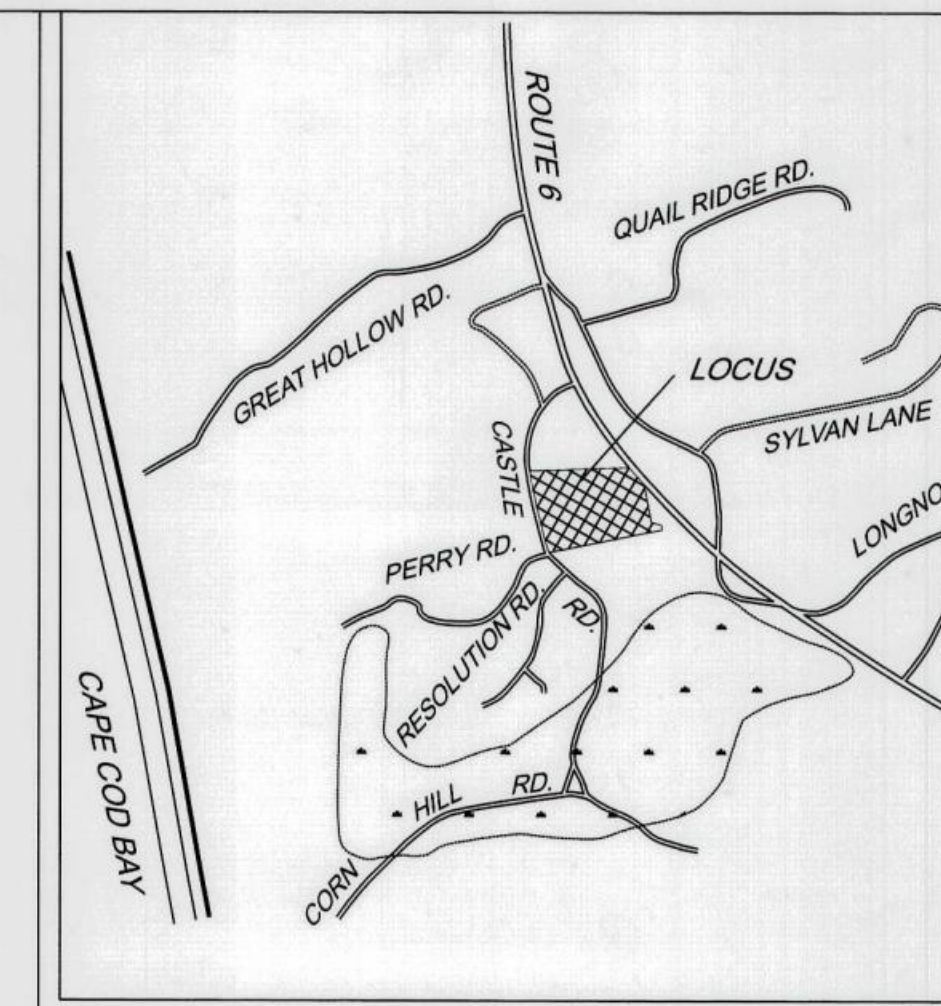
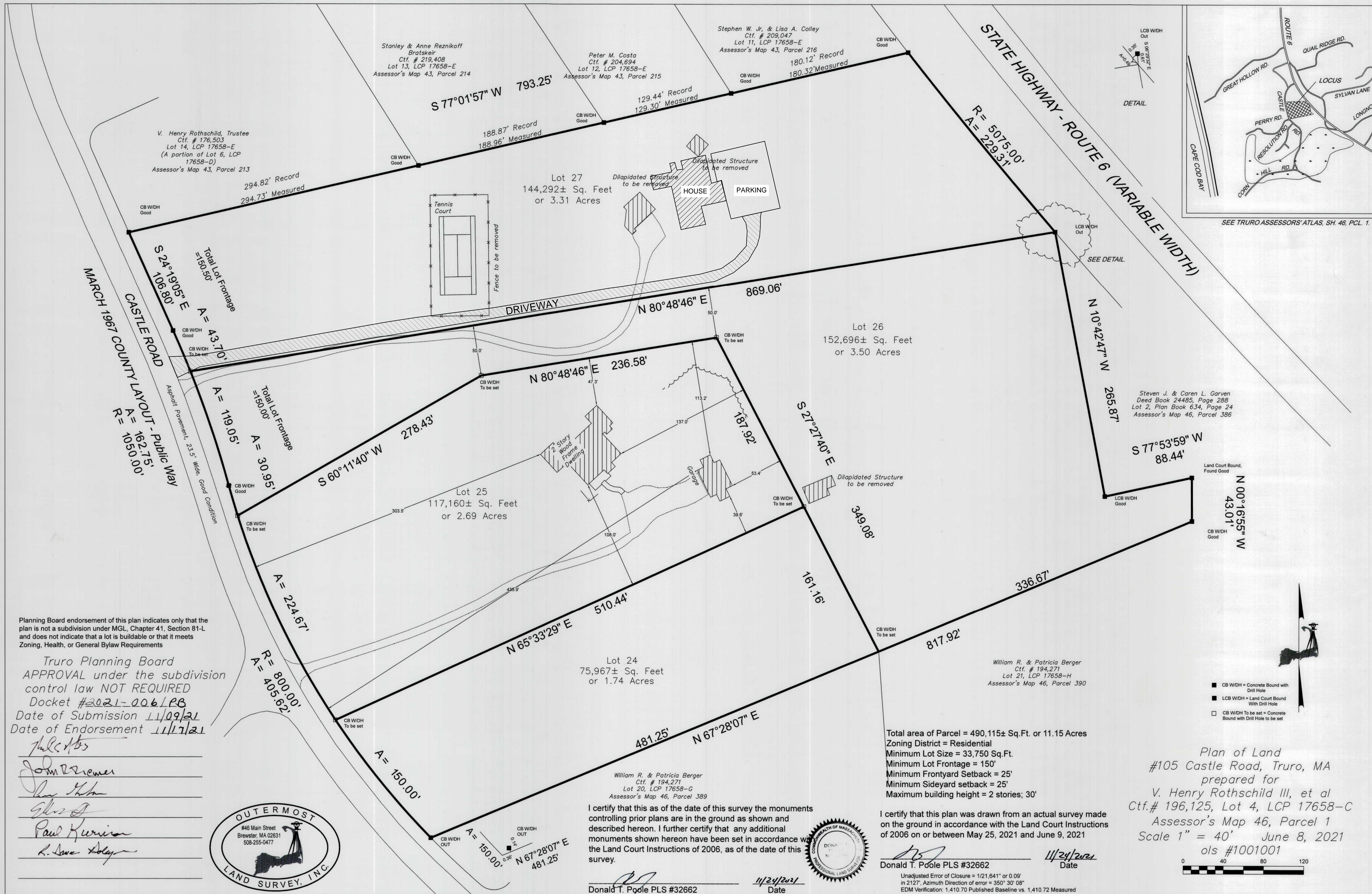
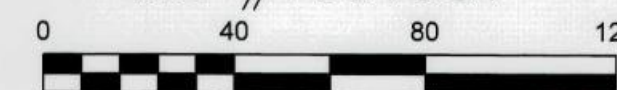
I certify that this plan was drawn from an actual survey made on the ground in accordance with the Land Court Instructions of 2006 on or between May 25, 2021 and June 9, 2021

Donald T. Poole PLS #32662

11/24/2021
Date

Unadjusted Error of Closure = 1/21,641" or 0.09"
in 2127', Azimuth Direction of error = 350° 30' 08"
EDM Verification: 1,410.70 Published Baseline vs. 1,410.72 Measured

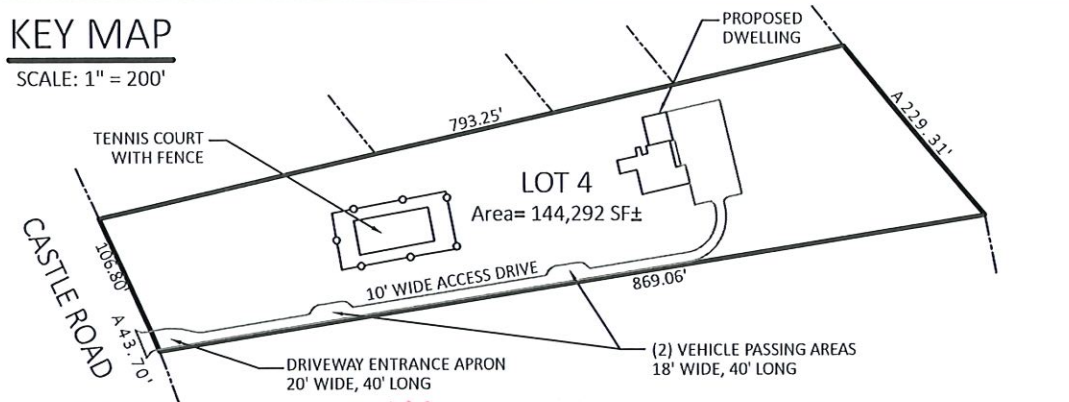
Plan of Land
#105 Castle Road, Truro, MA
prepared for
V. Henry Rothschild III, et al
Ctf. # 196,125, Lot 4, LCP 17658-C
Assessor's Map 46, Parcel 1
Scale 1" = 40' June 8, 2021
ols #1001001



SEE TRURO ASSESSORS' ATLAS, SH. 46, PCL. 1.

KEY MAP

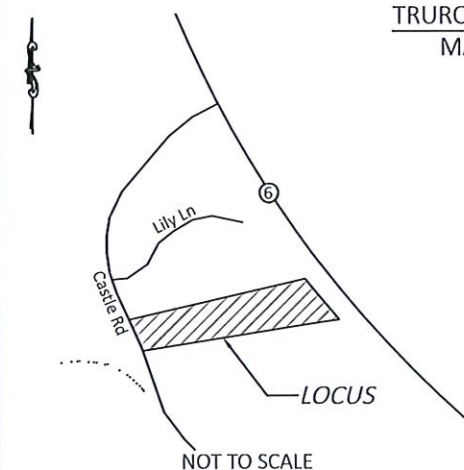
SCALE: 1" = 200'



ZONING TABLE

RESIDENTIAL DISTRICT		PROPOSED BUILDING HEIGHT CALCULATIONS:
FRONT YARD (STREET) SETBACK	25 FEET	MEAN GROUND LEVEL = (114.0+114.0+114.0+114.0) / 4
SIDE AND REAR YARD SETBACKS	25 FEET	MEAN GROUND LEVEL = 114.0
BUILDING HEIGHT	30 FEET	MAXIMUM ALLOWABLE BUILDING ELEVATION: 114.0 + 30 = 144.0
		PROPOSED BUILDING ELEVATION:
		114.5 (TOF) + 29.2' (BUILDING HEIGHT) = 143.7 < 144.0, OK

TRURO,
MA



*LAND COURT PLAN PENDING

*CERTIFICATE PENDING

ASSESSORS' MAP 46

PARCEL 1

*NOTE: A PLAN TITLED 'PLAN OF LAND #105 CASTLE ROAD TRURO, MA' BY OUTERMOST LAND SURVEY, INC. WHICH SHOWED THE SUBDIVISION OF THIS LOT WAS SUBMITTED TO THE TRURO PLANNING BOARD AS AN APPROVAL NOT REQUIRED PLAN ON 11/09/2021, AND WAS SIGNED BY THE TRURO PLANNING BOARD ON 11/17/2021. THE LAND COURT PLAN AND CERTIFICATE HAVE NOT YET BEEN RECORDED AT THE BARNSTABLE COUNTY REGISTRY OF DEEDS.

LEGEND

---	32	EXISTING CONTOUR
---	32	PROPOSED CONTOUR
X12.34		EXISTING SPOT GRADE
24x5		PROPOSED SPOT GRADE
W		WATER SERVICE LINE
E		UNDERGROUND UTILITY SERVICE
TP		TEST HOLE / BORING LOCATION
ST		SEPTIC TANK
DB		DISTRIBUTION BOX
SAS		SOIL ABSORPTION SYSTEM
Reserve		RESERVED FOR FUTURE
UT		UTILITY POLE
BH		BULKHEAD
S		STEP
W		WELL
■		CONCRETE BOUND, FOUND
—○—		CHAIN LINK FENCE
~~~~~		EDGE OF CLEARING

Revised 4/22/2024: Adjusted building height calcs & proposed grades.

Amy Holt

c/o Pine Knoll Builders, P.O. Box 1347, N. Eastham, MA 02651

SITE & SEPTIC PLAN

Lot 4, 105 Castle Road, Truro, MA



**J.M. O'REILLY & ASSOCIATES, INC.**

Professional Engineering & Land Surveying Services

1573 Main Street - Route 6A

P.O. Box 1773

(508)898-6801 Office Brewster, MA 02631 (508)898-6802 Fax

DATE:	SCALE:	BY:	CHECK:	JOB NUMBER:
01/19/2022	As Noted	RFR	JMO	JMO-9171

SHEET 1 OF 2

0 40 80 120

SCALE 1"=40'



GENERAL NOTES:

- A.) NEITHER DRIVEWAYS NOR PARKING AREAS ARE ALLOWED OVER SEPTIC SYSTEM UNLESS H-20 COMPONENTS ARE USED.
- B.) THE DESIGNER WILL NOT BE RESPONSIBLE FOR THE SYSTEM AS DESIGNED UNLESS CONSTRUCTED AS SHOWN. ANY CHANGES SHALL BE APPROVED IN WRITING.
- C.) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO COMMENCEMENT OF WORK.

CONSTRUCTION NOTES:

- 1.) ALL CONSTRUCTION SHALL CONFORM TO THE STATE ENVIRONMENTAL CODE, TITLE 5, AND THE REQUIREMENTS OF THE LOCAL BOARD OF HEALTH.
- 2.) SEPTIC TANK(S), GREASE TRAP(S), DOSING CHAMBER(S) AND DISTRIBUTION BOX(ES) SHALL BE SET ON A LEVEL STABLE BASE WHICH HAS BEEN MECHANICALLY COMPACTED, OR ON A 6 INCH CRUSHED STONE BASE.
- 3.) SEPTIC TANK(S) SHALL MEET ASTM STANDARD C1127-93 AND SHALL HAVE AT LEAST THREE 20" DIAMETER MANHOLES. THE MINIMUM DEPTH FROM THE BOTTOM OF THE SEPTIC TANK TO THE FLOW LINE SHALL BE 48".
- 4.) SCHEDULE 40 PVC INLET AND OUTLET TEES SHALL EXTEND A MINIMUM OF 6" ABOVE THE FLOW LINE OF THE SEPTIC TANK AND SHALL BE INSTALLED ON THE CENTERLINE OF THE TANK DIRECTLY UNDER THE CLEANOUT MANHOLE.
- 5.) RAISE COVERS OF THE SEPTIC TANK AND DISTRIBUTION BOX WITH PRECAST CONCRETE WATER TIGHT RISERS OVER INLET AND OUTLET TEES TO WITHIN 6" OF FINISH GRADE, OR AS APPROVED BY THE LOCAL BOARD OF HEALTH AGENT.
- 6.) PIPING SHALL CONSIST OF 4" SCHEDULE 40 PVC OR EQUIVALENT. PIPE SHALL BE LAID ON A MINIMUM CONTINUOUS GRADE OF NOT LESS THAN 1%.
- 7.) DISTRIBUTION LINES FOR SOIL ABSORPTION SYSTEM (AS REQUIRED) SHALL BE 4" DIAMETER SCHEDULE 40 PVC LAID AT 0.005 FT/FT. LINE SHALL BE CAPPED AT END OR AS NOTED.
- 8.) OUTLET PIPES FROM DISTRIBUTION BOX SHALL REMAIN LEVEL FOR AT LEAST 2' BEFORE PITCHING TO SOIL ABSORPTION SYSTEM. WATER TEST DISTRIBUTION BOX TO ASSURE EVEN DISTRIBUTION.
- 9.) DISTRIBUTION BOX SHALL HAVE A MINIMUM SUMP OF 6" MEASURED BELOW THE OUTLET INVERT.
- 10.) BASE AGGREGATE FOR THE LEACHING FACILITY SHALL CONSIST OF 3/4" TO 1-1/2" DOUBLE WASHED STONE FREE OF IRON, FINES AND DUST AND SHALL BE INSTALLED BELOW THE CROWN OF THE DISTRIBUTION LINE TO THE BOTTOM OF THE SOIL ABSORPTION SYSTEM. BASE AGGREGATE SHALL BE COVERED WITH A 2" LAYER OF 1/8" TO 1/2" DOUBLE WASHED STONE FREE OF IRON, FINES AND DUST.
- 11.) VENT SOIL ABSORPTION SYSTEM WHEN DISTRIBUTION LINES EXCEED 50 FEET; WHEN LOCATED EITHER IN WHOLE OR IN PART UNDER DRIVEWAYS, PARKING AREAS, TURNING AREAS OR OTHER IMPERVIOUS MATERIAL; OR WHEN PRESSURE DOSED.
- 12.) SOIL ABSORPTION SYSTEM SHALL BE COVERED WITH A MINIMUM OF 9" OF CLEAN MEDIUM SAND (EXCLUDING TOPSOIL).
- 13.) FINISH GRADE SHALL BE A MAXIMUM OF 36" OVER THE TOP OF ALL SYSTEM COMPONENTS, INCLUDING THE SEPTIC TANK, DISTRIBUTION BOX, DOSING CHAMBER AND SOIL ABSORPTION SYSTEM. SEPTIC TANKS SHALL HAVE A MINIMUM COVER OF 9".
- 14.) FROM THE DATE OF INSTALLATION OF THE SOIL ABSORPTION SYSTEM UNTIL RECEIPT OF A CERTIFICATE OF COMPLIANCE, THE PERIMETER OF THE SOIL ABSORPTION SYSTEM SHALL BE STAKED AND FLAGGED TO PREVENT THE USE OF SUCH AREA FOR ALL ACTIVITIES THAT MIGHT DAMAGE THE SYSTEM.

- 15.) EXISTING CESSPOOL(S) TO BE REMOVED OR ABANDONED IN PLACE IN ACCORDANCE WITH 310 CMR 15.354. CESSPOOL AND ANY CONTAMINATED SOIL WITHIN 5' OF THE PROPOSED SOIL ABSORPTION SYSTEM SHALL BE REMOVED AND REPLACED WITH CLEAN SAND. AREA TO BE COMPACTED TO MINIMIZE SETTLING.
- 16.) INSTALLER SHALL VERIFY BUILDING SEWER INVERT ELEVATION PRIOR TO INSTALLATION OF ANY SEPTIC SYSTEM COMPONENTS.

SYSTEM DESIGN CALCULATIONS:

SEWAGE DESIGN FLOW:  
5 BEDROOM DWELLING @ 110 GPD = 550 GPD

LEACHING CAPACITY REQUIRED:  
5 BEDROOMS (MAX.) @ 110 GPD = 550 GPD REQUIRED

SEPTIC TANK CAPACITY REQUIRED:  
DAILY FLOW = 550 GPD @ 200% = 1,100 GAL. REQUIRED

SEPTIC TANK CAPACITY PROVIDED:  
1500 GALLON SEPTIC TANK (MIN. ALLOWED)

LEACHING CAPACITY PROVIDED:  
ONE (1) 42.0' X 12.83' X 2.0' LEACHING CHAMBER CAN LEACH:  
 $V_L = [(42.0 \times 12.83) + (42.0 \times 2.0)2 + (12.83 \times 2.0)2] \times 0.74 \text{ GPD/SF} = 561.05 \text{ GPD}$   
561 GPD > 550 GPD REQUIRED

NOTE: A GARBAGE DISPOSAL IS NOT PERMITTED WITH THIS DESIGN.

INSTALL:  
ONE (1)- 1500 GALLON SEPTIC TANK  
ONE (1)- 6 OUTLET DISTRIBUTION BOX (H-20 RATED)  
FOUR (4)- 500 GALLON LEACH CHAMBERS WITH 4' OF STONE ALL AROUND

SOIL TEST LOGS:

TEST HOLE 1: EL=112.2±					
DEPTH FROM SURFACE (INCHES)	SOIL HORIZON	SOIL TEXTURE (USDA)	SOIL COLOR (MUNSELL)	SOIL MOTTLING	OTHER
0-9	A	Loamy Sand	10YR3/2	NONE	
9-21	B	Loamy Sand	10YR7/6	NONE	
21-156	C1	Medium-Coarse Sand	10YR6/4	NONE	PERC @ 39"; <2 MIN/IN

TEST HOLE 2: EL=110.4±					
DEPTH FROM SURFACE (INCHES)	SOIL HORIZON	SOIL TEXTURE (USDA)	SOIL COLOR (MUNSELL)	SOIL MOTTLING	OTHER
0-10	A	Loamy Sand	10YR3/2	NONE	
10-28	B	Loamy Sand	10YR7/6	NONE	
28-120	C1	Medium-Coarse Sand	10YR6/4	NONE	

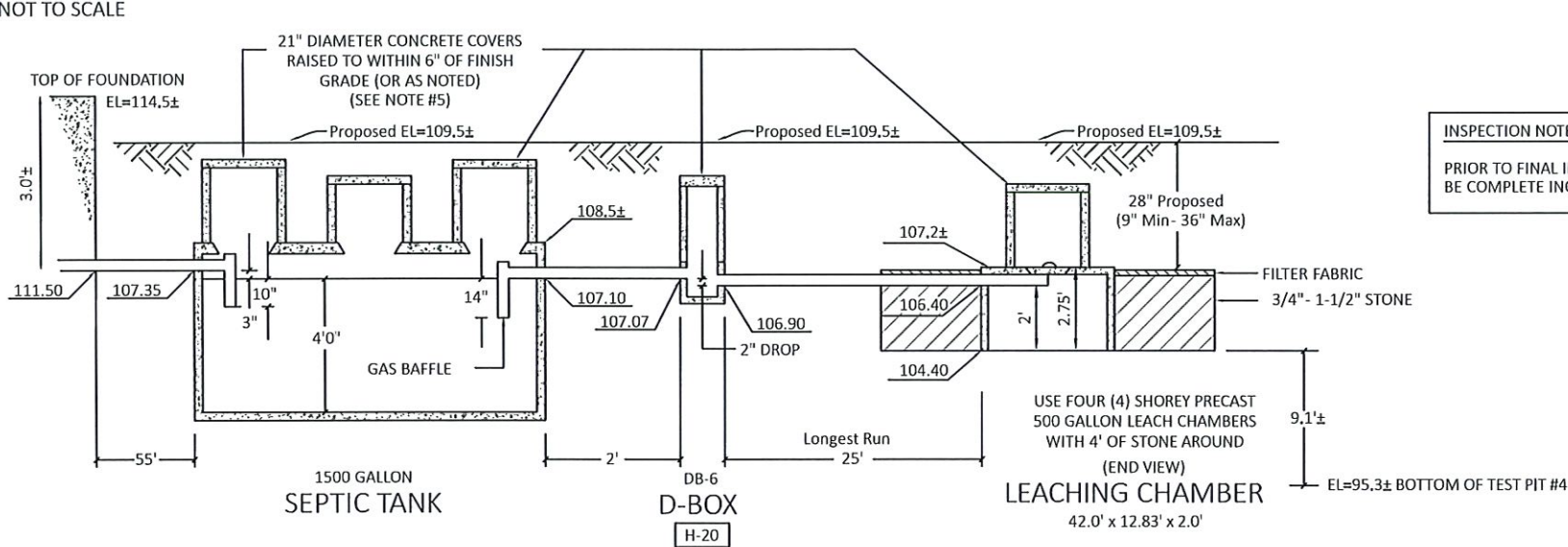
DATE OF TESTING: 11/30/2021  
PERCOLATION RATE: LESS THAN 2 MIN/INCH IN 'C1' LAYER.  
WITNESSED BY: ROBERT REEDY, P.E., J.M. O'REILLY & ASSOCIATES, INC.  
AROZANA DAVIS, TRURO HEALTH DEPARTMENT

NO WATER ENCOUNTERED  
USE A LOADING RATE OF 0.74 GPD/SF FOR SIZING OF SOIL ABSORPTION SYSTEM.

TEST HOLE 3: EL=109.2±					
DEPTH FROM SURFACE (INCHES)	SOIL HORIZON	SOIL TEXTURE (USDA)	SOIL COLOR (MUNSELL)	SOIL MOTTLING	OTHER
0-10	A	Loamy Sand	10YR3/2	NONE	
10-28	B	Loamy Sand	10YR7/6	NONE	
28-127	C1	Medium-Coarse Sand	10YR6/4	NONE	PERC @ 46"; <2 MIN/IN

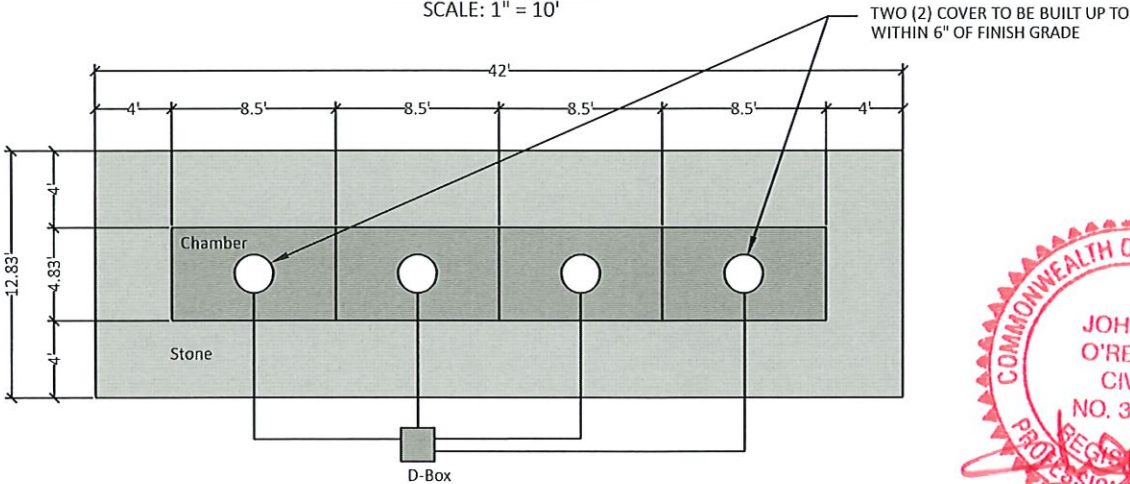
TEST HOLE 4: EL=108.6±					
DEPTH FROM SURFACE (INCHES)	SOIL HORIZON	SOIL TEXTURE (USDA)	SOIL COLOR (MUNSELL)	SOIL MOTTLING	OTHER
0-9	A	Loamy Sand	10YR3/2	NONE	
9-24	B	Loamy Sand	10YR7/6	NONE	
24-160	C1	Medium-Coarse Sand	10YR6/4	NONE	

FLOW PROFILE:  
NOT TO SCALE



INSPECTION NOTE:  
PRIOR TO FINAL INSPECTION BY THE ENGINEER, SYSTEM NEEDS TO BE COMPLETE INCLUDING BUILDUP FOR COVERS.

SAS DETAIL:  
SCALE: 1" = 10'



SHEET 2 OF 2

Amy Holt  
c/o Pine Knoll Builders, P.O. Box 1347, N. Eastham, MA 02651

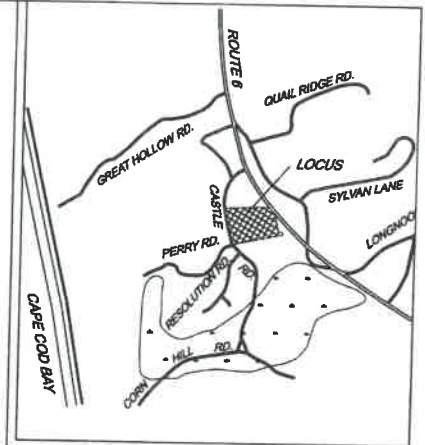
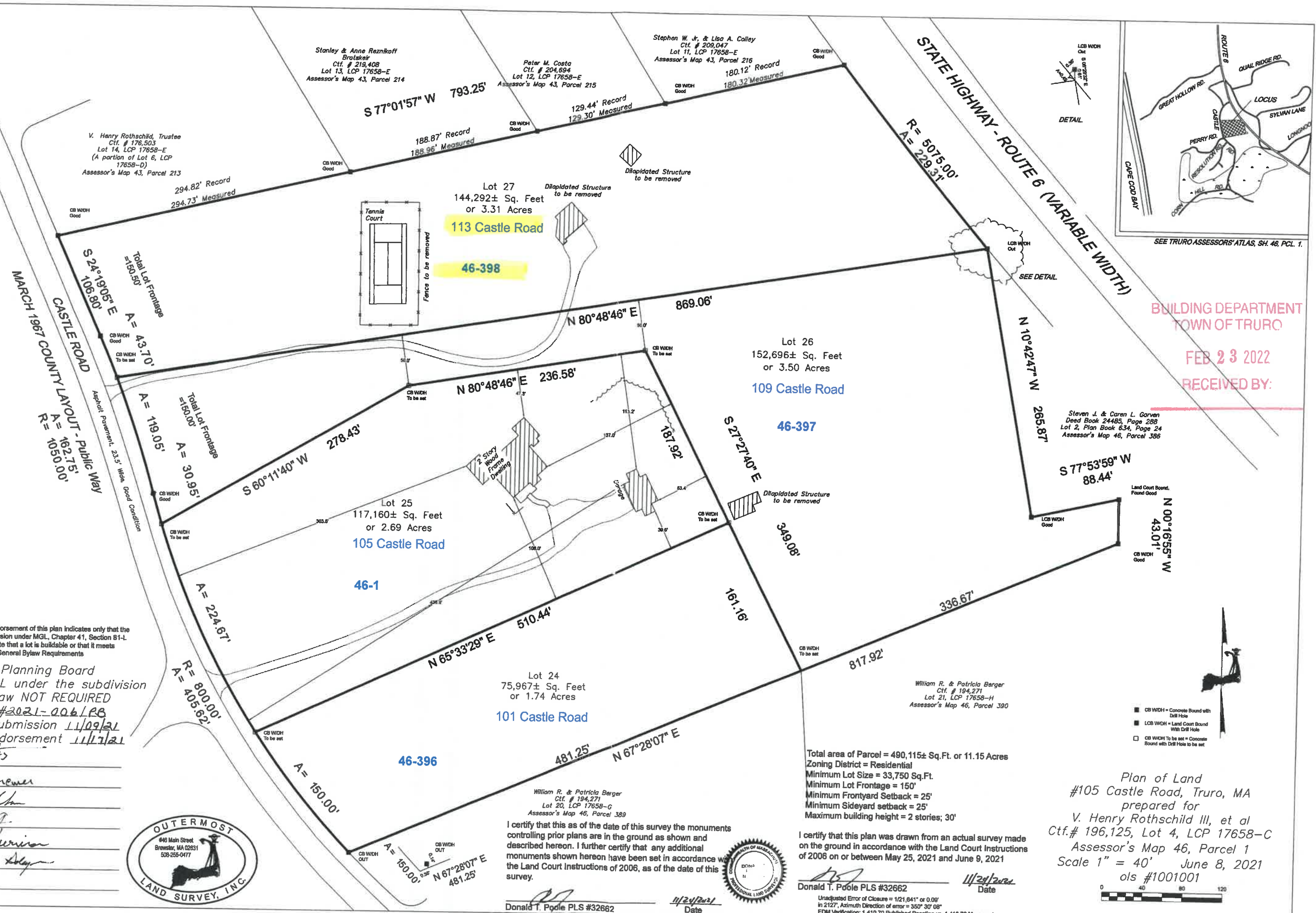
SEWAGE DISPOSAL SYSTEM DESIGN & NOTES  
Lot 4, 105 Castle Road, Truro, MA

 **J.M. O'REILLY & ASSOCIATES, INC.**  
Professional Engineering & Land Surveying Services

1573 Main Street - Route 6A  
P.O. Box 1773  
(508)898-6601 Office Brewster, MA 02831 (508)898-6602 Fax

DATE:	SCALE:	BY:	CHECK:	JOB NUMBER:
01/25/2022	As Noted	RFR	JMO	JMO-9171





SEE TRURO ASSESSORS' ATLAS, SH. 46, PCL. 1.

BUILDING DEPARTMENT  
TOWN OF TRURO  
FEB 23 2022  
RECEIVED BY:

Steven J. & Caren L. Garven  
Deed Book 24485, Page 288  
Lot 2, Plan Book 634, Page 24  
Assessor's Map 46, Parcel 386

Land Court Bound,  
Found Good  
N 00°16'55\" W  
43.01'

CB W/DH = Concrete Bound with  
Drill Hole  
LCB W/DH = Land Court Bound  
With Drill Hole  
CB W/DH To be set = Concrete  
Bound with Drill Hole to be set

Total area of Parcel = 490,115± Sq.Ft. or 11.15 Acres  
Zoning District = Residential  
Minimum Lot Size = 33,750 Sq.Ft.  
Minimum Lot Frontage = 150'  
Minimum Frontyard Setback = 25'  
Minimum Sideyard setback = 25'  
Maximum building height = 2 stories; 30'

I certify that this plan was drawn from an actual survey made  
on the ground in accordance with the Land Court Instructions  
of 2006 on or between May 25, 2021 and June 9, 2021

Donald T. Poole PLS #32662  
11/24/2021  
Date  
Unadjusted Error of Closure = 1/21,841\" or 0.00'  
in 2127', Azimuth Direction of error = 350° 30' 08\"  
EDM Verification: 1,410.70 Published Baseline vs. 1,410.72 Measured

I certify that this as of the date of this survey the monuments  
controlling prior plans are in the ground as shown and  
described hereon. I further certify that any additional  
monuments shown hereon have been set in accordance with  
the Land Court Instructions of 2006, as of the date of this  
survey.

Donald T. Poole PLS #32662  
11/24/2021  
Date

Planning Board endorsement of this plan indicates only that the  
plan is not a subdivision under MGL, Chapter 41, Section 81-L  
and does not indicate that a lot is buildable or that it meets  
Zoning, Health, or General Bylaw Requirements

Truro Planning Board  
APPROVAL under the subdivision  
control law NOT REQUIRED  
Docket #2021-006/188  
Date of Submission 11/09/21  
Date of Endorsement 11/17/21

John B. Brewer  
Paul K. Kurnian  
L. Anne Delaney

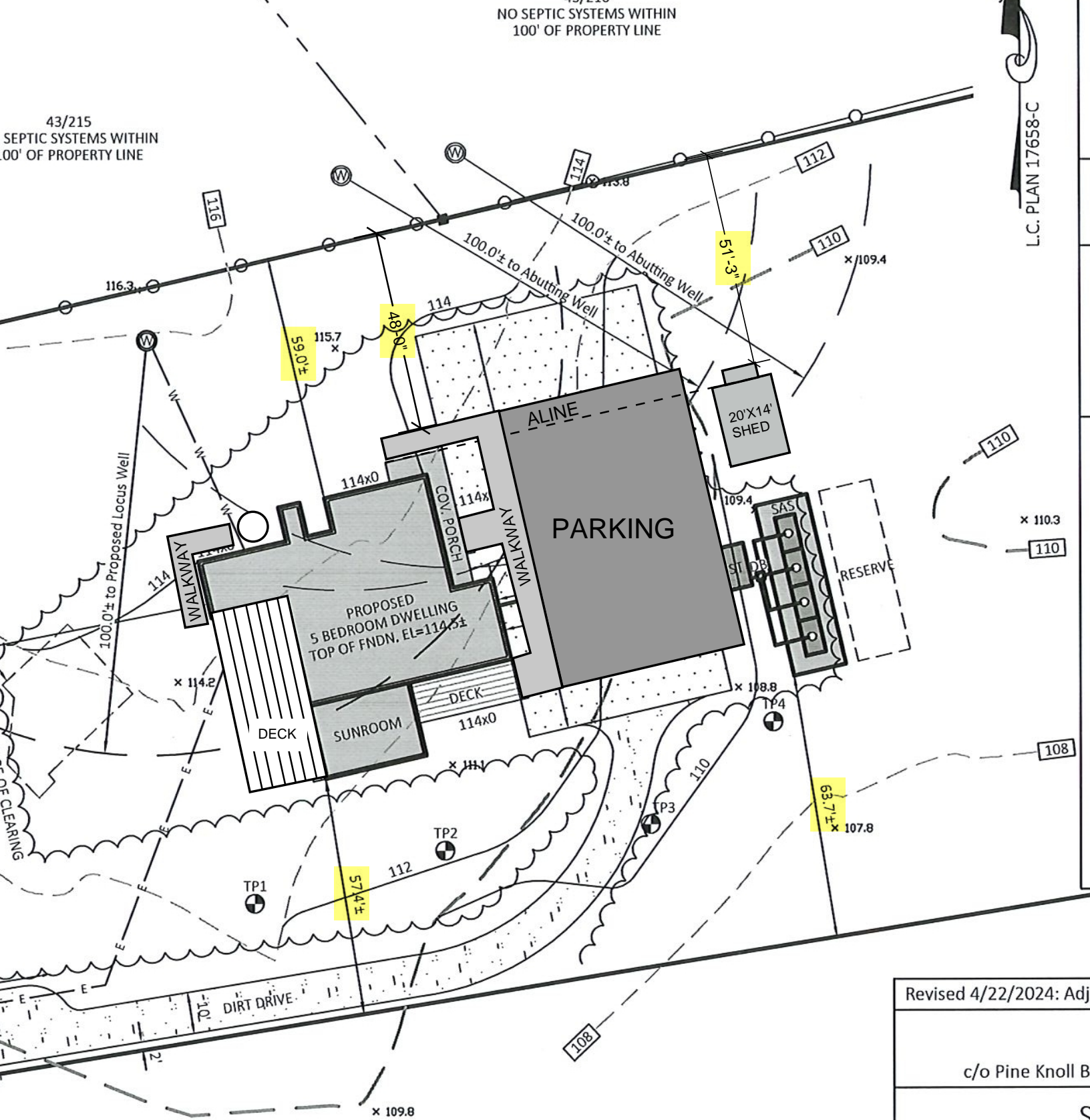




43/215  
SEPTIC SYSTEMS WITHIN  
100' OF PROPERTY LINE

NO SEPTIC SYSTEMS WITHIN  
100' OF PROPERTY LINE

L.C. PLAN 17658-C



Leach Pit, Approx. Location  
BANDONED OR REMOVED  
E 15

- VACANT LOT -

Revised 4/22/2024: Adj

c/o Pine Knoll B

S  
Lot 4,



J.M. C.  
Professi

(508)896-6601 Offi

DATE:

01/19/2022

SCALE:

A

Pine Knoll  
508-255-8292  
3 Main Street, Unit 25  
N. Eastham, MA  
02651

To Whom it may concern,

For the new construction at 113 Castle Rd, Truro, it was realized through the collection of the asbuilt data that the dwelling exceeds Truro's maximum height restrictions by 1'-6". In order to correct this conflict, the truss system has to be adjusted so that the ridge height is lowered by at least 1'-6". Within this packet is the engineered stamped truss adjustments lowering the ridge height by 1'-9". This will put the new height 3" below Truro's maximum height.

It is the intent of the homeowner and the general contractor to complete this correction as soon as possible. Due to the availability of labor, this work cannot be done before the summer, so the intent is to complete this correction by the end of the year 2024.

The original intent was for the house to be ready for move-in by this summer. Since the corrective work will delay the final CO until after summer, it is the general contractor's intent to complete all work except for final energy sign off and the final CO and receive a partial CO so that the homeowner can be in the house for the summer. Once summer is over and the house is empty, the corrective work would take place before the end of the year.



Amy Holt (Home owner)



Paul Holt (Home owner)



John Ferro (General Contractor)

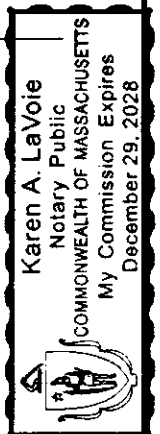
4/23/24

County of Barnstable

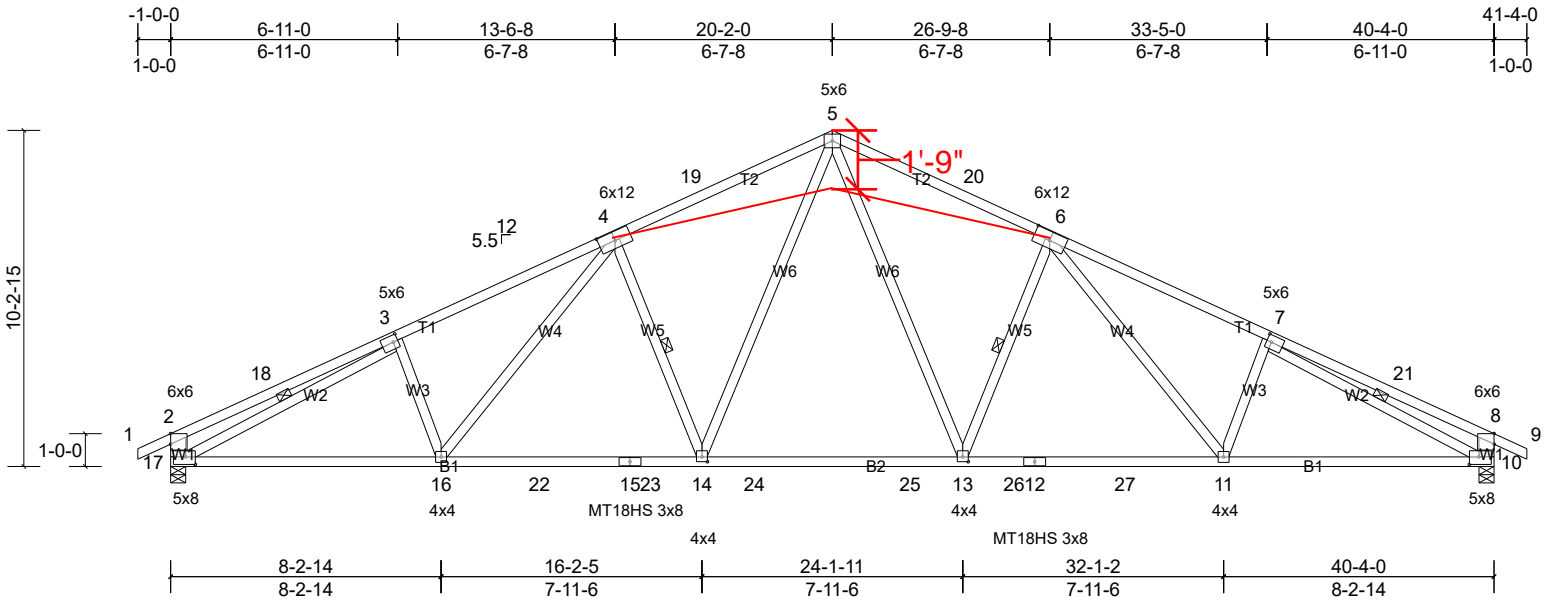
Commonwealth of Massachusetts

on 4/23/24 before me the undersigned Amy Holt, Paul Holt, and John Ferro proved to me by their license sworn to me that they signed the document as their free act and deed.

Karen A. LaVoie Comm: 12/29/28



Job Q15203	Truss T3	Truss Type Common	Qty 6	Ply 1	105 Castle Rd Job Reference (optional)
---------------	-------------	----------------------	----------	----------	-------------------------------------------



Scale = 1:70.2

Plate Offsets (X, Y): [2:0-3-14,Edge], [3:0-1-12,0-2-8], [4:0-6-0,0-3-4], [6:0-6-0,0-3-4], [7:0-1-12,0-2-8], [8:0-3-14,Edge], [10:0-3-8,0-2-12], [13:0-2-0,0-1-12], [14:0-2-0,0-1-12], [17:0-3-8,0-2-12]

Loading	(psf)	Spacing	2-0-0	CSI		DEFL	in	(loc)	I/defl	L/d	PLATES	GRIP
TCLL (roof)	30.0	Plate Grip DOL	1.15	TC	0.93	Vert(LL)	-0.30	14-16	>999	360	MT20	197/144
Snow (Pf)	35.0	Lumber DOL	1.15	BC	0.99	Vert(CT)	-0.51	11-13	>938	240	MT18HS	197/144
TCDL	15.0	Rep Stress Incr	YES	WB	0.93	Horz(CT)	0.20	10	n/a	n/a		
BCLL	0.0*	Code	IRC2015/TPI2014	Matrix-MSH								
BCDL	10.0											
Weight: 186 lb FT = 20%												

<b>LUMBER</b>				<b>BRACING</b>			
TOP CHORD	2x4	SPF	2100F 1.8E *Except* T1:2x4 SPF 1650F 1.5E	TOP CHORD	Structural wood sheathing directly applied, except end verticals.		
BOT CHORD	2x4	SPF	No.2 *Except* B2:2x4 SPF 1650F 1.5E	BOT CHORD	Rigid ceiling directly applied or 2-2-0 oc bracing, Except:		
WEBS	2x4	SPF	No.2 *Except* W1:2x6 SPF 1650F 1.5E		10-0-0 oc bracing: 13-14.		
<b>REACTIONS</b>	(lb/size)	10=2515/0-5-8, (min. 0-3-15), 17=2515/0-5-8, (min. 0-3-15)		<b>WEBS</b>	1 Row at midpt		
	Max Horiz	17=158 (LC 20)			6-13, 4-14, 3-17, 7-10		
	Max Uplift	10=-328 (LC 17), 17=-328 (LC 16)			MiTek recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide.		

<b>FORCES</b>		(lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
TOP CHORD	2-18=-856/220, 3-18=-705/239, 3-4=-3886/558, 4-19=-3233/511, 5-19=-3081/531, 5-20=-3081/531, 6-20=-3233/511, 6-7=-3886/558, 7-21=-705/238, 8-21=-856/220, 2-17=-779/276, 8-10=-779/276	
BOT CHORD	16-17=-518/3499, 16-22=-359/3123, 15-22=-359/3123, 15-23=-359/3123, 14-23=-359/3123, 14-24=-145/2408, 24-25=-145/2408, 13-25=-145/2408, 13-26=-231/3123, 12-26=-231/3123, 12-27=-231/3123, 11-27=-231/3123, 10-11=-360/3499	
WEBS	5-13=-240/1230, 6-13=-1053/340, 6-11=-133/513, 7-11=-270/223, 5-14=-240/1230, 4-14=-1053/340, 4-16=-133/513, 3-16=-270/223, 3-17=-3316/283, 7-10=-3316/283	

- NOTES**
- Unbalanced roof live loads have been considered for this design.
  - Wind: ASCE 7-10; Vult=140mph (3-second gust) Vasd=111mph; TCDL=6.0psf; BCDL=6.0psf; h=25ft; Cat. II; Exp B; Enclosed; MWFRS (envelope) exterior zone and C-C Exterior (2) -1-0-0 to 3-0-6, Interior (1) 3-0-6 to 20-2-0, Exterior (2) 20-2-0 to 24-2-6, Interior (1) 24-2-6 to 41-4-0 zone; cantilever left and right exposed ; end vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
  - TCLL: ASCE 7-10; Pr=30.0 psf (roof live load: Lumber DOL=1.15 Plate DOL=1.15); Pf=35.0 psf (flat roof snow: Lumber DOL=1.15 Plate DOL=1.15); Category II; Exp B; Partially Exp.; Ct=1.10
  - Unbalanced snow loads have been considered for this design.
  - This truss has been designed for greater of min roof live load of 12.0 psf or 2.00 times flat roof load of 35.0 psf on overhangs non-concurrent with other live loads.
  - All plates are MT20 plates unless otherwise indicated.
  - This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
  - * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-06-00 tall by 2-00-00 wide will fit between the bottom chord and any other members, with BCDL = 10.0psf.
  - Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 328 lb uplift at joint 17 and 328 lb uplift at joint 10.
  - This truss is designed in accordance with the 2015 International Residential Code sections R502.11.1 and R802.10.2 and referenced standard ANSI/TPI 1.

LOAD CASE(S)     Standard



Job	Truss	Truss Type	Qty	Ply	105 Castle Rd
[PRELIM] Q15203	A01	Common	9	1	Job Reference (optional)

8.630 s May 25 2023 MiTek Industries, Inc. Mon Mar 11 16:58:39 2024 Page 1  
ID:s1_ZFfleyeteBbaAGZP6tzYR6t-9x5730aKq6H97RW?po6nCcOQQJrc?yoZrf5E54zbvbk

Repair to Shorten Truss 1-9-0; Trusses A01, A02, and A03

5x6 =

Scale = 1:69.7

Add 2x4 #2 SPF As Shown

5.50 | 12

5

Attach 7/16" 24/16 APA Sheathing To Both  
Sides With (2) Rows 0.131 x 2-3/8" Nails at  
3" c/c Into All Members As Shown

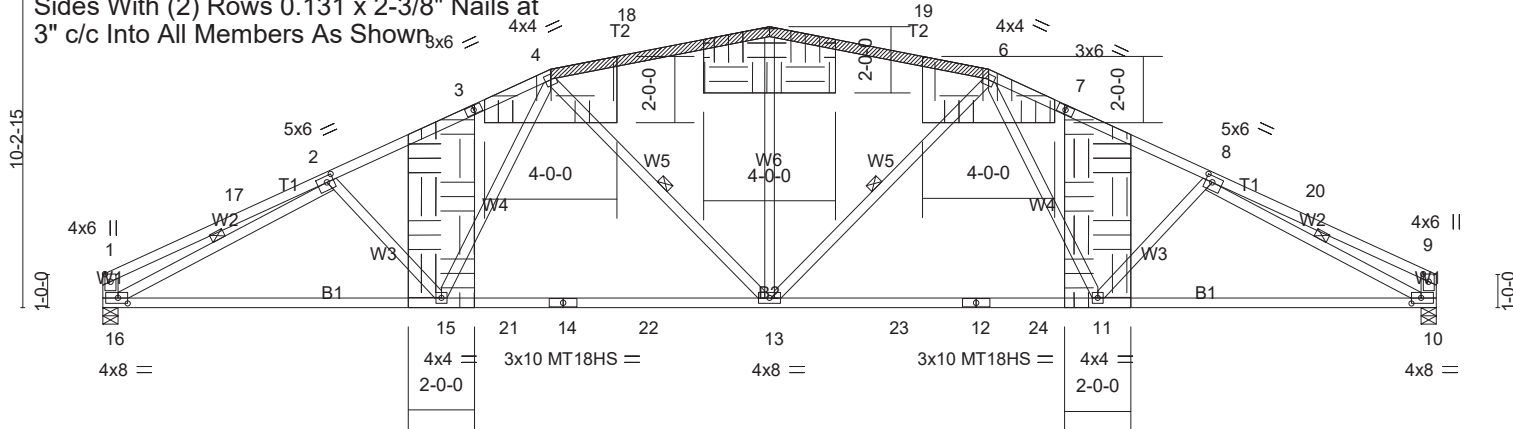


Plate Offsets (X,Y)--	[1:0-2-12,0-2-0], [2:0-2-8,0-2-4], [8:0-2-8,0-2-4], [9:0-2-12,0-2-0], [10:0-3-8,0-2-0], [16:0-3-8,0-2-0]
-----------------------	----------------------------------------------------------------------------------------------------------

LOADING (psf)	SPACING-	2-0-0	CSI.	DEFL.	in (loc)	l/defl	L/d	PLATES	GRIP
TCLL (roof)	30.0	Plate Grip DOL	1.15	TC	0.87			MT20	197/144
Snow (Pf)	35.0	Lumber DOL	1.15	BC	0.94			MT18HS	197/144
TCDL	15.0	Rep Stress Incr	YES	WB	0.99				
BCLL	0.0 *	Code IRC2015/TPI2014		Matrix-MSH					
BCDL	10.0								
								Weight: 176 lb	FT = 20%

#### LUMBER-

TOP CHORD 2x4 SPF 2100F 1.8E *Except*  
T1: 2x4 SPF No.2  
BOT CHORD 2x4 SPF 1650F 1.5E  
WEBS 2x4 SPF No.2 *Except*  
W1: 2x6 SPF 1650F 1.5E

#### BRACING-

TOP CHORD  
BOT CHORD  
WEBS

Structural wood sheathing directly applied, except end verticals.  
Rigid ceiling directly applied or 2-2-0 oc bracing.  
1 Row at midpt 2-16, 8-10, 4-13, 6-13

MiTek recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide.

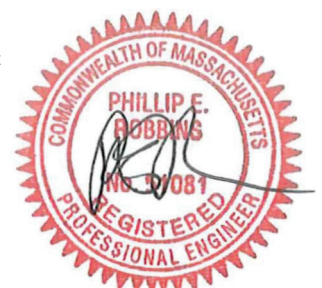
**REACTIONS.** (lb/size) 16=2393/0-5-8 (min. 0-3-12), 10=2392/0-5-8 (min. 0-3-12)  
Max Horz 16=147(LC 20)  
Max Uplift 16=-295(LC 16), 10=-295(LC 17)

**FORCES.** (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.  
TOP CHORD 1-17=-677/130, 2-17=-509/149, 2-3=-3793/486, 3-4=-3541/516, 4-18=-2832/455,  
5-18=-2681/475, 5-19=-2681/475, 6-19=-2832/455, 6-7=-3541/516, 7-8=-3793/486,  
8-20=-509/149, 9-20=-677/131, 1-16=-546/166, 9-10=-546/166  
BOT CHORD 15-16=-549/3518, 15-21=-369/3125, 14-21=-369/3125, 14-22=-369/3125,  
13-22=-369/3125, 13-23=-276/3125, 12-23=-276/3125, 12-24=-276/3125,  
11-24=-276/3125, 10-11=-404/3518  
WEBS 2-16=-3499/401, 8-10=-3499/401, 4-15=-51/489, 2-15=-313/236, 4-13=-1171/326,  
5-13=-194/1635, 6-13=-1171/326, 6-11=-51/489, 8-11=-313/236

#### NOTES-

- Unbalanced roof live loads have been considered for this design.
- Wind: ASCE 7-10; Vult=140mph Vasd=111mph; TCDL=6.0psf; BCDL=6.0psf; h=25ft; Cat. II; Exp B; Enclosed; MWFRS (envelope) gable end zone and C-C Exterior(2) 0-2-12 to 4-3-2, Interior(1) 4-3-2 to 20-2-0, Exterior(2) 20-2-0 to 24-2-6, Interior(1) 24-2-6 to 40-1-4 zone; cantilever left and right exposed; end vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
- TCLL: ASCE 7-10; Pr=30.0 psf (roof live load: Lumber DOL=1.15 Plate DOL=1.15); Pf=35.0 psf (flat roof snow: Lumber DOL=1.15 Plate DOL=1.15); Category II; Exp B; Partially Exp.; Ct=1.10
- Unbalanced snow loads have been considered for this design.
- All plates are MT20 plates unless otherwise indicated.
- This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members, with BCDL = 10.0psf.
- Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 295 lb uplift at joint 16 and 295 lb uplift at joint 10.
- This truss is designed in accordance with the 2015 International Residential Code sections R502.11.1 and R802.10.2 and referenced standard ANSI/TPI 1.

**LOAD CASE(S)** Standard



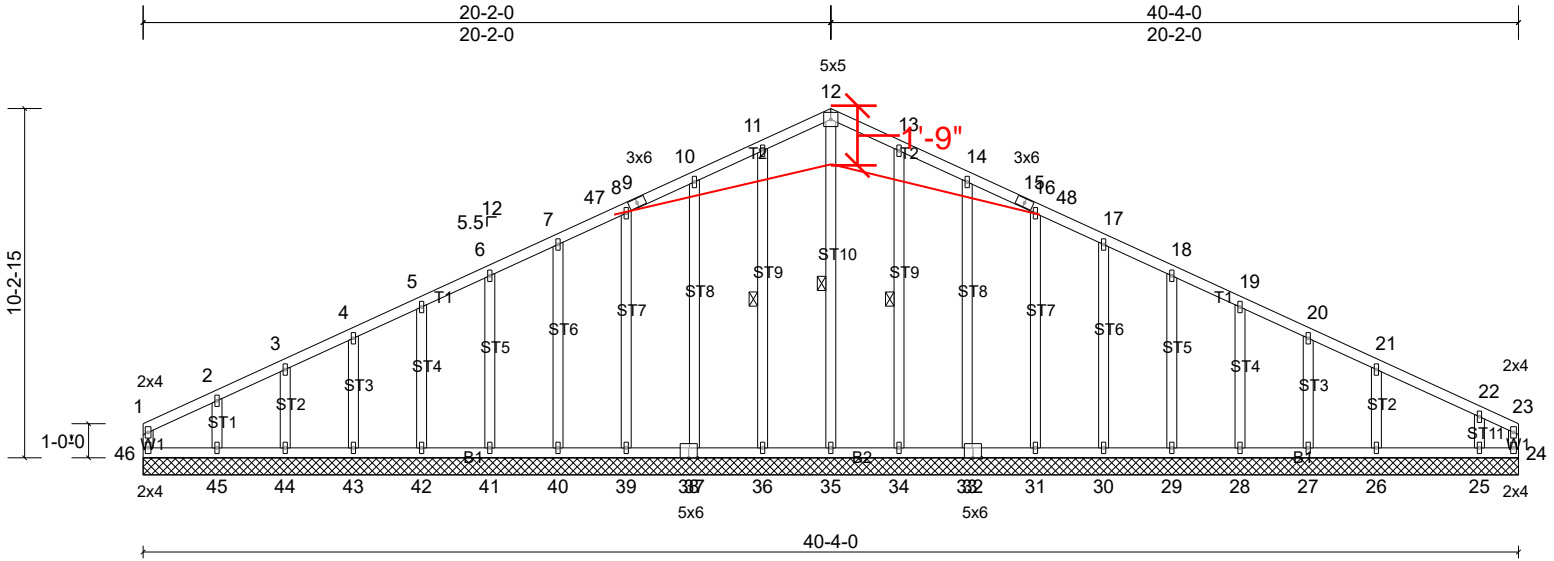
Job Q15203	Truss T2GE	Truss Type Common Supported Gable	Qty 1	Ply 1	105 Castle Rd Job Reference (optional)
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Stark Truss Company, Inc., North Kingstown, RI 02852

Run: 8.53 S Jan 25 2022 Print: 8.530 S May 4 2022 MiTek Industries, Inc. Thu Jul 21 14:52:49

Page: 1

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Scale = 1:67.6

Loading	(psf)	Spacing	2-0-0	CSI	DEFL	in	(loc)	l/defl	L/d	PLATES	GRIP
TCLL (roof)	30.0	Plate Grip DOL	1.15	TC	0.12	Vert(LL)	n/a	-	n/a	999	MT20
Snow (Pf)	35.0	Lumber DOL	1.15	BC	0.08	Vert(TL)	n/a	-	n/a	999	197/144
TCDL	15.0	Rep Stress Incr	YES	WB	0.34	Horiz(TL)	0.01	24	n/a	n/a	
BCLL	0.0*	Code	IRC2015/TPI2014	Matrix-MR							
BCDL	10.0										Weight: 213 lb FT = 20%

#### LUMBER

TOP CHORD 2x4 SPF No.2  
BOT CHORD 2x4 SPF No.2  
WEBS 2x4 SPF No.2  
OTHERS 2x4 SPF No.2

#### REACTIONS

All bearings 40-4-0.  
(lb) - Max Horiz 46=149 (LC 20)  
Max Uplift All uplift 100 (lb) or less at joint(s) 24, 26, 27, 28, 29, 30, 31, 33, 34, 36, 37, 39, 40, 41, 42, 43, 44, 46 except 25=197 (LC 17), 45=153 (LC 16)  
Max Grav All reactions 250 (lb) or less at joint(s) 24, 27, 28, 29, 30, 40, 41, 42, 43, 44, 46 except 25=309 (LC 23), 26=325 (LC 1), 31=312 (LC 23), 33=333 (LC 23), 34=350 (LC 23), 35=256 (LC 28), 36=350 (LC 22), 37=333 (LC 22), 39=312 (LC 22), 45=265 (LC 1)

#### FORCES

(lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.  
TOP CHORD 6-7=-91/258, 7-47=-109/303, 8-47=-86/308, 8-9=-126/349, 9-10=-113/358, 10-11=-144/411, 11-12=-161/453, 12-13=-161/444, 13-14=-144/401, 14-15=-113/348, 15-16=-126/339, 16-48=-86/299, 17-48=-109/294  
WEBS 22-25=-262/257, 12-35=-253/29, 11-36=-309/159, 10-37=-292/138, 8-39=-271/94, 13-34=-309/158, 14-33=-292/138, 16-31=-271/94, 21-26=-270/187

#### NOTES

- Unbalanced roof live loads have been considered for this design.
- Wind: ASCE 7-10; Vult=140mph (3-second gust) Vasd=111mph; TCDL=6.0psf; BCDL=6.0psf; h=25ft; Cat. II; Exp B; Enclosed; MWFRS (envelope) exterior zone and C-C Corner (3) 0-1-12 to 4-2-0, Exterior (2) 4-2-0 to 20-2-0, Corner (3) 20-2-0 to 24-2-0, Exterior (2) 24-2-0 to 40-2-4 zone; cantilever left and right exposed; end vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
- Truss designed for wind loads in the plane of the truss only. For studs exposed to wind (normal to the face), see Standard Industry Gable End Details as applicable, or consult qualified building designer as per ANSI/TPI 1.
- TCLL: ASCE 7-10; Pr=30.0 psf (roof live load: Lumber DOL=1.15 Plate DOL=1.15); Pf=35.0 psf (flat roof snow: Lumber DOL=1.15 Plate DOL=1.15); Category II; Exp B; Partially Exp.; Ct=1.10
- Unbalanced snow loads have been considered for this design.
- All plates are 1.5x4 MT20 unless otherwise indicated.
- Gable requires continuous bottom chord bearing.
- Truss to be fully sheathed from one face or securely braced against lateral movement (i.e. diagonal web).
- Gable studs spaced at 2-0-0 oc.
- This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3'-06"-00" tall by 2'-00"-00" wide will fit between the bottom chord and any other members.
- Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 100 lb uplift at joint(s) 46, 24, 36, 37, 39, 40, 41, 42, 43, 44, 34, 33, 31, 30, 29, 28, 27, 26 except (jt=lb) 25=196, 45=152.

#### BRACING

TOP CHORD Structural wood sheathing directly applied or 6'-0-0 oc purlins, except end verticals.  
BOT CHORD Rigid ceiling directly applied or 10'-0-0 oc bracing.  
WEBS 1 Row at midpt 12-35, 11-36, 13-34

MiTek recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide.

Job	Truss	Truss Type	Qty	Ply	105 Castle Rd
[PRELIM] Q15203	A01GE	Common Supported Gable	1	1	Job Reference (optional)

8.630 s May 25 2023 MiTek Industries, Inc. Mon Mar 11 17:32:15 2024 Page 1  
ID:KcON374IZwwD1gNAmZFjXazYR8S-7nvGAMzv2XG6_FeTvCHYwot7r_7MMt6IQJSvsEzbxQE

Repair to Shorten Truss 1-9-0

Add 2x4 #2 SPF As Shown

Attach 7/16" 24/16 APA Sheathing To Both  
Sides With (2) Rows 0.131 x 2-3/8" Nails at  
3" c/c Into All Members As Shown

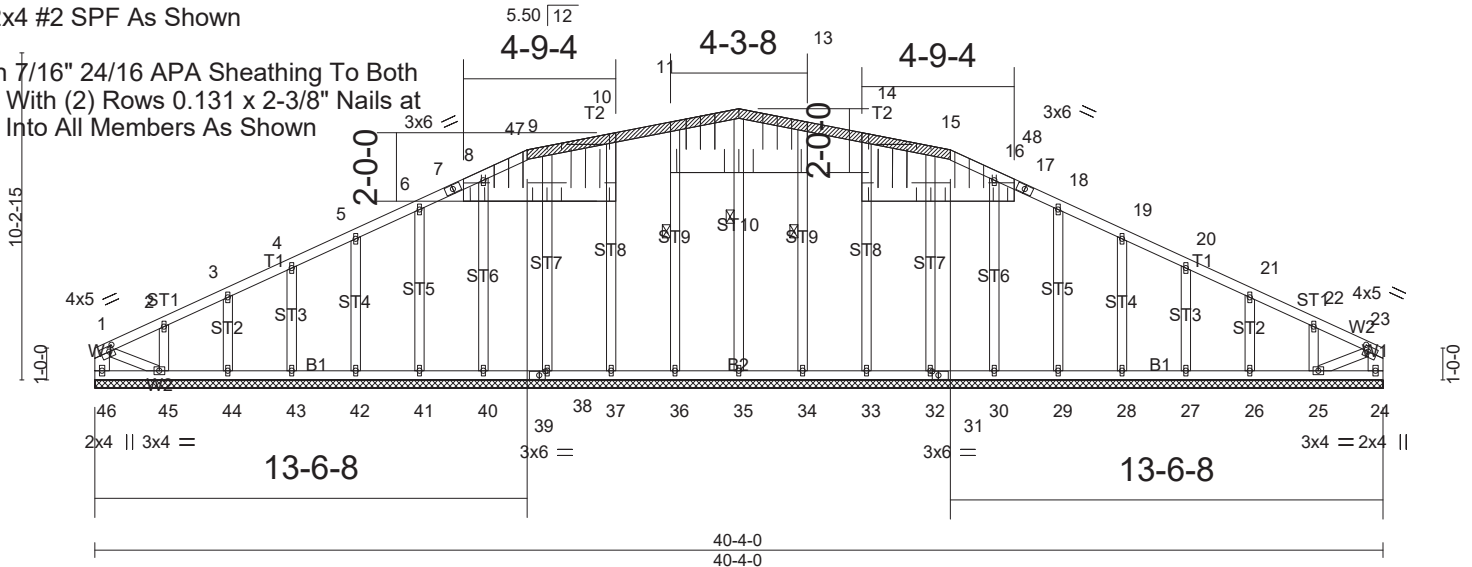


Plate Offsets (X,Y)-- [1:0-1-12,0-2-0], [23:0-1-12,0-2-0], [31:0-2-4,0-1-8], [39:0-2-4,0-1-8]

<b>LOADING</b> (psf)		<b>SPACING-</b>	2-0-0	<b>CSI.</b>	<b>DEFL.</b>	in (loc)	l/defl	L/d	<b>PLATES</b>	<b>GRIP</b>	
TCLL (roof)	30.0	Plate Grip DOL	1.15	TC 0.09	Vert(LL)	n/a	-	n/a	999	MT20	197/144
Snow (Pf)	35.0	Lumber DOL	1.15	BC 0.03	Vert(CT)	n/a	-	n/a	999		
TCDL	15.0	Rep Stress Incr	YES	WB 0.34	Horz(CT)	0.01	25	n/a	n/a		
BCLL	0.0 *	Code IRC2015/TPI2014		Matrix-SH							
BCDL	10.0										
									Weight: 219 lb	FT = 20%	

#### LUMBER-

TOP CHORD 2x4 SPF No.2  
BOT CHORD 2x4 SPF No.2  
WEBS 2x6 SPF 1650F 1.5E *Except*  
W2: 2x4 SPF No.2  
OTHERS 2x4 SPF No.2

#### BRACING-

TOP CHORD Structural wood sheathing directly applied or 6-0-0 oc purlins, except end verticals.  
BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.  
WEBS 1 Row at midpt 12-35, 11-36, 13-34

MiTek recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide.

#### REACTIONS.

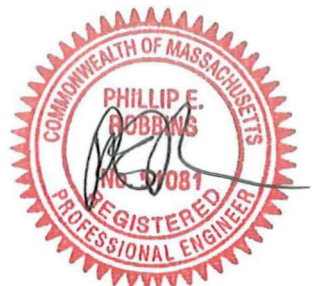
All bearings 40-4-0.  
(lb) - Max Horz 46=147(LC 16)  
Max Uplift All uplift 100 lb or less at joint(s) 46, 36, 37, 38, 40, 41, 42, 43, 44,  
34, 33, 32, 30, 29, 28, 27, 26 except 45=155(LC 16), 25=132(LC 17)  
Max Grav All reactions 250 lb or less at joint(s) 46, 24, 35, 40, 41, 42, 43, 44,  
30, 29, 28, 27, 26 except 36=349(LC 22), 37=332(LC 22), 38=311(LC 22),  
45=254(LC 22), 34=349(LC 23), 33=332(LC 23), 32=311(LC 23), 25=254(LC 23)

#### FORCES.

(lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.  
TOP CHORD 9-10=-103/272, 10-11=-121/324, 11-12=-138/368, 12-13=-138/357, 13-14=-121/307,  
14-15=-103/255  
WEBS 11-36=-309/163, 10-37=-292/136, 9-38=-271/95, 13-34=-309/162, 14-33=-292/136,  
15-32=-271/95

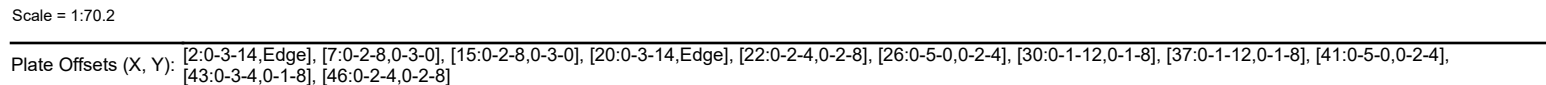
#### NOTES-

- Unbalanced roof live loads have been considered for this design.
- Wind: ASCE 7-10; Vult=140mph Vasd=111mph; TCDL=6.0psf; BCDL=6.0psf; h=25ft; Cat. II; Exp B; Enclosed; MWFRS (envelope) gable end zone and C-C Corner(3) 0-2-12 to 4-2-0, Exterior(2) 4-2-0 to 20-2-0, Corner(3) 20-2-0 to 24-2-0, Exterior(2) 24-2-0 to 40-1-4 zone; cantilever left and right exposed; end vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
- Truss designed for wind loads in the plane of the truss only. For studs exposed to wind (normal to the face), see Standard Industry Gable End Details as applicable, or consult qualified building designer as per ANSI/TPI 1.
- TCLL: ASCE 7-10; Pr=30.0 psf (roof live load: Lumber DOL=1.15 Plate DOL=1.15); Pf=35.0 psf (flat roof snow: Lumber DOL=1.15 Plate DOL=1.15); Category II; Exp B; Partially Exp.; Ct=1.10
- Unbalanced snow loads have been considered for this design.
- All plates are 1.5x4 MT20 unless otherwise indicated.
- Gable requires continuous bottom chord bearing.
- Truss to be fully sheathed from one face or securely braced against lateral movement (i.e. diagonal web).
- Gable studs spaced at 2-0-0 oc.
- This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
- Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 100 lb uplift at joint(s) 46, 36, 37, 38, 40, 41, 42, 43, 44, 34, 33, 32, 30, 29, 28, 27, 26 except (jt=lb) 45=155, 25=132.
- This truss is designed in accordance with the 2015 International Residential Code sections R502.11.1 and R802.10.2 and referenced Standard ANSI/TPI 1.





Stark Truss Company, Inc., North Kingstown, RI 02852 Run: 8.53 S May 4 2022 Print: 8.530 S May 4 2022 MiTek Industries, Inc. Thu Jul 21 14:52:47 Page: 1  
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<b>LUMBER</b>		<b>BRACING</b>	
TOP CHORD	2x4 SPF No.2	TOP CHORD	Structural wood sheathing directly applied or 3-9-7 oc purlins, except end verticals.
BOT CHORD	2x4 SPF No.2		
WEBS	2x4 SPF No.2 *Except* W1:2x6 SPF 1650F 1.5E	BOT CHORD	Rigid ceiling directly applied or 6-0-0 oc bracing.
OTHERS	2x4 SPF No.2	JOINTS	1 Brace at Jt(s): 47, 48, 49, 50, 51, 53, 54, 55, 56, 57, 58, 59, 61, 62
<b>REACTIONS</b>	All bearings 15-5-8. except 22=0-5-8 (lb) - Max Horiz 46=-157 (LC 21) Max Uplift All uplift 100 (lb) or less at joint(s) 38, 39, 40, 42, 45 except 22=-249 (LC 17), 37=-229 (LC 17), 41=-180 (LC 16), 46=-110 (LC 16)		MiTék recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide.

<b>FORCES</b>	(lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
<b>TOP CHORD</b>	2-63=-471/209, 3-63=-331/228, 3-4=-2/271, 4-5=0/339, 5-6=0/328, 6-64=0/320, 7-64=0/327, 7-8=0/749, 8-9=0/769, 9-10=0/739, 10-11=0/793, 11-12=-983/397, 12-13=-1073/368, 13-14=-1063/324, 14-15=-1029/294, 15-16=-1741/467, 16-17=-1805/443, 17-18=-1829/403, 18-19=-1851/394, 19-65=-863/234, 20-65=-1016/215, 2-46=-597/274, 20-22=-850/266
<b>BOT CHORD</b>	40-41=-588/234, 39-40=-588/234, 38-39=-588/234, 37-38=-588/234, 29-30=-26/1095, 28-29=-26/1095, 27-28=-26/1095, 26-27=-26/1095, 25-26=-220/1702, 24-25=-220/1702, 23-24=-220/1702, 22-23=-220/1702
<b>WEBS</b>	11-55=-326/1479, 55-56=-331/1489, 30-56=-343/1548, 30-57=-794/219, 15-57=-758/210, 15-58=-244/914, 58-59=-227/840, 26-59=-220/824, 19-26=-298/161, 37-48=-2114/171, 47-48=-2003/159, 11-47=-2125/172, 7-49=-315/62, 37-49=-340/68, 41-51=-70/494, 50-51=-70/489, 7-50=-75/527, 3-41=-703/318, 46-54=-194/343, 53-54=-192/339, 52-53=-196/347, 3-52=-231/409, 19-60=-1070/153, 60-61=-1071/115, 61-62=-1057/113, 22-62=-1038/113, 11-33=-28/295, 9-48=-398/95, 35-48=-314/93, 8-49=-257/71, 40-51=-255/105, 13-56=-317/83, 31-56=-383/97

- ### NOTES
- 1) Unbalanced roof live loads have been considered for this design.
  - 2) Wind: ASCE 7-10; Vult=140mph (3-second gust) Vasd=111mph; TCDL=6.0psf; BCDL=6.0psf; h=25ft; Cat. II; Exp B; Enclosed; MWFRS (envelope) exterior zone and C-C Exterior (2) -1-0-0 to 3-0-6, Interior (1) 3-0-6 to 20-0-10, Exterior (2) 20-0-10 to 24-2-0, Interior (1) 24-2-0 to 41-4-0 zone; cantilever left and right exposed ; end vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
  - 3) Truss designed for wind loads in the plane of the truss only. For studs exposed to wind (normal to the face), see Standard Industry Gable End Details as applicable, or consult qualified building designer as per ANSI/TPI 1.
  - 4) TCLL: ASCE 7-10; Pr=30.0 psf (roof live load: Lumber DOL=1.15 Plate DOL=1.15); Pf=35.0 psf (flat roof snow: Lumber DOL=1.15 Plate DOL=1.15); Category II; Exp B; Partially Exp.; Ct=1.10
  - 5) Unbalanced snow loads have been considered for this design.
  - 6) This truss has been designed for greater of min roof live load of 12.0 psf or 2.00 times flat roof load of 35.0 psf on overhangs non-concurrent with other live loads.
  - 7) All plates are MT20 plates unless otherwise indicated.

8.630 s May 25 2023 MiTek Industries, Inc. Mon Mar 11 21:44:05 2024 Page 1  
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 $5 \times 6 =$ 

Scale = 1:74.8

5.50 12

7/16" APA Sheathing To Both  
With (2) Rows 0.131 x 2-3/8" Nails at  
Into All Members As Shown

10-2-15  
1-0-0

4x6 =  
ST1  
ST2  
W2  
ST3  
W3  
B1  
26  
25  
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4x5 =  
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3x6 =  
3x4 =  
4x9 =  
5x6 =  
3x4 =  
2-0-0  
4x5 =

4x4 =  
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<b>LOADING</b> (psf)		<b>SPACING-</b> 2-0-0	<b>CSI.</b>	<b>DEFL.</b> in (loc) l/defl L/d	<b>PLATES</b>	<b>GRIP</b>
TCLL (roof)	30.0	Plate Grip DOL 1.15	TC 0.84	Vert(LL) -0.32 14-16 >932 360	MT20	197/144
Snow (Pf)	35.0	Lumber DOL 1.15	BC 0.88	Vert(CT) -0.50 14-16 >593 240		
TCDL	15.0	Rep Stress Incr YES	WB 0.55	Horz(CT) 0.04 13 n/a n/a		
BCLL	0.0 *	Code IRC2015/TPI2014	Matrix-MSH		Weight: 294 lb	FT = 20%
BCDL	10.0					

<b>LUMBER-</b>		<b>BRACING-</b>	
TOP CHORD	2x4 SPF 1650F 1.5E *Except* T1: 2x4 SPF No.2	TOP CHORD	Structural wood sheathing directly applied or 3-10-14 oc purlins, except end verticals.
BOT CHORD	2x4 SPF No.2	BOT CHORD	Rigid ceiling directly applied or 6-0-0 oc bracing, Except:
WEBS	2x4 SPF No.2 *Except* W1: 2x6 SPF 1650F 1.5E		10-0-0 oc bracing: 14-16,13-14.
OTHERS	2x4 SPF No.2	WEBS	1 Row at midpt 7-16, 8-16, 10-13, 6-17
			MiTek recommends that Stabilizers and required cross bracing be

MiTek recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide.

**REACTIONS.** All bearings 15-5-8 except (jt=length) 13=0-5-8.  
 (lb) - Max Horz 26=-158(LC 17)  
 Max Uplift All uplift 100 lb or less at joint(s) 18 except 26=-112(LC 16),  
 13=-243(LC 17), 21=-245(LC 16), 17=-269(LC 17)  
 Max Grav All reactions 250 lb or less at joint(s) 18, 20, 22, 24, 25 except  
 26=535(LC 23), 13=1532(LC 24), 21=657(LC 23), 17=2365(LC 1), 17=2365(LC 1)

**FORCES.** (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.

**TOP CHORD**  
2-65=-442/193, 3-4=-34/374, 4-5=-12/509, 5-6=0/539, 6-66=-465/205, 7-66=-330/226,  
7-67=-383/209, 8-67=-608/188, 8-9=-1519/318, 9-10=-1772/301, 10-68=-592/205,  
11-68=-736/186, 2-26=-569/266, 11-13=-715/259

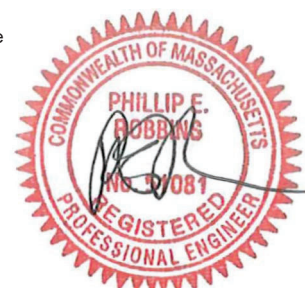
**BOT CHORD**  
20-21=-406/237, 19-20=-406/237, 18-19=-406/237, 17-18=-406/237, 17-69=-510/265,  
16-69=-510/265, 16-70=-37/1239, 15-70=-37/1239, 15-71=-37/1239, 14-71=-37/1239,  
13-14=-228/1790

**WEBS**  
7-16=-279/14, 8-16=-1286/334, 15-14=-59/642, 10-16=-479/248, 10-13=-1446/154,  
3-21=-676/297, 5-17=-499/154, 6-17=-1808/192, 6-16=-132/1611

**NOTES-**

- 1) Unbalanced roof live loads have been considered for this design.
- 2) Wind: ASCE 7-10; Vult=140mph Vasd=111mph; TCDD=6.0psf; BCDL=6.0psf; h=25ft; Cat. II; Exp B; Enclosed; MWFRS (envelope) gable end zone and C-C Exterior(2) -1-0-0 to 3-0-6, Interior(1) 3-0-6 to 20-2-0, Exterior(2) 20-2-0 to 24-2-6, Interior(1) 24-2-6 to 41-4-0 zone; cantilever left and right exposed ; end vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
- 3) Truss designed for wind loads in the plane of the truss only. For studs exposed to wind (normal to the face), see Standard Industry Gable End Details as applicable, or consult qualified building designer as per ANSI/TPI 1.
- 4) TLL: ASCE 7-10; Pr=30.0 psf (roof live load: Lumber DOL=1.15 Plate DOL=1.15); Pf=35.0 psf (flat roof snow: Lumber DOL=1.15 Plate DOL=1.15); Category II; Exp B; Partially Exp.; Ct=1.10
- 5) Unbalanced snow loads have been considered for this design.
- 6) This truss has been designed for greater of min roof live load of 12.0 psf or 2.00 times flat roof load of 35.0 psf on overhangs non-concurrent with other live loads.
- 7) All plates are 1.5x4 MT20 unless otherwise indicated.
- 8) Gable studs spaced at 2'-0" oc.
- 9) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.

Continued on page 2



PER240993  
P.E Robbins 1777 State Route 167 Victoria IL 61485

03/12/2024  
3 of 4

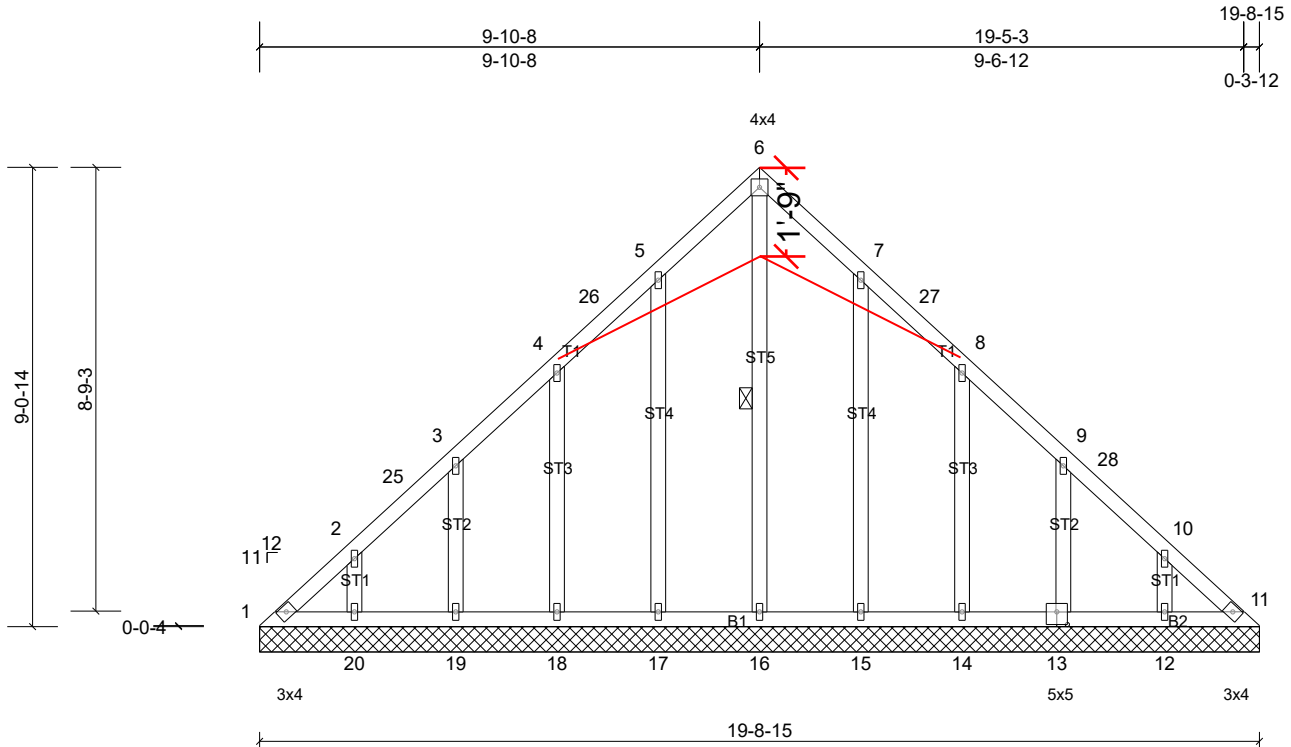
Job Q15203	Truss V1	Truss Type Valley	Qty 1	Ply 1	105 Castle Rd Job Reference (optional)
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Stark Truss Company, Inc., North Kingstown, RI 02852

Run: 8.53 S Jan 25 2022 Print: 8.530 S May 4 2022 MiTek Industries, Inc. Thu Jul 21 14:52:54

Page: 1

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Scale = 1:45.5

Plate Offsets (X, Y): [13:0-2-8,0-3-0]

Loading	(psf)	Spacing	2-0-0	CSI	DEFL	in	(loc)	l/defl	L/d	PLATES	GRIP
TCLL (roof)	30.0	Plate Grip DOL	1.15	TC	0.07	Vert(LL)	n/a	-	n/a	999	MT20
Snow (Pf)	35.0	Lumber DOL	1.15	BC	0.05	Vert(TL)	n/a	-	n/a	999	197/144
TCDL	15.0	Rep Stress Incr	YES	WB	0.18	Horiz(TL)	0.01	11	n/a	n/a	
BCLL	0.0*	Code	IRC2015/TPI2014	Matrix-MSH							
BCDL	10.0										
										Weight: 98 lb	FT = 20%

#### LUMBER

TOP CHORD 2x4 SPF No.2  
BOT CHORD 2x4 SPF No.2  
OTHERS 2x4 SPF No.2

#### BRACING

TOP CHORD  
BOT CHORD  
WEBS

Structural wood sheathing directly applied or 6'-0-0 oc purlins.  
Rigid ceiling directly applied or 10'-0-0 oc bracing.  
1 Row at midpt 6-16

#### REACTIONS

All bearings 19-8-15.  
(lb) - Max Horiz 1=254 (LC 11)  
Max Uplift All uplift 100 (lb) or less at joint(s) 1, 11, 20 except 12=112 (LC 15), 13=114 (LC 15), 14=121 (LC 15), 15=115 (LC 15), 17=118 (LC 14), 18=118 (LC 14), 19=125 (LC 14)  
Max Grav All reactions 250 (lb) or less at joint(s) 1, 11, 12, 13, 14, 18, 19 except 15=261 (LC 22), 16=251 (LC 24), 17=263 (LC 21), 20=267 (LC 21)

#### FORCES

(lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.

TOP CHORD 1-2=296/209, 10-11=251/168

#### NOTES

- Unbalanced roof live loads have been considered for this design.
- Wind: ASCE 7-10; Vult=140mph (3-second gust) Vasd=111mph; TCDL=6.0psf; BCDL=6.0psf; h=25ft; Cat. II; Exp B; Enclosed; MWFRS (envelope) exterior zone and C-C Exterior (2) 0-0-4 to 3-0-4, Interior (1) 3-0-4 to 9-10-12, Exterior (2) 9-10-12 to 12-10-12, Interior (1) 12-10-12 to 19-5-0 zone; cantilever left and right exposed ; end vertical left and right exposed;C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
- TCLL: ASCE 7-10; Pr=30.0 psf (roof live load: Lumber DOL=1.15 Plate DOL=1.15); Pf=35.0 psf (flat roof snow: Lumber DOL=1.15 Plate DOL=1.15); Category II; Exp B; Partially Exp.; Ct=1.10
- All plates are 1.5x4 MT20 unless otherwise indicated.
- Gable requires continuous bottom chord bearing.
- This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3'-0-0 tall by 2'-0-0 wide will fit between the bottom chord and any other members.
- Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 100 lb uplift at joint(s) 1, 11, 20 except (jt=lb) 17=117, 18=118, 19=125, 15=114, 14=121, 13=113, 12=111.
- This truss is designed in accordance with the 2015 International Residential Code sections R502.11.1 and R802.10.2 and referenced standard ANSI/TPI 1.

LOAD CASE(S) Standard

MiTek recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide.

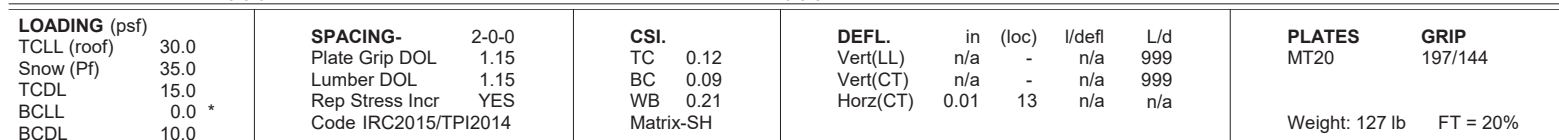


8 630 s May 25 2023 MiTek Industries, Inc. Mon Mar 11 19:42:25 2024 Page 1

 $4 \times 4 =$ 

Scale = 1:55.9

Attach 7/16" 24/16 APA Sheathing To Both  
Sides With (2) Rows 0.131 x 2-3/8" Nails at  
3" c/c Into All Members As Shown



<b>BRACING-</b>	
TOP CHORD	Structural wood sheathing directly applied or 6-0-0 oc purlins.
BOT CHORD	Rigid ceiling directly applied or 10-0-0 oc bracing.
WEBS	1 Row at midpt                      7-20

MiTek recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide.

**FORCES.** (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.  
**WEBS** 2-25=-280/144. 12-14=-275/142

**NOTES-**

- 1) Unbalanced roof live loads have been considered for this design.
- 2) Wind: ASCE 7-10; Vult=140mph Vasd=111mph; TCFL=6.0psf; BCDL=6.0psf; h=25ft; Cat. II; Exp B; Enclosed; MWFRS (envelope) gable end zone and C-C Exterior(2) 0-5-11 to 3-5-2, Interior(1) 3-5-2 to 13-5-2, Exterior(2) 13-5-2 to 16-5-2, Interior(1) 16-5-2 to 26-3-14 zone; cantilever left and right exposed ; end vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
- 3) TCFL: ASCE 7-10; Pr=30.0 psf (roof live load: Lumber DOL=1.15 Plate DOL=1.15); Pf=35.0 psf (flat roof snow: Lumber DOL=1.15 Plate DOL=1.15); Category II; Exp B; Partially Exp.; Ct=1.10
- 4) All plates are 1x4 MT20 unless otherwise indicated.
- 5) Gable requires continuous bottom chord bearing.
- 6) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- 7) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
- 8) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 100 lb uplift at joint(s) 1, 21, 22, 23, 24, 19, 17, 16, 15 except (jt=lb) 25=126, 14=124.
- 9) This truss is designed in accordance with the 2015 International Residential Code sections R502.11.1 and R802.10.2 and referenced standard ANSI/TPI 1.

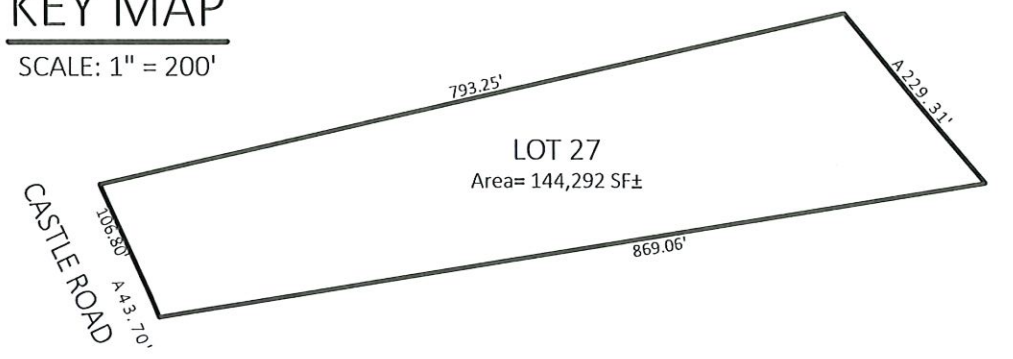
LOAD CASE(S) Standard



L.C. PLAN 17658-I

# KEY MAP

SCALE: 1" = 200'



BENCHMARK  
TOP OF CONCRETE BOUND  
EL=116.3± (NAVD88 DATUM)

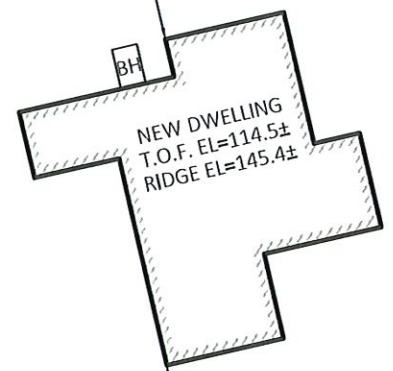
OWNER OF RECORD:  
PAUL & AMY HOLT  
LAND COURT PLAN 17658-I  
CERTIFICATE 229034  
ASSESSORS' MAP 46 PARCEL 398

I CERTIFY THAT THE FOUNDATION SHOWN  
HEREON IS LOCATED AS IT EXISTS ON THE  
GROUND.

DATE 5-23-24

P.L.S. John M. O'Reilly  
COMMONWEALTH OF MASSACHUSETTS  
JOHN M. O'REILLY  
NO. 49733  
PROFESSIONAL  
LAND SURVEYOR

LOT 27  
Area= 144,292 SF± (3.31 AC±)



AS-BUILT PLOT PLAN  
SHOWING FOUNDATION  
ON  
113 CASTLE ROAD, TRURO, MA

PREPARED FOR  
AMY HOLT

0 40 80 120  
SCALE 1"=40' FEBRUARY 12, 2024

G:\AAJobs\PineKnoll9225\dwg\9225.FNDN AS-BUILT.dwg

Drawn by: RFR JMO-9225

J.M. O'REILLY & ASSOCIATES, INC.  
Professional Engineering & Surveying Services

1573 Main Street, P.O. Box 1773  
Brewster, MA 02631 (508)896-6601